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Philip H. Power, Publisher

today's hot line observerland

REDFORD—Ron Rice, Republican candidate for the 34th District state representative seat held by Democrat John Bennett, was given the Wayne 19th District Convention keynote speaker spot to launch his campaign Wednesday. Rice is a former aide to U.S. Congressman Jack McDonald, 19th District.

REDFORD—Failing to get a clear cut majority at the polls in the primary election, none of the three township Democratic factions seems able to mend the rift. Coalition support of Ron Mardiros to upset Wayne 19th District Democratic chairman Jerry Raymond may reverse the Raymond censure of the Mardiros-aligned Township Democratic Club president Joseph Patchett.

FARMINGTON—An agreement announced Friday morning between Farmington public schools and its more than 700 teachers provides for an across-the-board pay hike of about 10 per cent. The salary hike is \$400,000 more than what is currently allocated for salaries, but the extra expense will be met by a \$471,000 reserve fund left in the budget specifically to cover the increase. Fringe benefits include full payment by the district of teachers' hospitalization insurance and an increase in life insurance policies from \$2,000 to \$5,000.

LIVONIA—The Board of Education will ask for renewal of a seven-mills levy at a special school election on Monday, September 30. The millage is designated for the operating fund. Undetermined is whether the board will ask for additional millage for future use.

LIVONIA—Livonia firefighters have approved a new two-year contract with the city which will give firemen with sufficient service about \$9,400 per year. The contract calls for retroactive raises of \$500 to last December 1 and an additional \$900 next December 1.

LIVONIA—The City Council voted 4 to 3 to deny the appointments of Mrs. Myra Chandler and Donald Pollock following a heated discussion. Mrs. Chandler previously served a three-year term and had been reappointed by the mayor. The action taken was the culmination of several sessions at which the matter was either tabled or deadlocked in a tie vote.

LIVONIA—Livonia teachers and the Board of Education are reported to be only \$100 apart in bargaining talks for a new teachers' contract for the coming school year. A state mediator returned to Lansing after reportedly helping both sides resolve matters which were previously deadlocked.

What's Inside

An experiment with an integrated city-suburban day camp has been carried out with a great deal of success on Farmington Township farmland by the Unitarian-Universalist Church. Story and pictures on Page 1B.

It's still hot summer, but area high schools are calling in football players for physicals and to issue equipment. Important notice on Page 4B.

How state police detectives traced a dope ring that extended throughout several Observerland high schools is related in detail by Redford editor Dennis Pajot in this exclusive story on Page 6B.

There are jobs to be had in suburbia, but only in certain categories. Interview with the area branch manager of the MESC on Page 7A.

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OCEAN BOUND?

If your vacations have gone nautical, you don't need that trailer anymore. It's probably not too seaworthy. Why not offer it for sale to a family headed for the woods? For only \$4.44 you can run an Observer Twin-Action Want Ad in two editions.



Area Folks Go Everywhere But China

Where do people from the Plymouth area travel during vacation time each year?

Do they go to Europe or Hawaii or do more of them pile the family into their cars, hook a camping trailer on the rear bumper and trek off to a lonely spot in Yellowstone National Park in Wyoming?

According to Sally Curry, worldwide and domestic travel agent for the Automobile Club in Plymouth, of the 45 or 50 trips she arranges each month about 90 per cent fly West to California and Hawaii.

The rest travel to Europe.

And, so far as she knows, the Orient hasn't caught on for Plymouth people but she suspects more persons will be going to the Far East in the next few years.

Sally Curry is a former ticket reservationist for Eastern Airlines in Cleveland. She now is married to Donald Curry who is a salesman for the Sealright Co. They live in Northville with their two children.

She explained that the preponderance of people who travel from Plymouth are of average or middle income and usually

take two or three weeks for their vacation—no matter where their destination may be.

The favorite auto route to the West, primarily Los Angeles, is Route 66, which winds

through Missouri, Oklahoma, Texas, New Mexico, Arizona, Nevada and ends in California.

This kind of trip is a favorite throughout the summer months of June, July and August.

June, she said, seems to be the one month most people travel to Europe while Florida is reserved for the winter months, usually December.

Few persons go to either Europe or Hawaii by steamship anymore. That's probably because it takes from four to five days on the fastest ship. This cuts out a lot of time in a three-week time span.

"Anyhow," she added, "the cost to fly to Europe is about the same as flying and who wants to take so long to reach their destination when it could be reached in one day."

Travel by rail in the United States has taken a big dip downward, Mrs. Curry explained, and again that's because train rides for long distances are too time consuming.

From Mrs. Curry's information, it seems that the average-income Plymouth family travels mostly in the summer, likes to fly and goes to the West Coast for enjoyment.



Police And Firemen Boost Salary Demands To \$10,500

Taking a cue from other suburbs in the metropolitan area the City of Plymouth firemen and policemen have amended their wage requests in a proposed new contract and now

are asking for a starting salary of \$10,500.

Originally, the request was for \$9,000 when negotiations started six months ago. Since

then, however, this figure was surpassed in several areas, including Royal Oak, St. Clair Shores, Southfield, Melvindale and Ecorse, and the city police and firemen used this information to ask for the additional

boost.

The contract now being negotiated will cover the police force that numbers 14 men including the chief and a fire

department that has seven full time employees including the chief.

The amended request was contained in a letter to City Manager Richard Blodgett dated

July 25 and was signed by Officer Robert J. Commire, new president of the association, Paul Sanders, secretary, and Henry Berghoff, treasurer.

"We feel that we are entitled to as much as police and firemen are being paid in other areas," Officer Commire, who recently succeeded officer Carl Berry as president, explained.

ONLY A week ago City Commissioners Arch Vallier and Peter Schweitzer, the city's negotiating committee, stated that considerable headway was being made in negotiations. At the time nothing was mentioned of the new request.

"We have made some headway in the area of fringe benefits," Officer Commire stated, "but the best we have been offered in the way of salary is a three per cent increase over our present starting rate of \$7,904."

Along with the wage request that calls for a raise of \$2,596, other demands include these fringe benefits:

1--All issues agreed upon shall be retroactive to July 1, 1968.

2--All previous fringe benefits shall remain the same unless otherwise changed in bargaining.

3--Overtime: (a) Firemen are to receive one and one half times their pay rate for all overtime above the 56-hour week.

(b) Court time: A minimum of two hours at time-and-one-half for policemen.

4--AN INCREASE in longevity pay to \$35 per year for each year past five years.

5--Three weeks vacation after five years and four weeks after 10 years.

6--An increase from \$150 to \$300 for clothing allowance and \$150 for uniform cleaning.

7--Personal days: Ten days per year to conduct pressing business and to be used for emergency reasons. These days are not to be used for sick time or vacation time.

8--A plan for compensating the Fire Lieutenants for standby time spent on their days off at home.

9--The reaching of top pay in one year with an equal step in six months.

10--Pay for unused sick time in excess of 22 days at the rate of 50 per cent of regular pay to be paid at the end of the fiscal year.

11--Police officers to re-

Continued on Page 2A

Continued on Page 4A



THE MODERN AGE: Kellogg Park furnishes some interesting sights these nice days, but none has depicted the modern age more than this view of Mrs. Barbara Koorndyk, 14116 E Drive, who is shown here tending her baby, relaxing in the shade, eating her lunch and reading a book at the same time. The park is a favorite spot for these closing days of summer.

City Pays Tribute To Veteran Employees In Service Program

The City of Plymouth officially said goodbye to Stanford L. Besse, veteran supervisor of planning and engineering, at a luncheon of city employees Wednesday noon.

While honoring Besse, who is retiring after 33 years of service, the City also ushered in a new awards program in which all employees will be honored after five consecutive years of service.

In making the first awards presented with a watch and the resolution of appreciation passed by the City Commission.

Those who received awards

Continued on Page 2A

gram is intended to provide recognition for those employees who have demonstrated continued loyalty through competent performance of their duties over a period of years.

As a parting gift, Besse was presented with a watch and the resolution of appreciation passed by the City Commission.

Those who received awards

How Police Fared In Other Suburbs

Here is the status of the wage negotiations dealing with the police and fire departments in the suburban communities:

	UNSETTLED		
	Current Top Scale	City Offer	Officers' Demands
Ferndale	\$8,394	\$8,976	\$10,500
Allen Park	\$7,855	\$9,355	\$10,500
Warren	\$8,225	\$9,350	\$10,300
	SETTLED		
	Previous Top Scale	Officers' Demands	Negotiated Scale
Royal Oak	\$8,640	\$10,300	\$9,400
St. Clair Shores	\$7,835	\$10,000	\$9,500
Melvindale	\$7,850	\$10,500	\$10,050
Southfield	\$8,413	\$10,250	\$9,400
Ecorse	\$7,643	\$10,000	\$9,643



MAPPING CAMPAIGN — One of the most difficult tasks in the annual Community Fund Drive is lining up workers for the house-to-house canvass. Here leaders of the group are shown laying out the districts and listing poten-

tial help. From left to right they are: Mrs. W. E. Ackerman, Mrs. Ted Thrasher, Mrs. Thomas Lewis and Mrs. Walter Crafton. They'll gladly accept volunteers.

It's BEYER'S in Plymouth

Your Prescription In Our Hands Is Your Assurance
Of Ethics, Integrity And Fairness



1. Presenting Prescription



2. Assign Prescription Number



3. Volumetric Accuracy



4. Weighing Accuracy



5. Trituration



6. Dispensing of Medication



7. Typing Label



8. Labeling Prescription Container



9. Return Finished Prescription to Customer

When you place your prescription in our hands, you are being served by pharmacists who believe in a profession built on ethics, integrity and service.

Your prescription will receive dependable and unhurried attention. We will make time to listen to your every question and strive to give you every conceivable service. We believe, simply, that you and your health are more important than the purchase you make.

A great many people entrust us with their prescriptions. May we suggest that you place your prescription needs in our hands.

Remember the Beyer Rexall Drug Stores are supervised by their Registered Pharmacists on duty.

ALSO: You'll Find Many Bonus Savings
Each Week Throughout The Store . . .

COMPARE and SAVE at BEYER'S

Regular 69c
ALKA-SELTZER 25 Tablets **38c**

Regular \$1.45
LISTERINE ANTISEPTIC 20-oz. Bottle **99c**

Regular 49c - DANE'S
SACCHARIN TABLETS 1,000 1/4 Gr. **26c**

Regular 98c
BAYER ASPIRIN 5 Gr. 100 **57c**

Regular or Dry
VO5 SHAMPOO 7-oz. **49c**
Shatterproof Plastic Bottle

Regular \$8.95
PLAYTEX BABY NURSER SET **\$5.79**

Regular 49c - JUMBO
UTILITY SPONGE Limit 2 **10c ea.**

NOXZEMA SKIN CREAM 10-oz. Jar **97c**
Regular \$1.45

FEVER THERMOMETER ORAL RECTAL STUBBY (Lifetime Replacement Guarantee) **Reg. \$1.89 98c**

FILLER PAPER Regular 25c **5-Hole Punch** **3 27c**

SUMMER CLOSE-OUT Special Assortment Hoses, Picnic Supplies, Swimming and Beach Supplies. **While They Last 40% OFF**

Prices effective Now thru Saturday, Aug. 24

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FILLING PRESCRIPTIONS FOR OVER 100 YEARS

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GL 3-3400
Liquor & Beer

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GIFT
GALLERY

ANN ARBOR ROAD
GL 3-4400
Beer & Wine

Community Bulletin Board

TUESDAY, AUGUST 20
PLYMOUTH KIWANIS CLUB: Tiger Baseball Night
THURSDAY, AUGUST 22
KIWANIS CLUB OF COLONIAL PLYMOUTH: 12 noon, luncheon in the Mayflower Hotel.
SENIOR CITIZENS: 1 p.m., weekly program in the Masonic Temple.
FRIDAY, AUGUST 23
PLYMOUTH ROTARY CLUB: 12:10 p.m., luncheon meeting in the Mayflower Meeting House.
WEEKEND
PLYMOUTH HISTORICAL MUSEUM: 2 p.m. to 5 p.m. Saturday and Sunday.

Township Again Denies Gas Station Request

Marathon Oil Co. apparently has lost its fight to build a gas station on the corner of Haggerty and Ann Arbor Rd. During the past week, spokesmen for the company asked the township board to reconsider previous Planning Commission action which had denied the Marathon request.

Although the property is zoned commercial, a gas station is considered a conditional use and permission to construct can only be granted by the Planning Commission, Township Clerk Helen Richardson explained.

City Honors Veteran Help

Continued from Page 1A
and their years of service follow:

FIVE-YEAR AWARDS: Melvin C. Behling (9), Carl F. Berry (5), Anna S. Brown (5), Daniel R. Carpenter (9), William W. Fletcher (7), Grace L. McCallum (6), Marion I. Warner (6), Marie Weisner (6).
TEN-YEAR AWARDS: Maryon Bridgman (11), John C. Burger (11), Rodney A. Cannon (10), Alvin R. Dierck (11), Carol E. Groth (11), Clyde W. Kintner (13), Robert W. Pohl (11), Eldridge H. Raven (12), Paul E. Sanders (13), Kenneth F. Vogras (11).
FIFTEEN-YEAR AWARDS: Henry A. Berghoff (15), George C. Florken (16), George D. Graham (15), Charles A. Groth (16), William C. Guldner (16), Charles H. Thompson (16), Kenneth E. Way (16).
TWENTY-YEAR AWARDS: Herbert C. Canaday (21), Loren L. Johnson (20), George J. Schoenneman (20), Rodger S. Vanderveen (22), Chancy H. Wagenschutz (23).
TWENTY-FIVE YEAR AWARDS: Nellie V. Cash (28), LINNEA I. Salow (25), Evelyn M. Stanble (25).
THIRTY-YEAR AWARD: Stanford L. Besse (33).

State Body Approves New School Bonds
Attorney General Frank J. Kelley, Chairman of the Municipal Finance Commission, announced today that the Commission approved \$1,450,000 of Tax Anticipation Notes for Plymouth Community School District.

Attorney General Kelley said, "The proceeds will be used to meet current operating expenses and teachers' payroll. These notes are to be dated August 1, 1968, and are to be due April 1, 1969 and will carry a maximum interest rate of four per cent per annum."

Other members of the Municipal Finance Commission are Allison Green, State Treasurer; and Ira Polley, Superintendent of Public Instruction.

ARE YOUR DEAR ONES COLLEGE BOUND?



WOULDN'T IT BE COMFORTING TO HAVE THEM JUST "A GLANCE AWAY?"

Specializing in Professional Color

Gaffield PHOTOGRAPHY
400 West Ann Arbor Trail
"At the Point of the Park"
Plymouth
GL 3-4181

Horse Crashes Into Auto

The second accident in two weeks involving a horse and a car was reported to Wayne County Sheriff's officers.

Michael Dalida, 52, of 16250 Beverly, Birmingham, told police he was going across Haggerty Rd. on Ann Arbor Rd. when a horse ran into the side of his car.

Dalida was not hurt. The horse was treated for slight chest and right leg injuries.

Last week a similar accident happened in Canton Township when a horse ran into the side of a car on Ford Rd.

WATER SOFTENERS

REYNOLDS All Fibro-Glass Fully-Automatic Water Conditioners (Patented) with our LIFETIME GUARANTEE against Rust, Corrosion, and Leaks will soften more water and remove more iron, for less operating cost, than any other water softeners ever made.

Your present softener can probably be converted into a Reynolds Automatic.

Investigate—No obligation.

Factory sales, installation, and service (We service all makes)

REYNOLDS Water Conditioning Company

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WEster 3-3800

Priced Right and Fully Guaranteed

Some insurance companies say they give you "on-the-spot" claims service.



SPOT

You'll do better to leave on-the-spot work to your favorite dry cleaner.

Because "on-the-spot" claims service for car insurance can mean you are on the spot to settle your claim at somebody else's price.

If you want to get paid fairly as well as fast, let us handle your insurance.

We'll help you make a thorough assessment of damage, determine the full amount of your loss, and then speed settlement of your claim. Which is just one reason why people come to us for their car, home and business insurance.

This symbol is your assurance that we are professional independent agents.

BENGTROM

INSURANCE

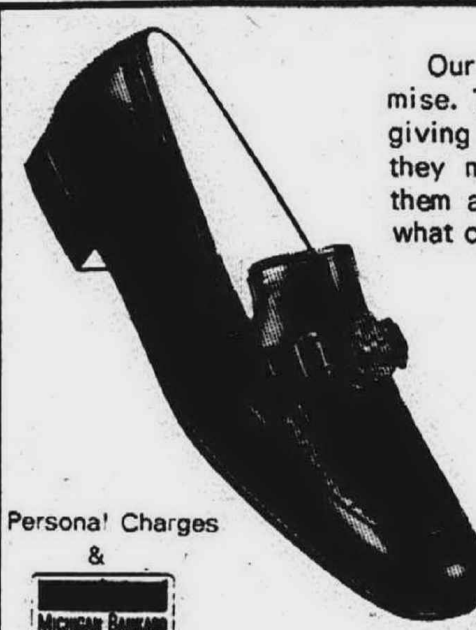
"After we sell we serve"

WALTER H. BENGTROM, C.P.C.U.

2800 CHALMERS ROAD

Plymouth, Michigan

PHONE 628-6400



THE **STRIDE RITE** SHOE

"Northville's Family Shoe Store"

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OPEN DAILY 9 a.m. - 6 p.m.

---Til 9 p.m. Friday

SAVE with SALEM'S AUGUST POOL Clearaway



Reg. \$34.88
Aluminum POOL SAFETY LADDERS **\$21.00**

STEEL WALL, VINYL LINED POOLS
6'x15" Cash & Carry **\$5.99**
8'x20" now only **\$11.99**
10'x24" now only **\$19.99**
12'x36" now only **\$33.99**

CHECK ... the SAVINGS.

Unbelievable Value!

Reg. \$339 Royal Olympian **STEEL WALL POOL**

• Steel Walls
• 6" Top Rail
• 20 Gauge Winterized Liner
\$209.95 21' x 48"-72"

• Reg. \$389, 24'x48"-72" . . . **\$299**

• Reg. \$289, 18'x48"-72" . . . **\$188**

CHECK ... the SAVINGS

Aluminum Millionaire POOLS

WAS \$419 24'x48"-72" . . . **\$329**

WAS \$315 18'x48"-72" . . . **\$269**

CHECK ... the SAVINGS

Pool Filters 30%

Coast Guard Approved Life Vest **\$1.99**

Coast Guard Approved Boat Cushions . . . **\$2.44**

Plastic, Non-Skid Pool Foot Bath . . . **\$1.44**

Save Around The Pool, Too!

Values to \$38

Floating Chaise Lounge . \$23

Poolside and Patio

Chaise Lounge \$11.95

Remaining Stock

Steel Sand Boxes 50% off

Complete Stock to Clear

Swing Sets 25% off

COMPARABLE SAVINGS ON HOME FIX-UP SPECIALS, TOO!

Fiberglass **PANELS** **\$3.49**

• Diamond Lite Bottle Glass
• 24"x48"

8' Galvanized **GUTTER** **88c**

Per Length
We Stock All Fittings

PATIO BUTT BUCKET **99c**

Attractive black and green bucket, black steel pole.

All Rubber or Plastic **Garden Hose** **40% off**

CHECK ... the SAVINGS

JUST ARRIVED SUSPENDED CEILINGS

• 2' x 2' panels, 4 styles
• Includes hanging material
25c Complete Reg. to 40c

Open Sat. 8 - 6; Sun. 10 - 5

Mon. - Thurs. 9 - 7; Fri. 8 - 5

SALEM POOL CENTER

Home of Old Fashioned Service—Ph. GA 2-1000

30650 PLYMOUTH ROAD

3 Blocks west of Middlebelt

The Stroller...



Dean Saxton, the white-haired monarch of Saxton's Garden Center, peered about the well-filled dining room at lunch the other day and, in a voice that expressed real astonishment, remarked—

"You sure can tell that Plymouth is changing for I don't know a person in the room aside from you fellows at this table."

"I well can remember the time when I could walk into any store in town and know most of the people in it—but no more."

All agreed that they were experiencing the same trouble and now could walk along Main Street any day without speaking to anyone or getting a nod of recognition, so great is the change in the community.

"Would you believe it," Dean went on, "it was almost the same in church last Sunday. I looked at all sorts of strange faces and when I finally saw a woman I knew I was so pleased I could have kissed her."

Of course, Dean was only kidding about such an affectionate salutation, but he did prove a point. Plymouth slowly, but surely, is changing and with each change come more and more strange faces.

The fact that one no longer recognizes people as he walks along the street isn't the only change in the community.

CANDIDATES FIND A CHANGE, TOO

Several candidates in the primary election two weeks ago suddenly realized that things aren't the way they used to be. In the old days there was no such thing as conducting a political campaign. There were no campaign cards, let alone billboard signs. Folks just let it be known that they would like to bid for an office and their friends and neighbors, in quiet chats, saw that they were elected.

Much to their surprise and chagrin, City Commissioner Arch Vallier, who was seeking reelection to the County Board of Supervisors, and Lou Norman, seeking another term on the Township Board of Trustees, learned that the old methods don't produce any more. Both went down to defeat for the simple reason that neither campaigned. Both remarked prior to the election, "If the people want me, they'll put me back."

The days of such campaigning are gone, too, and this is a vast change for Plymouth.

A STATEMENT GOES BEGGING

The Stroller recalls a city election several years ago in which one of the candidates who barely squeaked back on the City Commission complained that he wasn't treated properly in the press.

"I had a statement prepared three weeks ago," he said, "and no one called me or came to see me and it's still at home waiting to be picked up."

That's the way it used to be. But Plymouth has changed now and those quiet days are gone.

We had a taste of the change in the primaries and while there may be more dignity to the campaigns of the future, they never will return to the policy where candidates can sit at home and wait for someone to ask them for statements—if they hope to get elected.

YOUR GLASSES CAN BE A GIVEAWAY

City Commissioner James Houk, who has spent years dealing in foot comfort, once remarked, very seriously—

"I'm not too good at remembering faces, but I never forget a shoe size."

The Stroller's portly doctor friend topped this the other day when he glanced at a passerby and said, "That fellow is from the Scandinavian country."

"Do you know him?" the Doc was asked.

"Never saw the man before," he shot back, "but he's wearing Scandinavian glasses. I know the styles of the various countries and you won't find the type he's wearing in any other country. I just wonder what he's doing here."

HAWAII JUST A STEPPING STONE

It's always interesting to watch a person's reaction to a stroke of good fortune. Some folks leap with joy. Others shed tears of happiness and surprise.

But not Jack Selle, the well-known fisherman and big game hunter.

A few weeks back he won a trip to Hawaii—a prize that would have delighted the heart of most any other person. And what do you suppose he said when he learned of his good fortune?

"That's about halfway to New Zealand," he commented without the slightest trace of a smile, "and I understand that's one of the greatest fishing countries in the world."

THOUGHTS WHILE STROLLING

Now that the National Bank is planning to give the old bank a face lifting and Lou Goddard is beautifying the other corner with his "mini-mall," wouldn't it be nice if the Kresge Co. revamped its building in the middle of the block and gave the central business district a whole new look?

What ever happened to the plans for beautifying Kellogg Park? It seems ages ago that an architect was employed, plans approved, and permission given for the Rotary Club to donate a huge fountain for the center. This was to be done in time for the Fall Festival. Wonder if we'll have it done for Christmas.

If you've missed the cannon in the park, don't become upset. It is safely tucked away in the DPW shed until someone finds use for it again.

Talk about changes. You won't know the downtown area in a few more weeks, when the wreckers get through with the Weedman Building and the razing of the old "eyesore" on Penniman Avenue. And don't be surprised if the P&A Theater is given the same treatment. The three sites will become parking lots.

What next—maybe a motel or an apartment building.

Kiwanis Plan For Historical Museum Deserves Cooperation Of All Residents

Several weeks ago the Plymouth Kiwanis Club announced that it had taken as its project for the coming year the establishment of a fire-proof historical museum—a much-needed facility in view of the glorious past of the entire area.

In making the announcement the Kiwanis also let it be known that it would gladly accept help of any kind—especially financial aid—to make a success of the project.

This is an invitation that should not go unheeded. For it would be to the benefit of every man, woman and child to have a historical museum they could point to with pride.

The present plan calls for adding a second story to the Community Building in the rear of City Hall and while this is a noble project, it should be just a starter of a larger and grander museum that would house many reminders of the area's past.

FOR MANY YEARS such things as historical museums were not taken too seriously by the average person. Interest in such things was left to the older folks and they often were looked upon as sentimentalists who were trying to foist their feelings on someone else.

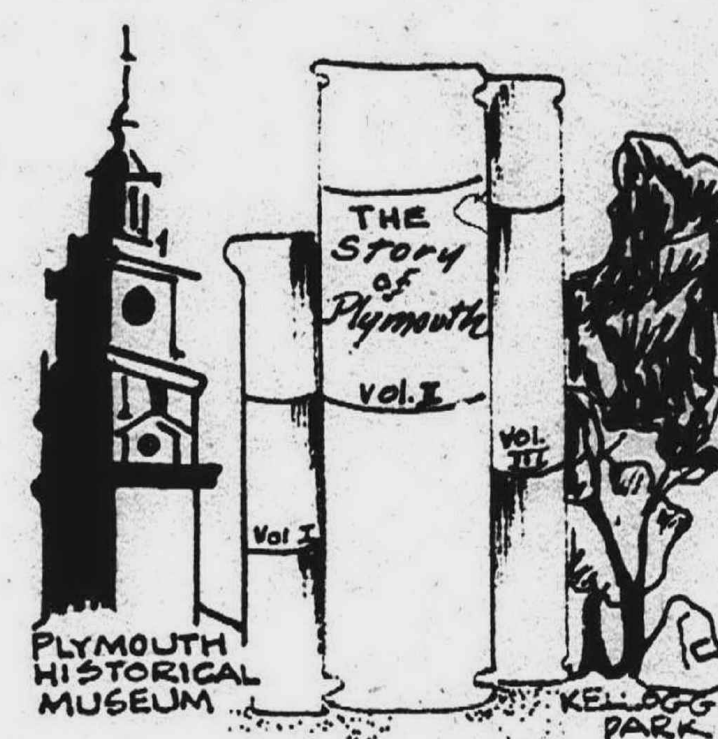
But no more. Thanks to a few outstanding personages, the historical museum has now come into the position of being a real asset.

Henry Brown, Director of the Detroit Historical Museum, explained the change in attitude in a recent visit to the Plymouth Community.

"People suddenly began to realize," he said, "that historical museums were a lot more than a collection of old things. They found that the museum furnished the setting for a display of experience... and they took pleasure in looking back on the experiences of those who came before us."

This was a new way of putting it. But there is no better versed man on historical

A NICE SET...



DON'T YOU AGREE?

museums than Henry Brown, and this display of experience is just what the Plymouth area needs.



Plymouth Library New Books

"To the Top of the World," by Charles Kuralt, the CBS News Correspondent who accompanied the Plaisted party, is the true story of 12 men, all amateurs, who undertook a journey by snowmobile to the North Pole. It was the first such overland attempt since Admiral Peary's in 1909.

"The Horsemen," by Joseph Kessel is an epic novel of man pitted against nature. Set in Afghanistan, it is the story of a young man defeated in a contest and thus disgraced, who returns to his father's house on horseback over the most hazardous and lonely route while handicapped with a broken leg.

"Or I'll Dress You in Mourning," by Larry Collins, author of "Is Paris Burning?", traces the rise of Manuel Benitez from his desperately poor beginnings to his final ascent to fame and adulation as the idolized "El Cordobes," Spain's most successful matador. The author also depicts the new Europeanized Spain which "El Cordobes" symbolizes.

"My Lord Brother the Lion Heart," by Molly Costain Hay-

craft is a historical novel about Joan, the favorite sister of Richard Coeur de Lion, who was married to the King of Sicily at age 12 and saw both her husband and her brother

embark on the Kings' Crusade not many years later.

"Edgar Cayce on Atlantis," by Edgar Cayce, reveals the mysteries of the lost continent

and predicts where and when it will rise again. Edgar Cayce was famous as the prophet of reincarnation and as one of America's greatest seers.

"The Money Game," by Adam Smith, is a series of witty articles on the money game, how it is played on Wall Street, what money really is, what we think it is, and how it makes us behave.

"The Trumpet of Conscience," by Martin Luther King, is the final expression of the author's philosophy on race relations, civil disobedience, and the war in Vietnam.

Albright Asks For Additional Fire Equipment

Paul J. Albright, Plymouth Township public service director, has asked the Trustees to purchase another fire engine and other fire-fighting equipment—if the money can be found.

With demands on the department becoming greater, Albright explained, the township will need to strengthen its fire department.

The equipment and the new engine would cost approximately \$80,000, he told the board Tuesday night.

The board said first it would have to review its finances to determine ability to make the purchase.



NEW DIRECTOR — Don Stevens, 41443 Five Mile Road, who came to Plymouth two years ago, is shown here as he took over his new position as Director of the Area Planning Commission. He has spent 13 years in industrial sales and research.

Novi Jaycee Ladies To Hold Fashion Show

The Novi Jaycee auxiliary will present a fashion show with many lovely creations for fall and winter. The show will be held at the Mayflower Meeting House in Plymouth on September 26 at 8 p.m.

The event "Fashion On The Go" also will feature a wig demonstration and many other added events. Models for the show will be the wives of the Novi Jaycees.

The committee is chaired by Mrs. Ronald Cowden of Novi.

Detroit Adds To Water Mains In Township

Approximately six miles of water pipeline will be laid in Plymouth Township in the near future which, when completed, will be used for emergencies.

The Detroit Metropolitan Water Services Department will supervise construction at no cost to the township.

Water lines, of 24, 36 and 48 inch sizes, will be laid along Lilley Rd. from Ford to Joy, then on Joy Rd. from Lilley to Sheldon with the last leg on Sheldon Rd. from Joy to Five Mile.

Township Supervisor John D. McEwen said the new line will tie in with the Springwells Station at Newburgh Rd. If a break should occur at the Newburgh Road Station, the new line would continue water service in the area.

No definite time was given when construction would begin.

The Plymouth MAIL & OBSERVER

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Managing Editor
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Serving As We Would Wish to be Served

Our professional attitude can be summarized quite simply: we consider our responsibility to be sacred, fulfilled only when we have done everything possible to make bereavement just a little less burdensome.

Our 64th Year



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Professional equipment gives shirts that crisp look even the most expert home ironing can't achieve. They're starched to your order, of course—light, medium, heavy, or not at all. And missing or broken buttons are replaced free. Try us today.



14268 Northville Rd. GL 3-5420
595 So. Main GL 3-5060

Police-Firemen Boost Demands

Continued from Page 1A

ceive \$1 per day for carrying weapon while off duty. City to provide weapon.

12--Each firemen shall receive \$4.50 per day for food allowance.

13--Senior police officers shall be given the rank of corporal with two and one half per cent pay increase.

14--City to provide physical examination including an elec-

trocardiogram for members of the Association.

15--Holiday pay--Members of the Association shall receive the rate of pay as per position held to be paid annually after Thanksgiving Day. Holidays shall be defined as follows: New Year's Day, Lincoln's Birthday, Washington's Birthday, Memorial Day, Independence Day, Easter Sunday, Thanksgiving Day, Labor Day, Christmas Day and Veterans Day.

In the non-economic area the 56-hour per week men are to receive six days sick leave and

the 40-hour men are to receive 12 days.

THE POLICE also are asking for a meeting every two months with the Police Chief or his assistant and members of the bargaining unit are to be excused from duty while attending a negotiation meeting, unless an emergency arises.

"All we're asking for," Officer Commire concluded, "is a wage comparable to other communities, and I think we are entitled to it."

He admitted some progress had been made at a recent meeting on Commissioner Valier's back porch, but added, "It was only on some fringe benefits and nothing definite was decided."

Several months ago the Plymouth Township firemen agreed to a new wage contract calling for \$8,000 a year to be reached over a two year period.

In the other suburban areas where contracts have been signed only one--Melvindale--has agreed to a yearly salary of more than \$10,000.

According to Officer Commire, no date has been set for another negotiating session with the city.

Plea For Light Is Granted In Township

Homeowners in the area of Eastside Drive and Micol Streets will now have light where before there was darkness.

The Plymouth Township Board of Trustees agreed to have a street light installed at the intersection.

Residents of the area had asked the board for the light to insure their safety and to help them better negotiate the streets at night.

Five Plymouth Students Honored

Five Central Michigan Students from Plymouth were among the 92 students achieving a straight "A" average for the spring semester.

Those honored from Plymouth are: Jack Bauman, 420

Irvin; Jerri Lynn Collins, 11639 Aspen; Mary Kelley, 333

Arthur; Kaye Langert, 15421

Robinson and Mary Thee, 650 N. Evergreen.

Township Puts \$2.50 Price On Ordinance

Copies of the recently adopted Plymouth Township Zoning Ordinance (#27) will cost \$2.50 for those wishing a personal copy.

The township board set the \$2.50 price because it fell in line with what other communities were charging for their ordinance booklets.

NOTICE TO BIDDERS

CITY OF PLYMOUTH, MICHIGAN

Notice is hereby given that the City of Plymouth, Michigan will receive bids up to 3:00 p.m., Eastern Daylight Saving Time, Thursday, August 29, 1968, for a PROGRAM OF MUNICIPAL TREE TRIMMING AND REMOVAL WORK.

The City Commission reserves the right to accept or reject any or all bids, in whole or in part, and to waive any irregularities.

Address bids to Eugene S. Slider, City Clerk, 201 S. Main Street, Plymouth, Michigan 48170. In a sealed envelope bearing the inscription "BID FOR PROGRAM OF MUNICIPAL TREE TRIMMING AND REMOVAL WORK. Specifications on all of the foregoing are available at the Office of the City Clerk during regular office hours."

EUGENE S. SLIDER, City Clerk

Publish: August 18, 1968

Make Any Summer Salad Attractive

It is just as important to present the summer's vegetables attractively to members of the family as it is to grow them to perfection in your garden. For, no matter how delicious they are, people will serve themselves small portions unless the vegetables look as good as they taste.

Lettuce and other leaf vegetables like endive or spinach

form the basis for most salads, but these are not the end. Tomatoes, cucumbers, peppers (both green and red), carrots, parsley, radishes, onions, cabbage, even cauliflower heads or thin slices of turnips, or kohlrabi, can be added in varying amounts and combinations to complete that perfect salad bowl.

Then, offer a choice of dressings rather than just one and, lo and behold, the perfect summer salad. It forms almost a complete lunch and is a complement to meat, a supplement to other vegetables for a gourmet dinner.



NOTICE TO CONTRACTORS CITY OF PLYMOUTH, MICHIGAN

Sealed proposals will be received at the office of City Clerk, 201 South Main Street, Plymouth, Michigan until 2:00 o'clock p.m. of August 28, 1968, at which time the bids will be publicly opened and read aloud and the different items noted, for the construction of parking lots located at 470-472 Main Street and 828 and 834 Penniman Avenues. The quantities involved in this work consist principally of the following:

119	L.F.	12" Storm Sewer
151	L.F.	15" Storm Sewer
4	Each	15" Catch Basins or Inlets
200	C.Y.	Excavation
2,843	S.Y.	Remove Bituminous Surface
928	S.F.	Remove Concrete Walk
1,685	C.Y.	Base Course (compacted)
3,998	S.Y.	8" Compacted Aggregate Base 22A
3,998	S.Y.	2 1/4" Bituminous Concrete Surface
560	S.Y.	1 1/2" Bituminous Concrete Surface
3,027	S.F.	Concrete Walk
723	L.F.	Concrete Curb

The contract documents including plans and specifications are on file at the office of the City Manager, 201 South Main Street, Plymouth, Michigan and Johnson & Anderson, Inc., 2300 Dixie Highway, Pontiac, Michigan. (Phone 313-334-9901)

Copies of the documents may be obtained by depositing a check, payable to Johnson & Anderson, Inc. in the amount of Ten Dollars (\$10.00) for each set of documents so obtained. The full amount of deposit for documents will be refunded if all documents are returned in good condition within fifteen (15) days after opening of bids.

A certified check or bank draft payable without condition to City of Plymouth or a satisfactory bid bond executed by the bidder and a surety company in an amount not less than five per cent (5%) of the bid shall be submitted with each bid, as a guarantee of good faith and the same to be subject to the conditions stipulated in the Instruction to Bidders.

The right to accept any proposal, to reject any or all proposals and to waive defects in proposals is reserved by The City of Plymouth.

By Order of EUGENE S. SLIDER, City Clerk
201 South Main Street
Plymouth, Michigan 48170

Publish 8-18-68

The motion was carried.

The meeting adjourned at 12:10 a.m.

Respectfully submitted,
JOANNE HULCE, Secretary
Board of Education

A special meeting of the Board of Education of the Plymouth Community School District, Wayne and Washtenaw Counties, Michigan, was held Monday evening, July 22, 1968, in the Board Room of the Administration Building, 1024 South Mill Street, Plymouth, Michigan, beginning at 8:00 o'clock p.m.

Present: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Absent: None.

Administrators present: Sup't. Rossman, Asst. Sup't. Blunk, Gibson and Hardin and Sup't. of Bldgs. and Grds. Krimbacher.

Visitor present: Newsman Tripp.

Local Educational Study conducted by Schoolcraft Community College was discussed.

It was moved by Member Hulce and seconded by Member Scott that the Board of Education of Plymouth Community School District to secure a favorable vote to be asked of the people of the Community College District for one mill to build and operate secondary area vocational facilities and programs in accordance with the plan presented at a joint meeting of the Board of Education Representatives and the Community College Board of Trustees on May 1, 1968.

Ayes: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Nays: None.

The motion was carried.

It was moved by Member Strom and seconded by Member Moehle to approve contracts for the following:

Marcia Schreyer - Elementary Music, Labster and Geer
Richard Schreyer - Elementary Music, Ed. Bird and Fiegel
Diana Veenkant - Elementary Music, Farrand, Tanger and Truesdell

Ayes: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Nays: None.

The motion was carried.

Mr. Rossman and Mr. Blunk discussed two school sites suitable for future middle schools. The Board of Education agreed to have Administrators proceed to take options on such sites.

It was moved by Member Scott and seconded by Member Moehle to adopt a resolution requesting financial assistance from the Federal Housing and Urban Development for the purchase of a school site located at the corner of Powell and Ridge Roads.

Ayes: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Nays: None.

The motion was carried.

It was moved by Member Strom and seconded by Member Strom to approve the Hyatt Construction Company certificate of payment in the amount of \$18,155.

Ayes: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Nays: None.

The motion was carried.

Mr. Blunk presented a budget summary for construction of Senior High School No. 2 and development of grounds.

The Board of Education directed Administrators to request the Architect to prepare a bulletin for a price reduction relating to the roof construction on Senior High School No. 2 and to prepare a bulletin to secure a price for air-conditioning equipment for the purchase of a school site located at the corner of Powell and Ridge Roads.

The Board of Education called a meeting with the Architect for Monday evening, July 22, 1968, at 8:00 o'clock p.m.

Present: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Absent: None.

The motion was carried.

Assistant Superintendent Earl Gibson presented a plan to have elementary children who have been designated to attend Labster School to be reassigned to Fiegel and Gallimore Schools inasmuch as the Labster School will not be ready for the opening of school.

Assistant Superintendent William Harding presented a plan to house middle school children previously assigned to Pioneer Middle School in the Junior High School-West. The plan calls for double sessions with children in school approximately two-thirds of the time they would be regularly assigned if the Pioneer School had not been delayed by the strike.

The Administrators hoped for an early completion of both Labster Elementary School and Pioneer Middle School inasmuch as most of the building trades have settled the strike. However, it was pointed out the strike had delayed the construction a minimum of twelve weeks.

It was moved by Member Tripp and seconded by Member Scott to adjourn the meeting at 11:35 p.m.

Ayes: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Nays: None.

The motion was carried.

Respectfully submitted,
JOANNE HULCE, Secretary
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A special meeting of the Board of Education of the Plymouth Community School District, Wayne and Washtenaw Counties, Michigan, was held Monday evening, August 5, 1968, in the Board Room of the Administration Building, 1024 South Mill Street, Plymouth, Michigan, at 8:00 p.m.

Present: Members Gilmore, Hulce, Hulsing, Moehle, Scott, Strom and Tripp. Absent: None.

Administrators present: Superintendent Rossman, Assistant Superintendents Blunk and Gibson and Supervisor of Buildings and Grounds Krimbacher.

Further interviews will be conducted with other architectural firms before a decision is reached.

The meeting adjourned at 10:15 p.m.

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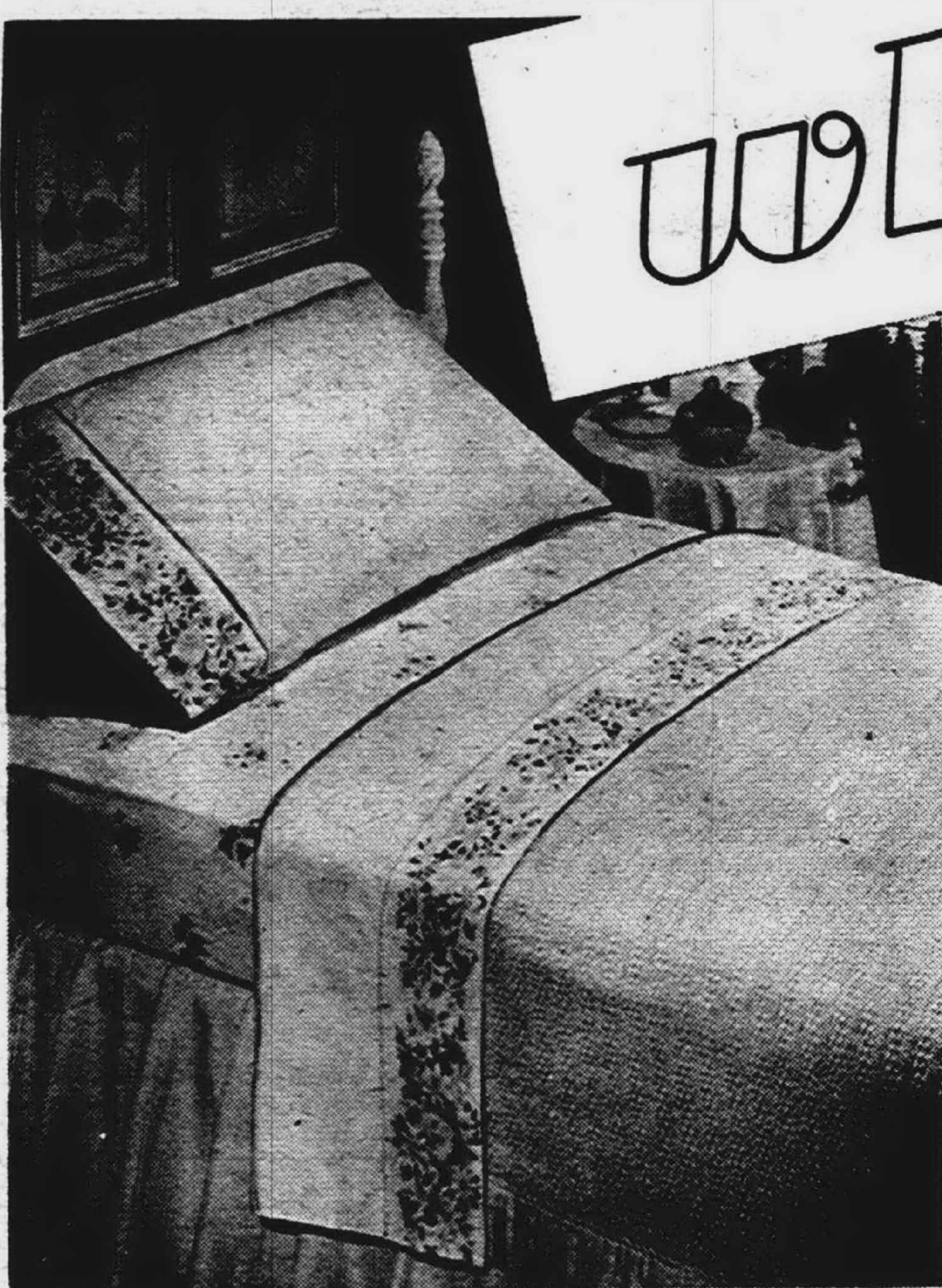
A special meeting of the Board of Education

Nationally-known Springmaid® puts fashion color-excitement in bedrooms, baths...a decorator look now at huge savings!

Hudson's
**BUDGET
STORES**



color-bright
white sale



**1. Springmaid
'Morning Garden'
plush towels**

1.97
22x44 bath

WHITE SALE! Fresh as a daisy print, now yours at savings! Plush cotton terry with fringe for extra fashion appeal. Nationally-known Springmaid® for quality. Apple blossom, cove blue, forsythia.
16x26-in. hand towels ... 1.17
12x12-in. face cloths ... 47c

**2. sculptured
'Montego'
terry towels**

2.47
25x48-in. bath

WHITE SALE! Have this beautiful sculptured jacquard design in your bathroom for an expensive look. Fringed cotton terry. Choose from shades of verdian green, chestnut, cove blue, apple blossom.
16x30-in. hand towels ... 1.67
13x13-in. face cloths ... 63c

**3. 'Damascus'
paisley jacquard
plush towels**

2.47
24x48-in. bath

WHITE SALE! Luxury fit for a king at prices to fit a pauper's budget! Plush cotton terry paisley jacquard sculptured pattern for an elegant appearance. Verdian green, sandpaper, antique gold, pebble.
16x28 hand towels ... 1.67
13x13-in. face cloths ... 63c

**4. Springmaid
'Morning Garden'
percale sheets**

3.79
twin flat or
twin fitted

WHITE SALE! Floral beauty at savings! Smooth cotton percale for extra long wear. Nationally-known Springmaid® quality. Pink, yellow and blue.
Full flat or full fitted ... 4.79
Queen flat or fitted ... 7.49
King flat or fitted ... 9.79
42x38-in. cases ... 2 for 2.79

**5. Springmaid
Wondercale
no-iron sheets**

3.99
twin flat or
twin fitted

WHITE SALE! Smooth Kodol® polyester-cotton for extra whiteness and wear. Easy-care Wondercale®, needs no ironing to stay wrinkle-free.
Full flat or full fitted ... 4.99
Queen flat or fitted ... 7.19
King flat or fitted ... 9.99
Standard size cases. 2 for 2.79

**6. Springmaid
'Rose Bouquet'
muslin sheets**

3.05
72x108 or
twin fitted

WHITE SALE! Dazzling cascade of room-enhancing decorator color... have it now, take advantage of the big savings! Beautiful Rose Bouquet pattern on easy care cotton muslin. Pink, blue or yellow.
81x108 or full fitted ... 3.55
42x36-in. cases ... 2 for 1.95

Linens, Domestics—Hudson's Budget Stores—Downtown, Northland, Eastland, Westland, Lincoln Park, Pontiac, Dearborn and NEW OAKLAND MALL (Not at Madison)

Come in or PHONE-SHOP. call Customer Shopping Service: 223-5100 or see Directory for your Toll-Free Suburban Number

STORE HOURS DOWNTOWN: Monday, Wednesday, 9:15 to 8:30; Tuesday, Thursday, Friday, 9:15 to 5:30; Saturday, 9:15 to 5:00 **NORTHLAND, EASTLAND, WESTLAND, PONTIAC, NEW OAKLAND:** Monday, Thursday, Friday, Saturday, 9:30 to 9:00; Tuesday, Wednesday, 9:30 to 5:30. **LINCOLN PARK, MADISON, DEARBORN:** 9:30 to 9:00 Daily. Hudson's delivers a purchase of \$5.00 or more excluding tax and service charge to 19 Michigan counties and Toledo, Ohio. Add 40c for delivery of each purchase under \$5.00 to same areas. Shipping charges added to all other points. Add 4% sales tax in Michigan. 40c each C.O.D. purchase.

Top Side Of Life

By REV. DAVID M. STRANG

EDITOR'S NOTE: This column appeared in the wake of last summer's riots. Rev. Strang's words lead us to ask: What has been done in the last year and what will be done in the next nine to bring harmony to the races?

This is about the Riot of 1977. The seeds for it were planted in Detroit and the suburbs between July 23 and 29, 1967. They should sprout and bear fruit about the time today's ten-year-olds become twenty.

Look first at a ten-year-old child living in a sterile white suburb. It would be nice to say that this ten-year-old is hypothetical, except that he is very real. I saw him during the 1967 riot, playing with a toy gun in his backyard.

The ten-year-old belongs to parents who either cannot or will not understand the frustration and anxiety and hopelessness which caused the tragedy in Detroit. Consequently, the parents are filled with fear and prejudice. They communicated it to their son by keeping a loaded shot-gun handy, just in case the trouble headed out our way.

The ten-year-old, who doesn't understand, whose life has been successfully sheltered from the misery of Twelfth Street, was next seen playing a game with his toy gun in the backyard. The game was called "The niggers are comin', let's get 'em!"

Now look at another ten-year-old. This one is black. He lives on Twelfth Street, in an apartment over a liquor store. I saw him, too, barefooted, walking in the broken glass and fallen bricks of demolished stores. Flames reflected a red glow in his eyes. He was afraid.

His life has been as sheltered as the boy's in the suburb. He has never known what it's like to breathe clean air or see green grass. He has been familiar with only two colors: black and white. Black, for the people he lives with who can give him neither what he wants nor needs, and white, for the people "out there" who have what he cannot have. What he has to look forward to is more of the same: dirt, crummy schools, and so many people he can hardly find room to move.

In one way he may either be better off than his counterpart in the suburbs. Since he doesn't have a backyard or a toy gun, he hasn't been able to play the game, "White's comin', let's get 'em!"

What will happen when the two ten-year-olds become twenty? What will happen if suburban whites give their canned soup to people in the city, and then forget about the whole thing?

What will happen if those who have the money and the ideas do nothing about the schools and slums of Detroit? What will happen if we continue to build suburbs in which only upper-middle class white people can afford to live?

What will happen if we don't help our ten-year-olds understand Detroit in 1967?

I confess that I am afraid to even ask those questions out loud. It would be more hopeful, more promising, to ask: What should we do with the ten-year-olds now so that there won't be a Riot of 1977?

Oldster Needs Same Nutrition As Teenager

Older people need the same nutrients as the child or young adult—the only difference is the amount.

Mrs. June L. Sears, home economist with the Cooperative Extension Service in Wayne and Oakland counties, says that as age advances, decreased activity reduces the requirement for fats and sugars.

"Excess calories become excess fat," the home economist emphasizes, "and obesity increases the risk of ailments that can torment and actually shorten life after 60 by 50 per cent."

Lack of appetite, faulty digestion and dentures can inhibit proper nutritional habits among older persons. Making mealtime more pleasant by sharing it with friends, eating out occasionally or listening to the radio can help whet the appetite.

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THE BIG OUTDOORS means appetites to match. Mealtime at Camp Linden also means catching up on camp experiences. The staff member here is Noraleen Renauer of Plymouth. She is a University of Michigan student and served as a camp unit leader. Around the table clockwise are: Elizabeth Janovits, Saline; Barbara Alpern, Ann Arbor; Deborah Irvin, Mary Brooks and Mary Covington all of Plymouth; Suzanne Anderson, Saline and Tonya Greer, Plymouth.

Scouts Say 'So Long For Awhile'

Outdoor boating, swimming, cooking and camping came to a happy conclusion last Wednesday when the Huron Valley resident camp at Linden closed for the summer.

During the four two-week sessions in June, July and August, 55 Plymouth girls were among the 497 Scouts to attend Camp Linden.

"We'd like all Girl Scouts to be able to go camping," said Mrs. Kenneth Hulsing, president of the council, "but with limited facilities, this just is not possible."

With 580 eligible Girl Scouts in Plymouth, the percentage of girls attending resident camp was 9.5 per cent.

From now until next June, Camp Linden's 400 wooded acres will be available for weekend camping trips by individual Girl Scout Troops.

During the warm months the tent units as well as the winterized cabin will be used. Mrs. Hulsing estimates that 2,000 more Girl Scouts will use Camp Linden during the school year.

HUNGARIAN PARTRIDGE

The Conservation Commission, by authority of Act 230, P.A. 1925, as amended, hereby orders that for a period of five years from October 1, 1964, it shall be unlawful to take or attempt to take Hungarian Partridge.

Approved July 10, 1964.

PUBLISH: Aug. 18, 1968

COTTONTAIL RABBITS & SNOWSHOE HARE

The Conservation Commission at its meeting on July 12, 1968 under authority of Act 17, P.A. 1921, as amended, approved open seasons for cottontail rabbits and snowshoe hares under regulations as follows:

ZONE 1: October 1 to March 31, inclusive
ZONE 2: October 1 to March 1, inclusive
ZONE 3: except all state-owned land lying within the area bounded by Buchanan Road on the north, East County Line Road on the east, Grant Road on the south, and Ransom Road on the west in Hamilton Township, Grant County shall be closed.

BAG LIMIT: Combined, 5 a day, 10 in possession, 50 a season.

PENALTY
Violation of the foregoing regulation shall be punishable by a fine of not more than \$100 and costs of prosecution, or by imprisonment in the county jail for not more than ninety days, or by both fine and imprisonment in the discretion of the court.

PUBLISH: Aug. 18, 25, & Sept. 1, 1968

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Coiffures de Roma

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FARMINGTON 851-3090
29996 Orchard Lake Road

The Souths Have Twins

Mr. and Mrs. Ronald South, than, born Aug. 8, each weigh- of 15052 Inbrook, Plymouth, announcing the birth of twin boys, Paul Timothy and Mark Jona- ing four pounds, two ounces. South is principal of Tanger Elementary School in Plymouth.

BOBCATS — LOWER PENINSULA

The Conservation Commission, under authority of Act 230, P.A. 1925, as amended, orders that, all orders to the contrary notwithstanding, for five years from October 1st, 1965, it shall be unlawful to take bobcats at any time in that part of the Lower Peninsula south of Highway M-55, in Crawford County, and in that part of Oscoda County West of Highway M-33, and unlawful in the balance of the Lower Peninsula except during January and February in each year.

Approved July 16, 1965.

PUBLISH: Aug. 18, 1968

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ORDINANCE NO. 27.62 '68
AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE TOWNSHIP OF PLYMOUTH BY AMENDING THE ZONING MAP.

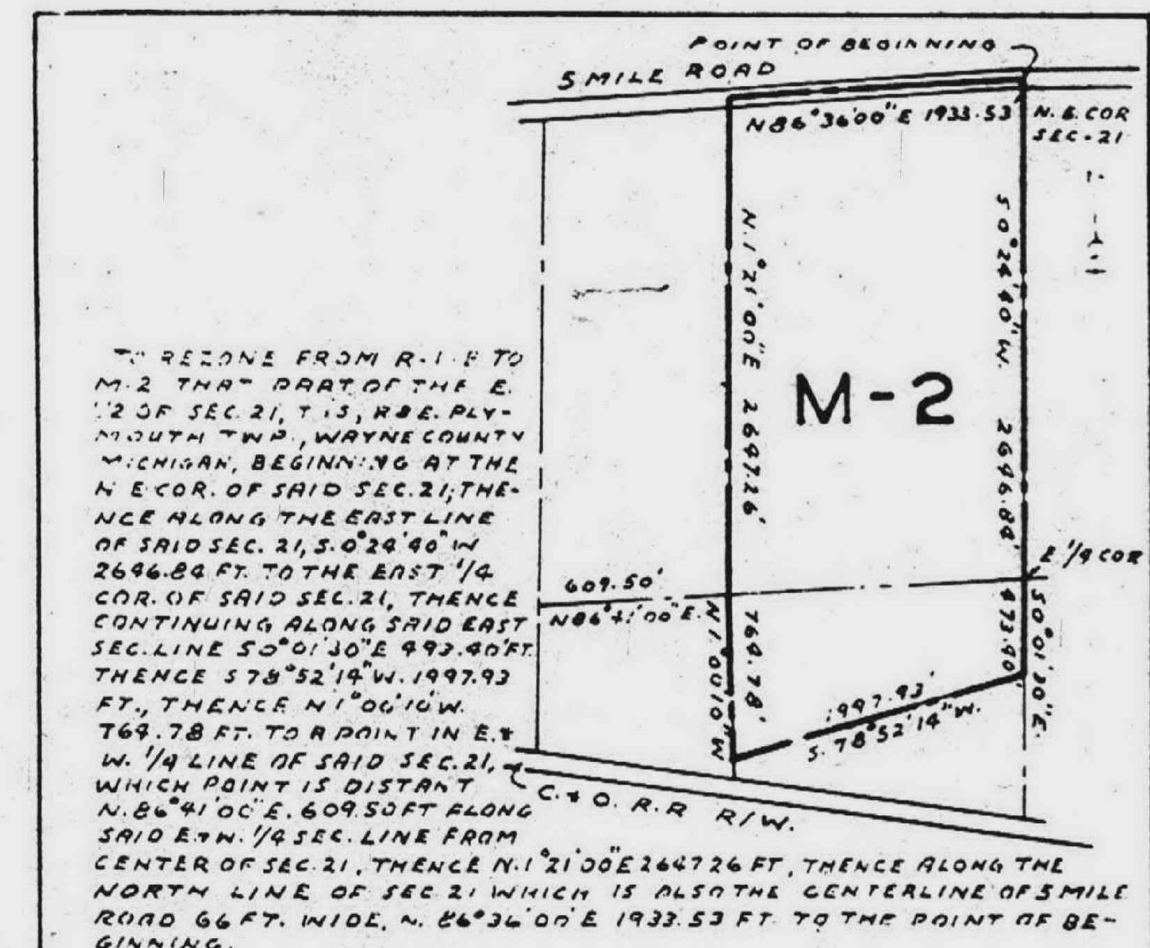
THE TOWNSHIP OF PLYMOUTH ORDAINS:
PART I. That the Township Zoning Ordinance is hereby amended by amending the Zoning Map, by changing those areas indicated on the Amending Zoning Map No. 3, attached hereto and made a part of this Ordinance.

PART II. CONFLICTING PROVISIONS REPEALED. Any Ordinance or parts of the Ordinance in conflict, herewith, are hereby repealed.

PART III. EFFECTIVE DATE. The provisions of this Ordinance are hereby declared to be immediately necessary for the preservation of the public peace, health and safety and are hereby ordered to take immediate effect and be in force from and after the earliest date allowed by law.

PART IV. ADOPTION. This Ordinance was adopted by the Township Board of the Township of Plymouth by Authority of Act 184, of the Public Acts of Michigan, 1943, at a meeting duly called and held on this 13th day of August A.D., 1968, and ordered to be given publication in the manner prescribed by law.

John D. McEwen Helen I. Richardson
Supervisor Township Clerk



ORDINANCE No. 27.62
AMENDED ZONING MAP No. 3

OF THE
TOWNSHIP OF PLYMOUTH
WAYNE COUNTY, MICHIGAN

ADOPTED BY THE

PLYMOUTH TOWNSHIP BOARD

SUPERVISOR _____

CLERK _____

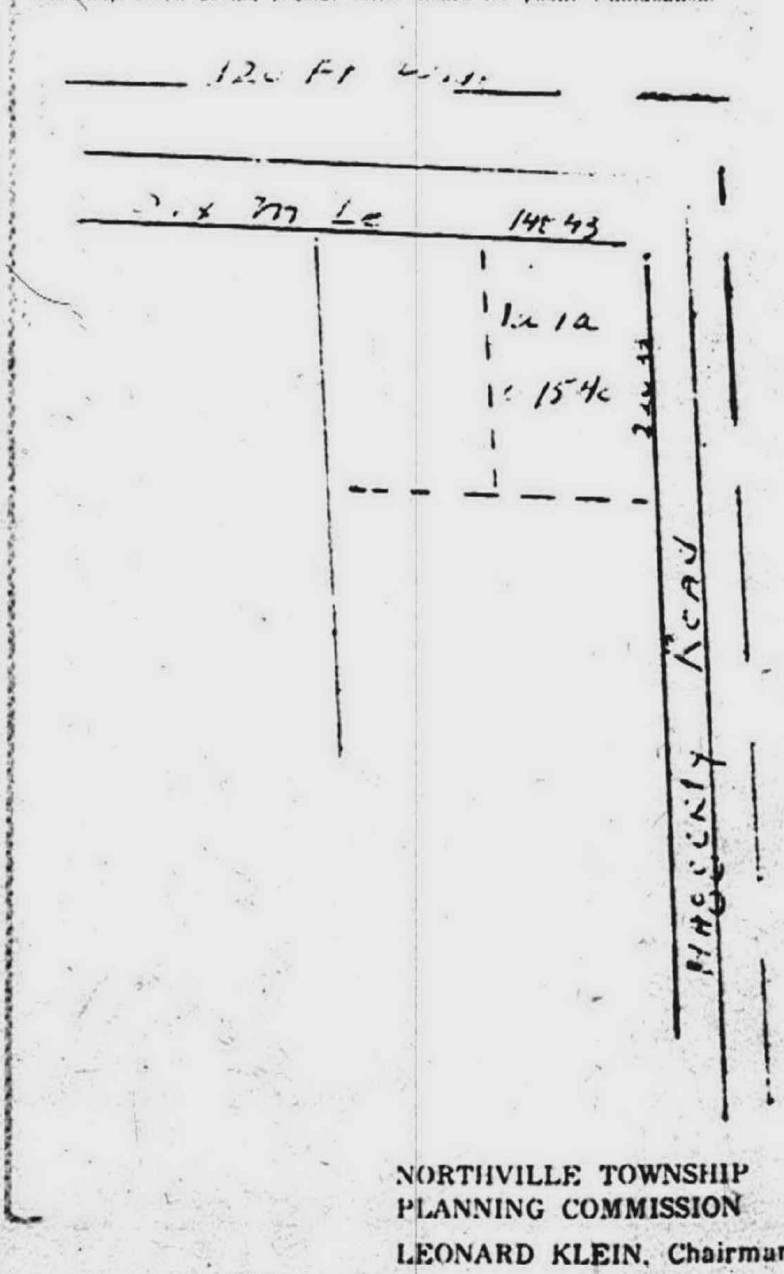
NOTICE OF PUBLIC HEARING PLANNING COMMISSION TOWNSHIP OF NORTHVILLE

At a meeting of the Northville Township Planning Commission to be held in the Township Hall on August 27, 1968, a public hearing will be held at 8:00 p.m. to consider the following:

To rezone the southwest corner of Six Mile and Haggerty Road (220.33' on Haggerty Road and 138.33' on Six Mile Road) from R-1 to R-1.1 to permit the Boro Oil Company to build and operate a full facility service station.

All interested parties will be given an opportunity to participate in the hearing and at the close of the hearing, all comments and suggestions of those citizens participating will be considered by the Northville Township Planning Commission before making its decision.

A copy of the item scheduled for hearing is on file in the office of the Township Clerk during regular office hours for public examination.



NORTHVILLE TOWNSHIP
PLANNING COMMISSION
LEONARD KLEIN, Chairman

PUBLISH: August 21 & 28, 1968.

Skilled, 'Break-In' Jobs Plentiful In Suburbia

By DOUG JOHNSON
Staff Writer

There are plenty of jobs in Suburbia but not enough people to fill them.

Edward Dowling, manager of the Michigan Employment Security Commission office in Plymouth, said there are "plenty of jobs we can't fill. And it's been that way since I came here four years ago."

A quick estimate by Dowling shows the need for at least 150 skilled workers—welders, draftsmen, foremen—and for as many unskilled laborers.

BATHEE Manufacturing Inc., an auto-related industry in Plymouth, needs 80 welders. Allied Supermarkets, building a giant

\$33 million complex in the middle of Livonia, has told Dowling they need 400 people.

"Allied will need not only general unskilled help on the docks and conveyor belts, but will run a complete bakery and will need skilled bakers and cooks."

Many "break-in" jobs are available at the MESC office in Plymouth, 987 S. Mill, Dowling said. "Break-in" jobs are those that take two or three days training.

The hardest to place are high school girls who hold no office skills and don't want to or can't work in factories.

"We encourage them to go on with schooling," Dowling said. Those girls who don't can generally only get waitressing and retail sales jobs.

BOYS AND YOUNG men, who aren't "too unrealistic" in salary demands can get "break-in" jobs in a factory, if they can pass a factory physical.

There is also a drive on, Dowling said, for jobs for minority groups, but "they just can't get out here. Transportation is very poor or nonexistent." Thus, there are jobs in the suburbs for the inner city resident, but he can't get to them.

In the trade areas, MESC still keeps hands off the unions, which determine who will learn the trades.

"Job-seekers" must go through the union via apprenticeships. The unions test and screen them. It's a throw-back to serfdom days—if your dad's

an electrician, he'll get you in." Dowling admitted they had practically no success in placing anyone in a trade job.

IN GENERAL, the MESC manager said, August is a time of flux as employees come and go due to model changeovers in the auto plants.

"Most of them need several people because of the turnover; many return to the south. And local establishments have an extremely tough time competing with the Big Three for the work-

ers," Dowling said. All job orders are "spread" to other MESC offices, including the one at 24444 Seven Mile Rd., Redford Township.

Those seeking professional placement—lawyers, teachers, business managers—are sent downtown.

The MESC offices also handles all unemployment claims and payments, and business is unusually brisk because of the auto shutdowns. "It is only temporary, however," Dowling said.

College Wage Talks Stalled

Talks between teachers and administrators at Schoolcraft College broke down Thursday after marathon sessions Tuesday and Wednesday.

According to President Dr. Eric Bradner, they were "very close" to settlement when talks ended at 5:15 a.m. Thursday morning after more than 13 hours of bargaining.

But renewed talks Thursday afternoon showed settlement was near. "When we examined costs it became apparent we could not agree," Bradner said Friday morning.

As a result, College board president Harold Fischer called a special informal executive session for Saturday afternoon. It is expected they will give the administration negotiating team further instructions.

Bradner refused to indicate

how far the administration had moved on its salary offers. Their total package of \$27,485 was rejected by the teachers, whose requests for wages total \$396,000.

Tuesday, a state fact finder, Dr. Charles Rehms of Ann Arbor entered the talks. Bradner indicated that Rehms might still be called to hear further testimony.

Board Pays \$25 Daily

Members of the new 26-member Wayne County Board of Supervisors, which is due to take office next Jan. 1, will be limited to maximum compensation of \$2,500 a year if the present 135-member Board of Supervisors has its way.

A recommendation that the

"We want a settlement satisfactory to everyone so we can open this college. We have 5,000 students waiting and that's the important thing," Bradner said.

Teacher-administration wage talks might resume Monday or Tuesday depending on the action of the executive board meeting Saturday.

The college is due to open its doors August 26.

pay for members of the new board be limited to \$25 per meeting, with an annual total maximum of \$2,500, was approved last week by the Board of Supervisors. Under the approved recommendation, the board chairman would receive \$35 per meeting, with an annual maximum of \$3,500.

OBITUARIES

GORDON DANIEL NORTROP. A memorial service for Mr. Nortrop, 21, son of Dr. and Mrs. Gordon D. Nortrop, 41006 Laurelwood, Farmington, will be held at 8 p.m. Monday, Aug. 19, in the First Baptist Church of Farmington.

Officiating will be Dr. Nortrop and Mr. Nortrop's uncle, Dr. Floyd E. Nortrop, of the Rev. Stewart E. Nortrop. Arrangements were made by the Heeney-Sundquist Funeral Home.

Born Sept. 21, 1946, Mr. Nortrop drowned in a boating accident Aug. 10 in Lake Temagami, Ontario. A student at Pillsbury Baptist College, he was a 1966 graduate of Farmington High School and had attended Eastern Michigan University.

Surviving in addition to his parents are two sisters, Deborah and Priscilla; a brother, Timothy; and grandparents, Mr. and Mrs. Elmer D. Nortrop, of Brandon, Fla., and Mrs. H. H. Blakely, of Farmington.

RICHARD DANIEL FULTON. Services for Mr. Fulton, 23, of 246 Division St., Farmington, will be held at 1 p.m. in the Schrader Funeral Home with Rev. Ronald D. Morrell officiating. He will be buried in Glen Eden Cemetery.

Mr. Fulton died Aug. 14 in Tol-free Memorial Hospital, West Branch, following a long illness of muscular dystrophy.

He is survived by his parents, Mr. and Mrs. Lovell and Violet Fulton of Plymouth; two brothers, William of Plymouth and Harold of Westland; his grandparents, Mrs. Frances Fulton of Coalport, Pa., and Mr. Ernest Frederick of Irons, Pa.

CARL GEORGE LOEFFLER. Requiem Mass for Mr. Loeffler, 54, of 33225 Harton, Farmington Township, was conducted Aug. 16 in St. Gerald's Church by the Rev. James P. O'Hagan. Prayers and Mass were said in Heeney-Sundquist Funeral Home.

A resident of Farmington for 20 years, Mr. Loeffler died Aug. 14 in Redford Community Hospital.

He is survived by his mother, Mrs. Genevieve Loeffler, of Dearborn; nine children, Carl G., Jack L. and Robert A. of Farmington, Larry V. of Fort Lauderdale, Fla., Mrs. Richard (Geraldine) Woodie, of Farmington, Mrs. Richard (Kathy) Rock and Mrs. Dave (Alice) Gambo, of Walled Lake, Mrs. Robert (Shirley) Kahrl, of New Hudson, and Mrs. Joseph (Judy) Zarvas, and 11 grandchildren.

CEARY, Mrs. Earl Dubuque and Mrs. Joseph Michaels, and one brother, Kenneth Donaldson.

JOHN J. REARDON. Services for Mr. Reardon, 85, of 8445 Woodland Shore Drive, Brighton, were held in the R.G. and G.R. Harris Funeral Home and St. Alexander Catholic Church. Burial was in Holy Sepulchre Cemetery.

A former resident of Farmington Township, Mr. Reardon was a member of St. Alexander Church in that city and moved to Brighton three years ago. He was a retired truck driver for the City of Detroit.

Mr. Reardon died August 12 at his home after an extended illness.

Survivors are one daughter, Mrs. Clarence (Mary) St. John of Brighton; a brother, William Reardon of Detroit; three grandchildren and one great-grandchild.

NYE W. HUMPHREY. The Rev. Carl H. Schultz, of Salem United Church of Christ, officiated at services Aug. 15 in Thayer Funeral Home for Mr. Humphrey, 76, of Clearwater, Fla. Burial was in White Chapel Memorial Cemetery.

A retired tool and die maker for General Motors Corp., Mr. Humphrey died Aug. 11 after a short illness. He had lived in Farmington for 38 years before moving to Clearwater eight years ago.

Survivors include his wife, Mary Belle; a daughter, Mrs. June Gagnon, of Farmington; a son, Frederick N., of Redford Township; and four grandchildren.

THOMAS H. BANKS. Services for Mr. Banks, 64, of Detroit, were held Aug. 14 in Thayer Funeral Home. Mr. W. Leslie Williams of Farmington Methodist Church officiating. Farmington Lodge 151 F & A.M. held a memorial service Aug. 13. Burial was in Walled Lake Cemetery.

A 10-year resident of the Farmington-Redford Township area, Mr. Banks died Aug. 11. He was a retired machine operator.

Survivors include a daughter, Mrs. Douglas (Nancy) Herring, of Farmington; a sister, Mrs. Lucy Pratt, of Ontario, Canada; a brother, Charles Banks, of St. Cloud, Fla.; and four grandchildren.

MRS. ERMA MAY KINSEY. Services for Mrs. Kinsey, 75, of 22026 Chippewa, Redford Township, were held Aug. 14 in Thayer Funeral Home, the Rev. Calvin Blue of Strathmore Methodist Church officiating. Burial was in Parkview Memorial Cemetery.

A Redford resident for 17

years, Mrs. Kinsey died Aug. 12 after an extended illness.

Surviving are her husband, James H.; daughters, Mrs. Joseph (Bernice) Oberg and Mrs. George (Joyce) Donnelly, of Redford Township; a son, Alton S., of Berkley Springs, W. Va.; two sisters, Mrs. Leona Chisall, of Detroit, and Mrs. Violet Holman, of Clearwater, Fla.; and six grandchildren.

MARGARET ANN LIPA. The Rev. Albert Kolch officiated at Requiem Mass Aug. 16 in St. Alexander's Church for Mrs. Lipa, 39, of 22200 Colgate Ave., Farmington. Burial was in Holy Sepulchre Cemetery. Arrangements were made by Thayer Funeral Home.

Mrs. Lipa died suddenly Aug. 12. She has lived in Farmington for 17 years and was vice president of the John F. Ivory Individual Bowling Team, a former member of the Detroit Times Bowlerette and Cadillac Classic League.

Survivors include her husband, Chester C.; eight children, Mrs. Bridget Ann Blake, of Farmington, and Vianna, Denise, Jan Marie, Todd L., Paul V., Allen J., and Gerald M., all at home; and her mother, Mrs. Marjorie Steele, of Farmington.

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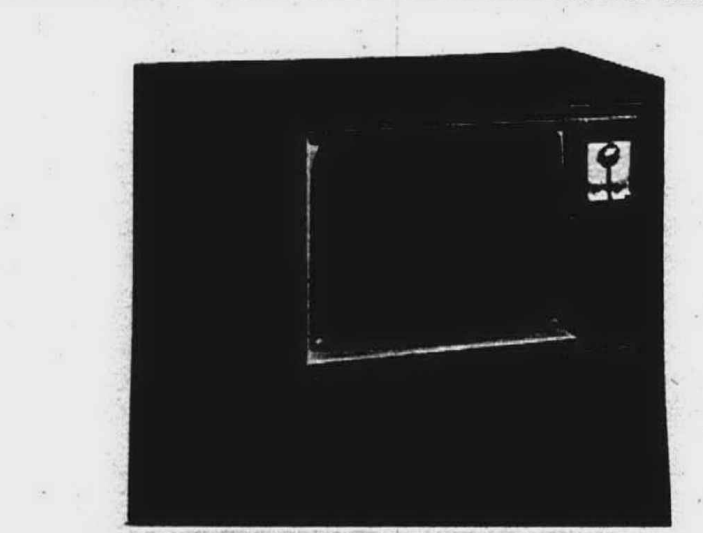
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Democrat Delegates To Meet

Democratic National Convention delegates of the 19th Congressional District will debate national issues and gear themselves for the trip to Chicago next weekend.

They will attend a meeting called by Delegate Jerry Raymond at 8 p.m. Thursday in Stevenson High School, Livonia.

Delegates from the 19th will be Raymond, representing the Wayne County part of the district; and George Googolian, Rebecca Woods and Aldo Vagnozzi, of Oakland County. Vagnozzi is a member of the National Convention's Resolutions Committee.

Alternates from the district will be Paul Y. Kadish, Glenn Hartsell and Charles Deamud, from Wayne County, and Harold Julian, from Oakland.

"We would like every Democrat and anyone else interested to have a good awareness of the national issues to be presented to the convention in Chicago," Raymond said.

FIRST MULTIPLE
The first apartment building in the United States was built in New Orleans in 1849.

N'ville Unification Called Feasible

The unification of the City of Northville and Northville Township is "definitely feasible and would be advantageous to both in many ways," according to a report released this week.

The Unification Study Steering Committee for the city and township culled reports from six subcommittees covering areas of public safety, public works, public improvements, finance administration and planning.

THE REPORT IS similar to those generated by groups interested in the unification of Plymouth and Plymouth Township, and Farmington and Farmington Township.

In Plymouth, two Chamber of Commerce-sponsored community conferences resulted in the request of a unification study, now being conducted by the Michigan Citizens Research Council. Results are due in September.

In Farmington, two studies are underway. One is being conducted by Michigan State University and is sponsored by the Future Farmington Study Committee. The second is being done by Donald Oakes for Farmington Township on a private basis. Oakes completed the Northville study.

SHOULD NORTHVILLE OF-

ficials follow the pattern set out in the unification study, an incorporation vote would have to be held in both the city and township and pass in both places.

If any part is to be annexed to the City of Northville, only the city and residents in the portion to be annexed would vote, the report said.

Key to any success in unification lies with finances. The report suggests a uniform levy of seven mills would provide adequate service. That is six more than now levied in the township, but six less than the 13-mill levy in the City of Northville.

The study showed the township would have to levy 7.85 mills for police alone.

The unification study will be presented at a public hearing in Northville City Hall council chambers Monday, Aug. 26 at 8 p.m.

Attends Camp

Gregory M. Novak, son of Mr. and Mrs. Matthew M. Novak, 24174 S. Duncan Dr., Farmington, is attending Army Reserve Officers' Training Corps summer camp at Fort Riley, Kan. A student at Eastern Michigan University, Novak is a graduate of Our Lady of Sorrows High School.

Grant Aids Language Creativity

Oakland Schools will share \$55,000 with seven districts, including Clarenceville, to build model language arts programs into their curriculums.

Other participating districts are Ferndale, Oak Park, Pontiac, Southfield, Troy and Warrenton.

The Elementary and Secondary Education Act funds granted under Title III pay a portion of teachers salaries and materials costs.

Clarenceville's unique program in stimulating creative writing among elementary students will be concentrated on third and fourth graders in the entire district.

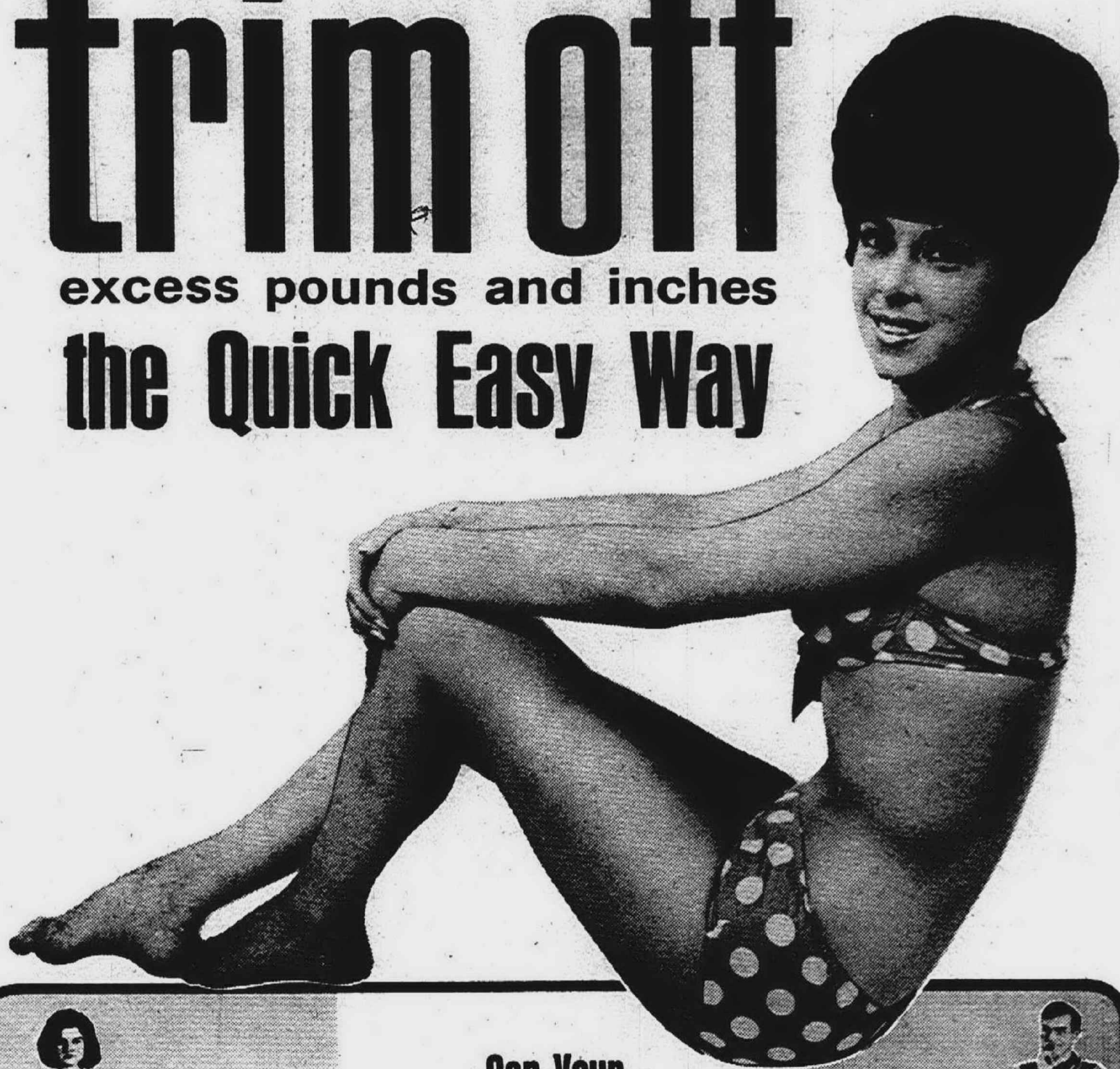
Mrs. Martha Sage, who developed the program last year with fourth and sixth graders, found that younger children respond more eagerly to the opportunity to write. She will spend one day at each of the district's elementary schools.

The federal grant will help finance continuation of the creative writing experiment.

ORIGINAL TAXI
The first taxi was built by the Daimler Motor Co. in 1897 and operated in Stuttgart, Germany.

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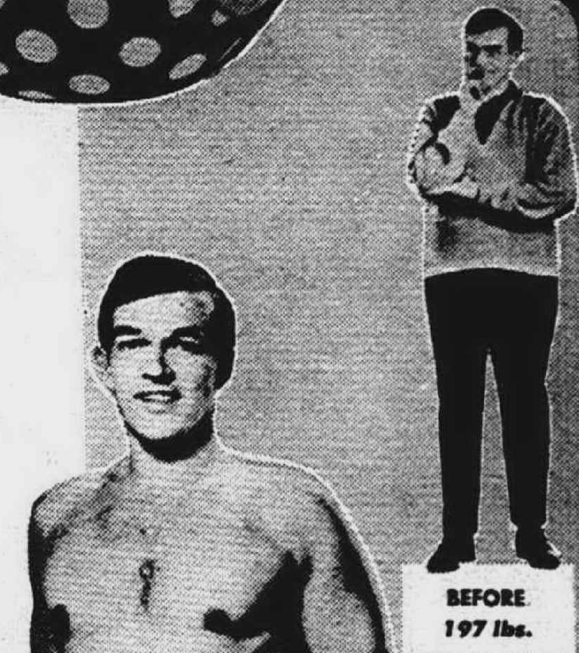
BEFORE
Size 18

AFTER
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Results a Beginner Can Expect In Just 60 to 90 Days

BUST	Firm, tone and add 2" to sagging bustline.
HIPS	Loosen middle age spread. Lose 2 to 4 inches off hips.
WAIST	Firm and flatten tummy. Lose 2 to 4 inches off waist.
THIGHS	Lose 1 to 3 inches — slim down thighs proportionately.
WEIGHT	Lose 15 to 25 lbs. quickly, easily. Usually no dieting.



BEFORE
197 lbs.

AFTER
169 lbs.

Mr. Doug Pence, age 34, straightened his posture, tightened thigh and leg muscles, expanded chest and trimmed 4" from midsection in just 3 months. Now, Weight loss — 28 lbs.

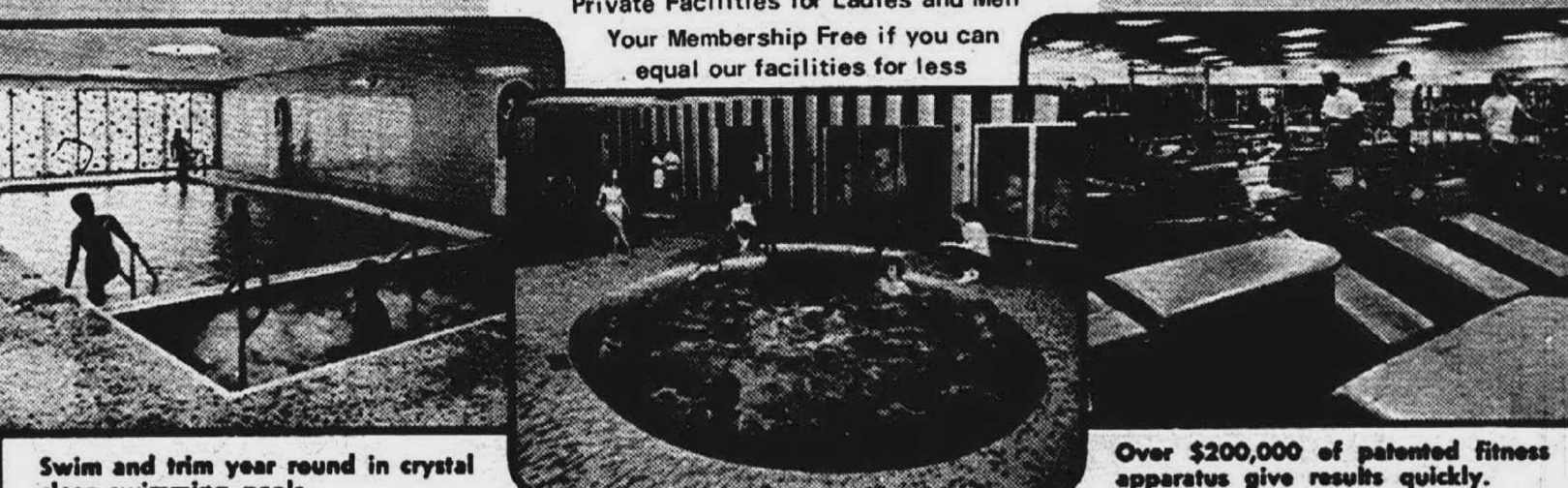
Results a Beginner Can Expect In Just 60 to 90 Days

CHEST	Firm, tone and add inches to sagging Chest.
WAIST	Reduce, flatten, slim and trim your spare tire.
HIPS	Lose 2 to 4 inches off hips. Make your slacks fit again.
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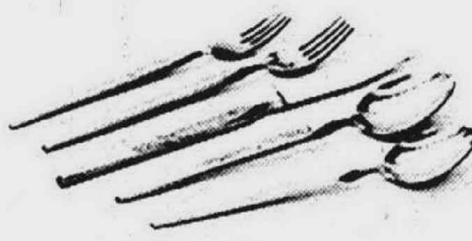
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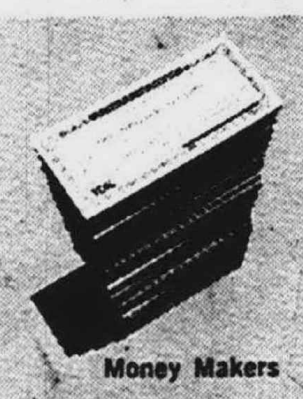
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Brotherhood In Day Camp

'Common Humanity' Of Suburbs, City Discovered In Farmington Church Project

The pleasant Halstead Road farmland that was home to some of Farmington's earliest residents has been alive with new activity in the last two weeks.

A busy day camp filled the one-time Gibson Centennial farm, now site of the Universalist-Unitarian Church of Farmington. In the fortnight run, campers from all over Metropolitan Detroit gained new insight into the meaning of brotherhood.

Mrs. Norma Cole, of Farmington, directed the daily hubbub which she called "discovering our common humanity." Negro and white kids, roaming grassy fields, fishing in the stream that winds through the property, poking through an old barn and enjoying singing and craft projects together, found the discovery a lot of fun.

Sponsored by the church at the suggestion of Robert M. Eddy, minister, the day camp was designed as a cooperative venture so mothers could get into the brotherhood act with their youngsters.

More than 50 campers arrived each morning for a day crammed with activity or maybe spread out for wandering and quiet thoughts.

MOTHERS FROM THIS area—Villia Kalunis, Pat Morrill, Hazel Gibson, and Carol Leinonen, of Livonia, Peggy Pursell of Plymouth, Marilyn Christie of Farmington—arrived with their youngsters and a few more.

From Detroit neighborhoods of varied economic levels came Negro mothers, Penny Davis, Elvira Wilkerson, Mary Newman and Regina Johnson, each with a carload.

Marion Kellogg, Mary Tozer and Adelia Minor, all long-time members of the U-U church, helped by driving children from Detroit each day.

Small Joanne Logan, from Highland Park, didn't miss a chance to ring the bell as soon as she arrived each day. Other children launched games of dodge ball or gathered around a tire swing while waiting for the day's program to begin.

Usually Mrs. Cole started things off with group singing. Then the campers would divide into groups with several volunteer counselors—mostly teachers and representing both races. High schoolers, also both Negro and white, helped out as junior counselors.

Daily activities took the children to such interesting spots as the Cole family's nearby farm and to swimming facilities at Proud Lake. On the church grounds, the kids could go fishing any time they could find a counselor to take them, or explore the picturesque barn left over from the days when the property was a farm.

They also found wild flowers in the woods, traced the crack in the ground that showed a mole had gone burrowing by and dug deep holes and long tunnels in a sandy spot behind the church building.

INSIDE THE CHURCH, a century-plus building moved to the farm from the center of Farmington two years ago, they made name tags and papier-mache animals, played with white mice and birds and dogs brought on pet day.

No religious instruction was part of the program. "What we wanted was a program that would have all concerned taking an active part and getting to know the others," Mrs. Cole said.

"We wanted the camp to be a happy experience for the children, so while we arranged plenty for them to do, no one had to join any activities he didn't like."

She said the original plan was to put the smallest children in a group with their own projects. "But it worked out that they wanted to be right in on things with the big ones, and that was fine," she added.

For several excursions, the buddy system was used, "so everyone could make a friend," Mrs. Cole said.

The old farmland won't seem quite so busy next week, and a lot of children and their mothers

will be getting a bit of needed rest.

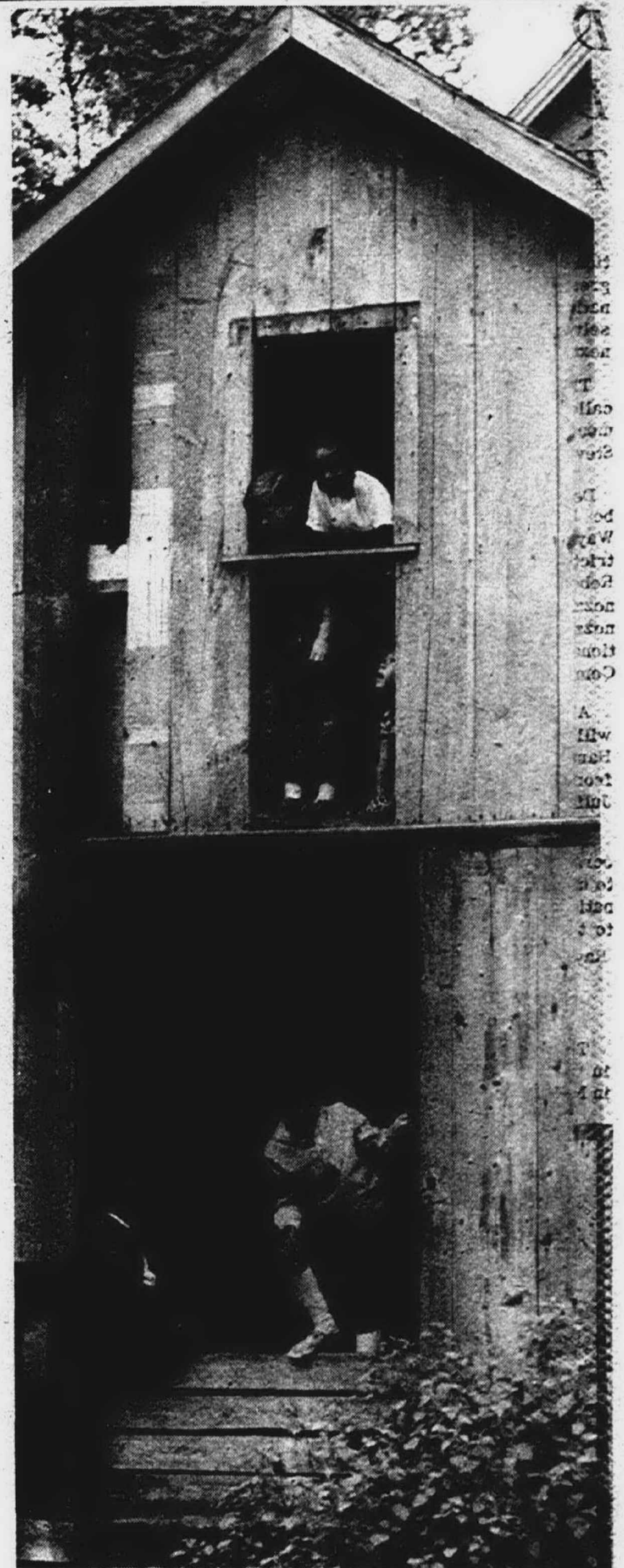
But the church and the day camp staff can enjoy the knowledge of one more link forged in the chain of understanding for all people in the area.



CAMPERS GATHER—Joanne Logan (far left) rings the church bell to begin a camp day. Others ready to go are Judy Cross, Mrs. Phyllis Swank, of Livonia, and daughter Diane, Harold Beard (in doorway), Linda Gentry, Ann Mickleson, Kim Blackman, Rita Smith and Regina Smith.

A SWING IS TO SHARE—Cassandra Lopez of Inkster, Estelle Hills of Highland Park, and Valdenise Jefferson of Detroit take turns on the big tire-swing.

STORY:
Margaret Miller
PICTURES:
Fran Evert



PEEK-A-BOO BARN—This old barn with lots of handy openings was a major attraction in a day camp operation for two weeks by the Universalist-Unitarian Church of Farmington on centennial farmland. Looking out from the loft are Joanne Logan and Linda Christie, of Farmington, and Victor Jordan and Randy Wilkerson. Down below are Leslie Maxwell and Kim Blackman.



QUIET MOMENT—There was much in nature to know and time to study it, so Wendy Gibson, of Livonia, took a few moments by herself under a tree.



DODGE BALL FOR EVERYONE—Campers and counselors from all over join in a lively game.

Monday 19	Bill Peterson SQUARE DANCERS — Community Room, 8 p.m.
Tuesday 20	LADIES' DAY , 9:30. Coffee and donuts. Movie 10 a.m. Cinema 1: gifts, prizes, special bargains. WEIGHT WATCHERS - Community Room, 12:15.
Wednesday 21	COLONIAL SENIOR CITIZENS 12 p.m., Community Room.
Thursday 22	TIGER BASEBALL PLAYERS in Mall - 10:30 to 2:30, to autograph pictures. Get your BACK-TO-SCHOOL Livonia Mall National Contest Coloring Book. WIN A \$5,000 SAVINGS BOND or a \$20.00 gift certificate (one for each grade, first to eighth.)
Friday 23	Help a Little Leaguer, buy a Tiger Poster in Livonia Mall. Posters by TASCOCOLORING CONTEST runs until August 31.
Saturday 24	Ask your Livonia Mall Merchant for your FREE COLORING BOOK . Thousands of dollars in prizes. Coin Show in Community Room, 10 a.m. to 9 p.m., AUCTION at 4 p.m.

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The Observer

WORLD OF WOMEN



Barbara Newcomb Is Wed In Double-Ring Ceremony

Barbara Best Newcomb, wearing a headpiece fashioned from antique hand-made lace by her grandmother, was married to Victor O. Carl Behrmann Jr. at 12 noon, Saturday, Aug. 10.

The Rev. Louis G. Gillette officiated the double ring ceremony at Nativity Episcopal Church, Birmingham.

Mrs. Behrmann is the daughter of Dr. and Mrs. Arnold B. Newcomb, of Riverside Drive, Birmingham. Mr. and Mrs. Victor O. Behrmann of Roushway Drive, Livonia, are parents of the bridegroom.

THE BRIDE, given in marriage by her father, chose a floor-length candlelight peaude sole gown with a lace bodice and bands of lace applied on the skirt.

Mrs. Richard Whitman, of Livonia, served as matron of honor. She wore a floor-length, ice-aqua gown with white daisies applied on white fishnet on the yoke and sleeves. Her head bow was made from the same material as the dress.



MRS. VICTOR BEHRMANN (Barbara Newcomb)

The bride's sisters, Marge and Cynthia Newcomb, served as attendants. Their gowns were styled like the honor attendant's.

LEE HENDRICKS, of Defiance, O., served as best man. Guests were seated by Christopher Newcomb, brother of the bride, and Wayne McNeal, of Cedar Rapids.

Mrs. Newcomb was attired in a street length gold shantung sheath with a scarf neckline. Mrs. Behrmann, mother of the bridegroom, wore a turquoise shantung street length sheath.

A luncheon reception was served at the Rotunda Inn following the ceremony. Then the couple departed for a one-week wedding trip to Bermuda.

THE BRIDE, who taught at Cleveland Elementary School in Livonia, was graduated from Albion College and the University of Michigan.

Her husband attended Valparaiso University and Washington University.

The couple will reside in Cedar Rapids where the bridegroom is employed as an insurance sales representative. The new Mrs. Behrmann plans to teach in Iowa.



MRS. RICHARD FOWLER WINES (Nancy Lee Kincade)

Newlyweds Honeymoon In Northern Michigan

Nancy Lee Kincade became the bride of Richard Fowler Wines in a double ring ceremony, July 20 in the First Presbyterian Church, Plymouth.

Rev. Henry J. Walch officiated at the marriage.

Parents of the couple are Mr. and Mrs. Wilbur J. Kincade, of Plymouth, and Mr. and Mrs. Lawrence M. Wines, of Birmingham.

THE BRIDE wore a street length gown of white lace with a white satin train. She carried a circular bouquet of daisies and white and yellow roses. Amy Leithauer served as maid of honor and wore a pale pink street length gown of nylon chiffon.

Richard Gobielle served as best man and ushers were Lynn Patrick, Douglas Rowe, James Kincade and Gary Kincade. Richard Rowe, the bridegroom's nephew was ring bearer.

Attends EMU Workshop

Eve Eisenstadt, daughter of Mr. and Mrs. Martin Eisenstadt of 29392 Glencastle Drive, Farmington, attended the second annual Summer Workshop in Dramatics on the Eastern Michigan University campus in Ypsilanti.

Involving a hand-picked 47 advanced high school students from throughout the region, the workshop provides intensive exploration of all aspects of dramatic production-acting, directing, pantomime, design and technical production in a two-week course of classes and laboratory experience centered in EMU's Quirk Theatre.

Mitchell R. McEllya, Assistant Professor of Speech and Dramatic Arts, heads the Workshop faculty, with Mrs. Margery Eubanks and Benjamin Mordecai as associate directors, and Lawrence J. Hill as technical director.

Couple United In Marriage

St. Peter Lutheran Church, in Plymouth, was the scene of the recent wedding of Patricia Jean Barry and Glen Schaumburg.

The double-ring ceremony was performed by the Rev. Leonard Koeniger.

The bride is the daughter of Mrs. William J. Barry, of Plymouth, and the bridegroom's parents are Mr. and Mrs. Arnold Schaumburg, of Hartford, Wis.

THE BRIDE, given in marriage by her maternal grandfather, came to the altar in a white dress of silk organza over taffeta. Rose point lace fashioned the bodice and elbow-length sleeves.

The skirt and train of her gown were appliqued with lace, and seed pearls edged the petals that held the double-tiered waist-length veil. The bride carried a colonial bouquet of white and yellow roses arranged with baby's breath and lilies-of-the-valley.

Mrs. David Worth, of Palo Alto, Calif., sister of the bride, served as matron of honor. Mrs. Thomas Barry, of Plymouth, sister-in-law of the bride, and Mrs. James Deener, of Wisconsin, were bridesmaids.

THE ATTENDANTS wore empire gowns of yellow pique trimmed with a soft green velvet bow. Daisies fashioned the headpieces and they carried colonial bouquets of yellow and white daisies.

The Rev. James Deener, brother-in-law of the groom, served as best man. The groomsmen were Charles Girkel and Thomas Barry, brother of the bride, Vicar Ralph Martens and William Barry, brother of the bride, served as ushers.

THE BRIDE'S mother chose a mint green dress and carried



MRS. GLEN SCHAUMBURG (Patricia Jean Barry)

a corsage of orchids. The mother of the bridegroom wore a beige ensemble with white accessories and carried a corsage of pale green orchids. The couple spent a northern Michigan honeymoon at Green Lake and Interlochen.

The groom, a former vicar of the St. Peter's congregation, is a June graduate of Wisconsin Lutheran Seminary. He is now serving as pastor of a church in Willoughby, O., and they are living in Mentor, O.

Help Teens Keep Diets Healthy

Teen-agers commonly viewed as being on the brink of nutritional disaster are no such thing, according to Dr. Ruth M. Leverton, nutritionist, and assistant deputy administrator of Agricultural Research Service.

She says we point with pride to the size, physical prowess and vitality of our youth and then view with alarm their food choices and eating patterns.

To encourage good teen-age nutrition, she suggests: (1) make foods easily available in a permissive, relaxed atmosphere any time of day; (2) offer school lunches that permit choice and variation; (3) have food dispensing machines that offer foods with more than empty calories; and (4) help teen-agers have a schedule that has time enough built in for eating and snacking where good foods are available.

Grace Church Is Scene Of Stokes Wedding

Donna M. Burton was married to Richard A. Stokes in a candlelight ceremony in Grace Lutheran Church, Redford Township, on July 13.

The double-ring ceremony was performed by the Rev. V.F. Halboth Sr.

The couple's parents are Mr. and Mrs. George W. Burton, of Wakenen Avenue, Redford Township, and Mr. and Mrs. Clayton H. Stokes, of Milford.

GIVEN IN MARRIAGE by her father, the bride wore a satin-crepe gown with a detachable train and a detachable veil. Her bouquet fell from a petal crown, and she carried a bouquet of orchids, baby's breath, and stephanotis.

Viola Hill, of Boulder, Colo., served as maid of honor. She wore a yellow-green crepe sleeveless empire dress trimmed with yellow lace, and carried yellow carnations with croton leaves.

THE BRIDESMAIDS, dressed in identical gowns, were Susan and Patti Martin, cousins of the bride, and Mrs. Donald McLachlan.

Daniel Stokes, of Milford, served as best man. The us-

Add Bubbles To Champagne

Champagne is still the drink for special occasions. But add the mod touch to the traditional golden bubbly. Here is a fabulous sparkling punch, a Vodka-Champagne Punch, with the tantalizing flavor accent of Cointreau. It's sure to start something new in celebrating. VODKA-CHAMPAGNE PUNCH 2 cups (8 oz. each) Vodka 2 cups (8 oz. each) Cointreau 4 bottles (26 oz. each) Champagne, chilled Pour Vodka and Cointreau over ice in punch bowl or pitcher. Stir and add Champagne slowly. Makes about 4 1/2 quarts punch, or 36 four-ounce servings.

The bride was graduated from Blue Mountain High School and will attend Penn State University this fall where she is majoring in elementary education.

The bridegroom was graduated from Bentley High School and is now serving with the U.S. Coast Guard at Governor's Island, N.Y.



MRS. RICHARD A. STOKES (Donna M. Burton)

ers included PFC Bill Fulton, Ted Martin, and Don McLachlan.

The new Mrs. Stokes graduated from Redford Union High School, and she and her husband both are Michigan State University graduates.

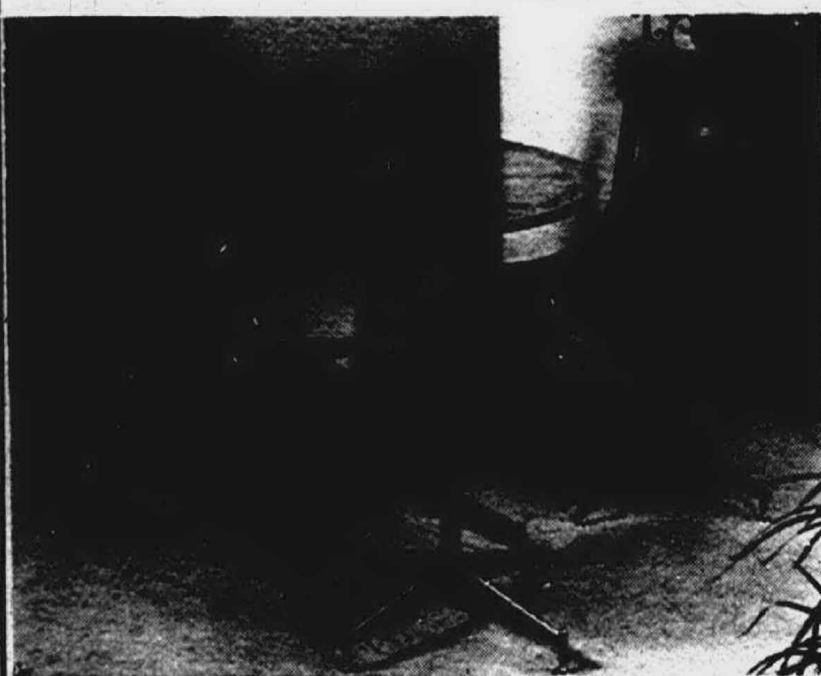
After their Botsford Inn reception, the couple left for a Florida honeymoon. They will live in Wayne.

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<p>Maple Finish. Built for Rugged Use. \$38</p>	<p>Wagon Wheel Design. Maple Finish. \$48</p>	<p>Popular BOOK-CASE BEDS. Maple Finish. \$68</p>
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BEDROOMS

<p>4 PC. SUITE Includes: Bookcase Bed, Double Dresser, Mirror and Chest. \$98</p>	<p>4 PIECE MODERN GROUP Double Dresser, Chest & Mirror, Bookcase Bed. \$128</p>	<p>4 PIECE CONTEMPORARY GROUPING Includes: Large Triple Dresser, Full Size Mirror, Roomy Chest, Full Bed. \$148</p>
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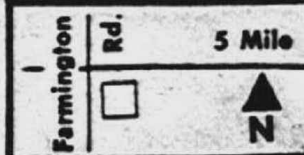
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They're Engaged



EVON GUTIERREZ

Mr. and Mrs. Ben Gutierrez Jr. of Lincoln Court, Farmington, announce the engagement of their daughter, Evon Irene, to Richard Dean Rienecke, son of Mr. and Mrs. Robert Rienecke, of Perth Street, Livonia. The bride-elect is a student of Oakland Community College on the Orchard Ridge campus, where she is a member of the Student Guide Association and was second runner-up in the recent campus queen contest. A wedding in the near future is planned.



MARCIA COCHRANE

Mr. and Mrs. W. O. Cochrane, of Danbridge Avenue, Plymouth, announce the engagement of their daughter, Marcia Ann, to Dennis M. Pepino, son of Mr. and Mrs. Michael Pepino, of Detroit. The bride-elect is a sophomore at Eastern Michigan University where she is affiliated with Delta Zeta sorority. Her fiancé is a graduate of EMU, with a degree in marketing research, and is a member of Delta Sigma Phi fraternity. He has accepted a position in the distribution department with the Ford Motor Co. The wedding is set for Feb. 7.



PATRICIA LYNCH

Mr. and Mrs. Anthony Lynch, of Redford Township, announce the engagement of their daughter, Patricia Arlene, to Stephen James Barton, son of Mr. and Mrs. James F. Barton, of Livonia. The bride-elect is a senior at Wayne State University and her fiancé is a senior at Lawrence Institute of Technology. They will be married June 12, 1969.

3 Livonians Go To WMU

Three Livonia students recently attended a three-day freshman orientation session at Western Michigan University.

Ann Meredith Watt, 32215 Oakley; Dale C. Wendell, 34929 Grove, and Louis Ilene Zevchak, 9804 E. Clements Circle lived in a dormitory with approximately 140 other students.

While at Western, they met with their counselors, registered for classes, and had a get-acquainted tour of the campus.



ELIZABETH LONG

Mr. and Mrs. George A. Long, of Kalamazoo, announce the engagement of their daughter, Elizabeth Ann, to Roger S. Frayer, son of Mr. and Mrs. Stanley J. Frayer of Flamingo Avenue, Livonia. The bride-elect is a graduate of Comstock High School, Kalamazoo, and is a senior at Alma College, where she is affiliated with Kappa Iota sorority. Her fiancé, a graduate of Franklin High School, also is a senior at Alma and a member of Tau Kappa Epsilon Fraternity. They are planning an August, 1969 wedding.



DOLORES WADE

Mr. and Mrs. Kenneth W. Wade, of Mackenzie Drive, Westland, announce the engagement of their daughter, Dolores Marie, to Donald Kenneth Premo, son of Mr. and Mrs. Robert E. Premo, of Hathaway Avenue, Livonia. Both are graduates of Bentley High School. The bride-elect is employed by a medical doctor in Livonia and her fiancé, a veteran of the U.S. Army, is employed by the Waterway Construction Co., Southfield.



ROBERTA WILT

Mr. and Mrs. Clarence Wilt, of Farmington Road, Farmington, announce the engagement of their daughter, Roberta Edna, to Wenceslao Maresh Jr., son of Mr. and Mrs. Wenceslao Maresh Sr., of Flanders Avenue, Farmington. The bride is a 1962 graduate of Farmington High School and employed by the Michigan Bell Telephone Co. A spring wedding is planned.

Guitar, Fencing Courses Set

Ten-week courses in guitar and fencing will begin Thursday, Sept. 12, in the Northwestern YMCA, 21755 W. Seven Mile Rd., Detroit.

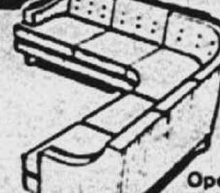
The guitar course will be given from 6 to 8 p.m. and the fencing from 8 to 10 p.m. on Thursdays. Both require membership in the YMCA and cost \$15.

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Janice Foster Wed To G.A. Bachmann

Janice Lee Foster became the bride of George A. Bachmann Saturday, Aug. 3, in an evening ceremony in Franklin Community Church, Franklin.

The Rev. Frank Cowick officiated at the wedding. Sharon Jones, of Lowell, Mich., sorority sister of the bride, was guest soloist.

Parents of the couple are Dr. and Mrs. Thomas G. Foster, of Briarcrest Knoll, Farmington, and Mrs. Arnold W. Bachmann, of Drexel, Dearborn.

Kathryn Foster, sister of the

bride, was maid of honor. Bridesmaids were Joanne Burr, Suzanne Zedar, Susan Timmons and Linda Anderson.

The bride's attendants wore green dotted voile accented with green sashes and carried nosegays of carnations surrounded by ivy and daisies.

Patrick Decker served as best man. Thomas Foster, brother of the bride, John Cook-Inham, Blake Logue and Al Armitage were ushers.

MRS. FOSTER chose a dress of blue silk organza and Mrs. Bachmann wore clover pink silk and linen ensemble.

A reception for 200 guests was held in the garden at the bride's home.

The newlyweds honeymooned in the Caribbean. Both are Western Michigan University graduates and will make their home in Harper Woods, Mich.



MR. AND MRS. WILLIAM G. THOMAS

Mass Of Thanksgiving Marks 50th Anniversary

A Mass of Thanksgiving in St. Genevieve Church, Livonia, will mark the golden wedding anniversary of Mr. and Mrs. William G. Thomas, of Livonia.

Infants Have Frequent Falls

Before they reach the walking stage, babies fall from high places with almost incredible frequency.

According to a report in the August issue of Family Circle magazine, credited to the A.M.A. Journal, most falls occur about the age of seven and a half months.

At that age "infants begin to roll from prone to supine position, to sit up, pull themselves to standing position, and climb. Many parents are unprepared for these new motor activities and underestimate the resulting danger of falling."

Studying 536 infants, a team of Illinois investigators found a combined incidence of 47.5% first falls from cribs, adult beds, or dressing tables during the first year. Almost all resulted in head injuries.

If the same incidence holds nationally, the report points out, 1,750,000 infants annually sustain at least one fall in their first year.

Include Baking Soda In Picnic Lunch Basket

A box of baking soda is a good emergency first-aid item to include in picnic gear. Soda mixed with water into a paste soothes the itch from bramble scratches, chiggers and insect bites and the pain of sunburn.

Dumped dry on an overly active fire, soda slows the blaze; added with water to empty vacuum bottles and jugs, it prevents milk or fruit juice pulp from sticking, and makes them easier to clean when you reach home.

And of course bicarb provides an antidote for picnickers who overindulge.

The Thomases also will be honored with a family dinner to be given in the Livonia home of their son, Donald J. Thomas, and his wife, Patricia.

Planning to be present are the couple's five other children and their families.

The other daughters and sons are Mrs. E. Hamlin, of Brighton; William J. Thomas, of Lusburg, Fla.; Mrs. G. Gilbert, of Farmington Township; and Mrs. E. Hemeyer, Robert and Mrs. E. Hemeyer, Robert G. Thomas and Earl C. Thomas, all of Livonia.

There also are 31 grandchildren and five great-grandchildren.

The couple was married in St. Benedict Catholic Church, Highland Park, on Aug. 21, 1918. Thomas, employed in the construction business, was with the Lerner, Linden Construction Co. of Detroit at the time of his retirement seven years ago.

Dipper Makes Ivy Flower Pot

You can make an interesting flower pot from a soup ladle or dipper. Plant an ivy or other vining plant that will grow in shallow dirt in the ladle. It may be necessary to straighten the curved handle a little. Give the ladle or dipper a coat of bright enamel. This makes a lovely flower pot to hang on the wall.



MRS. GEORGE A. BACHMAN (Janice Foster)

Fast Meat Balls—Great Cocktails

Baked cocktail meatballs can be made in minutes.

Mix well together one pound ground beef with one fourth cup each of finely chopped onion and chopped pickles, one and one-half teaspoon of salt, a dash of pepper, and one third cup of milk. Shape into about 36 small meat balls.

Shake a few at a time in one envelope of seasoned coating mix for chicken, using the plastic shaker bag.

Place on 15 by 10-inch jelly roll pan and bake in preheated 450-degree oven about five minutes or until browned. Serve with wooden picks.

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cream sauce. The liquid from the peas and carrots may be substituted for one-third of the milk in the cream sauce.

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SIZE	DESCRIPTION	WAS	NOW	SAVINGS
12'x39'9"	100% Nylon pile in Forsythia	\$635	\$329	\$306
12'x20'3"	100% Nylon pile in Temple Moss	\$324	\$189	\$135
12'x22'6"	100% Nylon pile in Bright Bronze	\$359	\$199	\$160
12'x23'	100% Nylon pile in Bright Bronze	\$367	\$209	\$158
12'x22'6"	100% Nylon pile in Spanish Gold	\$359	\$199	\$160
15'x19'	100% Nylon pile in Tiffany Blue	\$380	\$209	\$171
15'x18'6"	100% Nylon pile in Grain Gold	\$372	\$199	\$173
12'x42'9"	100% Nylon pile in Parchment Beige	\$684	\$375	\$309
12'x24'	100% Wool, 3 ply yarn in Lime Mist	\$475	\$279	\$196
12'x9'9"	Dupont 501 Nylon in Avocado Green Tweed	\$117	\$ 69	\$ 48
12'x23'3"	Dupont 501 Nylon in Briar Rose	\$279	\$179	\$100
12'x31'3"	100% Acrilan® Acrylic in Aqua and Green	\$583	\$399	\$184
15'x15'	100% Acrilan® Acrylic in Federal Gold	\$350	\$249	\$101
12'x24'	70% Acrilan® Acrylic with 30% Modacrylic Pile in Autumn Beige	\$447	\$320	\$127
15'x14'9"	100% Kodel® Polyester in Bronze Gold	\$245	\$179	\$ 66
12'x52'6"	100% Orlon 33® Acrylic in Bronze Gold	\$839	\$499	\$340
12'x16'	100% Caprolan Nylon with Hi-density foam back in Bronze Green Tweed	\$189	\$139	\$ 50
12'x26'2"	100% Nylon Shag in Spruce Green	\$280	\$199	\$ 81
15'x23'	100% Orlon 33® Acrylic in Harvest Tweed	\$459	\$299	\$160
12'x25'	100% Continuous filament Nylon pile in Avocado	\$565	\$329	\$236
15'x23'9"	100% Acrilan® Acrylic in Avocado and Cordova Red	\$550	\$349	\$201
12'x12'	70% Acrylic with 30% Modacrylic in Avocado (bound)	\$135	\$ 99	\$ 36
12'x21'	100% Wool in Bronze Green Tweed	\$315	\$219	\$ 96
15'x18'	100% Acrilan® Acrylic in Fern Green	\$420	\$299	\$121
12'x20'6"	100% Continuous filament Nylon in Mint Green & Capri Blue	\$270	\$169	\$101

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Allen's 'Cinderellas' In State Finals

Call 'em the "Cinderella" baseball team in the Greater Livonia-Class D league.

The 'em being Allen Fence. Right from the start of action back in June, Allen start-

ed surprising people... surprising because the Allen squad was comprised of tenth and

eleventh graders from Bentley High. Most played on the Bentley JV team.

In the Mack-Class D loop, Allen had to go head-on against the variety team from Bentley,

from Plymouth, from Northville, from Redford Union, from Stevenson, from Thurston and

from Garden City East and West. Yet it took a last-ditch vic-

tory by the Livonia Spartans (in actuality the Inter Lakes league prep champs from Stevenson) to beat out Allen by a half game for the divisional crown in the Connie Mack competition.

Makes Third Trip To Johnstown, Pa. Tourney

Redford 9 Eyes National Title

What's behind the Redford Township success story in the American League and Free Press League teenage baseball?

This will mark the third straight year Redford has qualified for the tournament. For six straight years, Redford has reigned as league and state Free Press champs.

little question that the Townshippers have monopolized the major honors hereabouts. "We treat baseball as a major sport both at Redford Union High (where Atkins coaches) and at Thurston High," said Atkins.

which don't look at baseball that way. They would just as soon forget about the sport, if they could."

Redford players have compiled a record of 51 wins against 14 defeats. "Our boys work hard at baseball," added Atkins. "They take it very seriously. They want to play well and, of course, they want to win."



OFF FOR JOHNSTOWN are members of the Redford Township team, outstate champions of the Free Press baseball competition. Play in the national meet starts Tuesday in the Pennsylvania city. The group includes: (front row, from left) Reg Barringer, Tom Webster, Joe Himmelsbach,

Vic Pillar, Rod Ferguson, Bob Holmes, Dan Camp and Marty Ingesonlian; (second row) Manager Bob Atkins, Kevin Fox, Bill Fahey, Denny Carol, Lee Bjerke, Paul Tonnemacher, Tom Fleszar, Dale Bjerke, Bill Holmes, Bill Howe, Tom Booker and Bob Barnett.

Pennant Bound Tigers Need Only .500 Ball To Win Flag

It's contended that if a team wins 95 games in the American League, there's no way of missing out on the pennant. If that's true, the Detroit Tigers don't have to play even .500 baseball the rest of the way to land themselves a spot in the 1968 World Series.

When the Tigers moved into Boston for a weekend series with the Red Sox, the Detroit record stood at 76 victories against 43 defeats.

Forty-three games remained on the Detroit schedule. To achieve the coveted 95 triumphs, all the Tigers had to do the rest of the way was to win 19. They could afford to lose 23.

But there appeared nothing to indicate the Tigers were about to sag into a below .500 period of operations.

IN THE PAST two weeks after a sag following the All-Star game, the Tigers have won two games in every three they've played.

By maintaining such a pace in the final six weeks of the schedule, the Tigers could wind up with around 104 or 105 triumphs.

To further show how pretty the Tigers are sitting, let's assume they play .500 in the closing portion of their schedule.

That'll give them in the neighborhood of 98 victories.

To catch Detroit, second place Baltimore would have to win 30 of its final encounters or operate at a .667 clip, compared to the below .600 pace the Birds have registered thus far.

THE "BEAUTY" of the Tigers' play of late has been their ability to ALWAYS come up with the BIG victory.

They did it again this past week in Cleveland. After Denney McLain won his 24th on Monday, the Tigers ran into difficulties and suffered a 1-0 setback at the hands of the Tribe.

With Baltimore winning the night game, Detroit's lead shrunk to six games. Some could say that the Birds had a great chance to make sharp headway.

But the Tigers arose the next evening with Joe Sparrma combining with Mickey Lolich to hurl a 3-0 shutout victory. At the same time, Baltimore lost and Detroit again rested at the top of the league with a cozy seven-game bulge.

THE LOLICH story has to be the most exciting on the Tigers from a personal standpoint at the moment, next to McLain's bid for 30 victories.

For a period, Lolich was staggering around. Finally manager Mayo Smith delegated him to the bullpen.

Lolich swallowed his pride and all of a sudden has become the most effective relief pitcher in either league.

His 5 2/3 innings of spotless work against Cleveland upped his scoreless string in relief to 15 1/3 innings. He

also has won three games in relief in less than a week and boosted his season's mark to 11-7.

THE EXPECTATIONS are that he'll be back as a starter shortly.

There's something about Lolich and the late stretches of the season.

Last season, it'll be recalled, he was the giant of the Tiger mound team in September when the team came within a game of tying Boston for the pennant.

The Tigers end their ser-

ies in Boston Sunday and then return home to face Chicago in a two-nighter Tuesday. The Chisox also are here Wednesday and Thursday before the Tigers go to New York next weekend.

Area Schools Slate Plans For Football

With Monday, Aug. 26 as the first official day for the start of high school football drills, coaches of Observerland schools have issued calls to gridders to report for football equipment and special practice instructions.

Following is a partial list of schools and coaches issuing calls:

CLARENCEVILLE, Sunday, Aug. 25 between the hours of 9 a.m. and noon for equipment. Coach Ralph Weddle and assistants Gordon Larson and Jim Jarvie will start drills Monday, Aug. 26 at 7:30 a.m. and 1:30 p.m.

PLYMOUTH, seniors and lettermen receive equipment Monday at 10 a.m.; juniors, Tuesday at 10 a.m.; and sophomores, Wednesday and Thursday at 10 a.m. Practices start Monday at 7:30 a.m. and continue throughout the day.

REDFORD UNION, Monday at 6 p.m., all candidates meet with Coach Bob Atkins. Practice starts Monday with details to be given out at Monday's meeting.

THURSTON, football physicals Wednesday at 10 a.m. Football equipment to be issued Thursday at 10 a.m. with Coach Bill McDonald in charge.

FARMINGTON, NORTH FARMINGTON, Physical examinations at Farmington, Wednesday on the following schedule, senior high at 8 a.m., junior high at 9:30 a.m. and Little League at 11 a.m. The same schedule will be followed on Thursday at North Farmington.

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More important, Carol has allowed only one earned run in the last 37 innings of work. Vic Pilar, who has hurled for Michigan State, has been No. 1 in the relief department for Redford, which added Paul Tonnemacher for the tournament.

Tonnemacher was the All-Observer pitching choice from Stevenson High and helped the Livonia Spartans win the Mack divisional title. He also sparked for Livonia's Cardinal Decorating Free Press team.

Leland Bjerke at first, Rod Ferguson at second, Bob Holmes at short and Joe Himmelsbach at third figure to be the Redford infield at Johnstown.

HIMMELSPACH was the Gates Brown of Redford until cracking the starting lineup in last week's state tournament. As a pinch-hitter, Himmelsbach collected six safeties in seven trips to the plate.

He picked up two hits last Sunday when Redford won the state crown. Fahey does the catching and he's rated the top prep catcher in these parts. He has a strong arm, is smart when it comes to handling pitchers and can be counted upon to produce the big hit.

He has signed a tender to enter the University of Detroit.

REDFORD HAS added Tom Webster from Livonia Cardinal Decorating as a backup behind Fahey. Webster helped out in the state with a couple of key hits.

Barringer, Bob Holmes and Kevin Fox or Bob Barnett will comprise the outfield. Barnett was picked up from Dearborn Heights and made his presence felt in the state meet.

Atkins calls Barringer, who'll be a sophomore in the fall at Eastern Michigan University, "our most improved player."

Atkins says he's never seen a schoolboy outfielder who handles himself so brilliantly defensively. In addition, he leads the teams in runs with 18 and hits with 24.

The tournament at Johnstown will be conducted on a two-defeat and out basis. In two previous visits to Pennsylvania, Redford hasn't won in four starts.

"It'll be different this time," says Atkins.

OBSERVER Sports News



INTO SEMI-FINALS of Women's Amateur golf tournament goes Joyce Kazmierski, who taught at Stevenson High last term before leaving for a new position. Joyce was one of the favorites to gain the championship round at the Birmingham Country Club.

Tennis Tourney Opens Saturday

The newly formed Livonia Tennis Club will sponsor the first Observerland tournament next Saturday and Sunday at the Stevenson High School courts on Six Mile Road, west of Farmington Road.

The meet will be open to all

Set Plans For Livonia Golf Meet

Livonia golfers will have an opportunity to test the new nine-holes Whispering Willows course, the city's municipal links, and decide the 1968 championship at the same time.

That was the announcement by Pro Gary Whitener who told of plans for the first annual city championship tourney Saturday and Sunday, Aug. 24 and 25, over a 36-hole medal play route.

In the past the meet has been held at Idyl Wyld course in Livonia under the auspices of the Department of Parks and Recreation but was shifted to Whispering Willows which is under the jurisdiction of the DPR.

Whitener indicated it will be a scratch affair with the five low scorers qualifying for the annual state championship Michigan Recreation Association tourney in Kalamazoo over the Sept. 14 weekend.

Golfers planning to enter should contact Whitener before Wednesday at 476-4493. He will draw up a time schedule by 5 p.m. Friday.

Golfers will play twice around the nine hole layout.

BUT BACK came Allen in the Class D playoffs to win the Greater Livonia crown and the right to advance into state tournament play.

Round One saw Allen matched with Ann Arbor in the Districts. Allen emerged a 9-2 victor.

Then it was on to the regional Thursday against Wayne. Allen won again, 4-1.

All of which qualifies Allen for the state windup at Jackson Monday.

There'll be only four teams left -- one being Allen -- in the single-defeat and out finale.

FOR MANAGER Tom Lang of Allen, it's a story of work two and three years ago paying off.

Lang first handled the boys at Frost Junior High where he teaches.

"These boys did the work," said a happy Lang after the victory over Wayne. "I didn't have too much to do with their great season."

Dave Rice allowed five hits and struck out eight when Allen romped over Ann Arbor.

Allen scored three times in the first and in every inning thereafter, except the second. Bill Rice and Jim Erwin led the winners' attack with three hits each. Paul Miller and Dave Rice had two safeties each.

KEN GAWKOWSKI, who figures to be one of the area's standby prep pitchers next season, turned in a spectacular job against Wayne. He fanned 15, allowed four hits and walked two.

The only Wayne run was unearned.

Allen scored in the first inning. Hugh Shannon singled and was forced at second by Mike Perino. The latter then stole second and third and came home on a passed ball.

In the second inning Allen scored twice when Dave Rice singled and stole second. He scored when Bill Rice was safe on an error. Bill Rice came around when Joe Berg was safe on an error.

Berg walked, went to third on Shannon's single and came home on Perino's bouncer to short for the final Allen run.

Gawkowski and Dave Rice will do the pitching Monday at Jackson.

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The Tiger Schedule

SUNDAY—At Boston, 2 p.m. (Channel 2 and WJR).

TUESDAY—Chicago at Tiger Stadium, 2 games, 5:30 p.m. (WJR).

WEDNESDAY—Chicago at Tiger Stadium, 8 p.m. (WJR).

THURSDAY—Chicago at Tiger Stadium, 8 p.m.

FRIDAY—At New York, 8 p.m. (WJR).

SATURDAY—At New York, 2:15 p.m. (Ch. 2 and WJR).

SUNDAY—At New York, 2 p.m. (Ch. 2 and WJR).

Bill's Market Loses In Tourney Finals

Bill's Market, Plymouth's representative in the Class E Intercity baseball tournament at Ecorse, learned that all good things have to come to an end.

It was a sad story and came at a time when the team had visions of taking the championship after registering three victories in as many days.

Then, tired from the tournament battles, Bill's Market ran into a red hot crew from Wyandotte and took a 10-2 lacing.

IT WAS A BITTER blow for a team that had finished second in league play during the regular season and then hit a streak that found it disposing of Richmond, Highland Park and Dearborn in as many days before gaining title round.

Thanks to some stout hitting by Bill Stout, who whacked one of the longest homers ever hit by a 15-year-old at the Ecorse Park, Bill's Market trampled Richmond 10-2 in its opener Monday.

Then in the one defeat and out tourney, the Plymouth crew came back with a spectacular rally in the seventh inning to sink Highland Park, 6-5, in a real thriller.

Stout's homer gave Bills an early lead but the Parkers came storming back and had a 5-3 edge going into the last half of the seventh in a game limited to seven innings.

There were two on and two out with the score 5-4 when Stout doubled to deep center, sending in both runners for the victory.

HE CONTINUED his hitting spree against Dearborn, collecting two big blows in the 6-2 victory.

There wasn't any question as to who the victor would be in the championship. Wyandotte got off to a flying start in the opening frame and just kept adding to its lead, romping in with the one-sided 10-2 triumph.

Openings for Teams and Individuals in the Strong

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TEAM AND INDIVIDUAL OPENINGS

MONDAY	9:15 p.m.	Men's Junior House -- 4 to team over \$3.50 per point
FRIDAY	7:00 p.m.	Men's 775-850 average
TUESDAY	9:00 p.m.	Mixed League-any average
THURSDAY	1:00 p.m.	Ladies--Free nursery for children
SATURDAY	2:30 p.m.	Beginning children 7 to 11 years old
SUNDAY	12:30	Teen classic. Boys over 140 average and girls over 115 average

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Knee Surgery Again Idles Eddy From Lions' Lineup

They say that certain athletes are injury prone. Nick Eddy of the Lions obviously falls in that category. A year ago, he was lost to the Lions for all but a few days of his rookie season because of a knee operation.

There were expectations that the surgery would make Eddy healthy again for the 1968 season. He reported at the Lions' training camp at Cranbrook in high spirits. Then something happened. The knee was banged up again.

Now Eddy is recovering from a second operation on his knee. The doctors say he'll be out from six to eight weeks. Usually, knee injuries sideline an athlete even longer.

THE LIONS are keeping their fingers crossed. The loss of Eddy is just another in a series of casualties the team has sustained since they began workouts less than a month ago. The list of ailing includes offensive guards John Gordy and Chuck Walton, along with No. 1 quarterback Bill Munson. Munson should be able to make his debut next Friday night when the Lions take on the Baltimore Colts at Tiger Stadium at eight o'clock in the annual Free Press Charities game.

If Munson is all that the Lions expect, coach Joe Schmidt will find himself with three quarterbacks, one more than he'd like to carry on his roster.

The other two are quarterbacks Gary Barton and Greg Landry.

SCHMIDT WOULD like nothing better than to "farm out" either Barton or Landry to the Lions' taxi squad. In that way, the player so designated would stay with the Lions, work out with them, gain experience in drills and be ready to step in if there were another injury at quarterback.

But it isn't likely Schmidt can ship either Barton or Landry to the taxi squad.

Both have looked too good so far and too many teams are shopping around for another quarterback to permit the Lions to get away with asking waivers—which they'd have to do—on either Barton or Landry.

THE GAME with Baltimore Friday will mark the only home appearance of the Lions prior to the start of the regular season.

The Lions and the Free Press will turn over a share of this year's proceeds to purchasing athletic equipment for Detroit's inner circle youngsters.

Owner William Ford of the Lions already has advanced \$35,000 and purchased bats, balls, etc. for the youngsters.

Plymouth Girl Is Victor In Tennis Finals

Kris Koeninger, daughter of the Pastor of St. Peter's Lutheran Church, is quite adept with a tennis racket—she proved it last weekend when she won the girls championship of the annual Detroit News tournament.

Kris defeated Detroit's Barbara Gool in the finals, 6-2 and 6-1.

Barbara in turn eliminated another Plymouthite, Liz Wilson, of 13887 Ridgewood Drive, in the semifinals in straight sets.

Harness horses race by the clock with nearly all drivers carrying stopwatches to "rate" their horses.



JOE BIDA

Joe Bida, longtime former Department of Public Works superintendent for the City of Plymouth and now a member of the sales staff for Leo Calhoun Ford, is stepping back into a program that has long been close to his heart.

Joe, who probably has more

Bida To Supervise Area PPK Contests

acquaintance with the younger generation in the Plymouth Community than any other individual outside of teachers and coaches in the school system, has been named area director of the Punt, Pass and Kick contest, sponsored by Ford Motor Co., and its dealers throughout the land.

Bida, who served as president of the Plymouth Junior Baseball League for seven years and was one of the prime movers in the organization of the Community Junior Basketball Program, resigned all when he accepted a position out of town after leaving the DPW post.

Then he joined the Calhoun

organization last spring, moved back to Plymouth and plans to renew his efforts in the junior sports programs.

BIDA HOPES TO HAVE application blanks available for the area PPK contest in the near future and already has received permission to hold the event on a site inside the city.

The winners in the various classes in the area qualify for the district and then the regional with the finals to be held during the halftime intermission at one of the Detroit Lions home games.

For additional information, please contact Bida at the Calhoun salesrooms on Plymouth Road.

By George Mashin

observing sports

How can one feel sorry for Jim Campbell, the general manager of the Detroit Tigers?

Here's a man who is seeing the dream of every G.M. about to come true.

His Tigers are winning a pennant. They have turned the state of Michigan daffy.

Campbell isn't too surprised that the Tigers are enjoying the success they are.

He's the man who said last winter that this very well could be "our year."

But as the days click off, and the Tigers move closer to the flag and the World Series, a real problem draws nearer and nearer for Campbell and the other general managers of the current major-league franchises.

Each is faced with the unhappy situation of giving up players to the new expansion teams—in the American League they'll be welcoming Seattle and Kansas City in '69.

EVEN IF YOU'RE in ninth or tenth place, you scratch your head and groan at the thought of losing somebody.

But, when you're on top... you know that any loss will hurt. In the case of the Tigers, every player on the roster has contributed something. Some more than others, of course!

Under the expansion rules, a team may freeze 15 players.

Okay, you're Campbell and you're his manager, Mayo Smith.

Fifteen players!

It's a cinch you'll start by protecting Al Kaline, Jim Northrup, Mickey Stanley and Willie Horton, who have done most of the outfield work.

But, how do you forget Gates Brown, who has developed into the greatest pinch-hitter in the majors?

SWITCH TO the infield! You can use Kaline at first, so you say, well, let's not protect Norm Cash. But what about the big bat Cash has carried in recent weeks?

At second, you have to name Dick McAuliffe on your protected list. And ditto Don Wert, despite his weak bat, at third.

Shortstop poses a headache. Is it the kid, Tommy Matchick, or the more established Ray Oyler or Dick Tracewski? You can't protect all.

Catching! You have to keep both Bill Freehan, the best catcher in baseball, and Jim Price, the best No. 2 backstop in the American League.

And, now to pitching! Originally, you'd have started with Denny McLain and certainly gone for Mickey Lolich, Joe Spurna and Earl Wilson. Now your thoughts may have changed some, except for McLain and maybe Lolich.

What about the relief aces like Darryl Patterson, Pat Dobson, John Hiller, Don McMahon, John Wyatt, etc.?

The way we count it up, there are 22 or 23 we'd like to protect.

But there's that No. 15 figure staring you in the face.

So we, ourselves, should be in the shoes of Campbell and Smith. Here's the way we'd protect 'em:

OUTFIELDERS—Northrup, Horton and Stanley.

INFIELDERS—Kaline, McAuliffe, Matchick and Wert.

CATCHERS—Freehan and Price.

PITCHERS—McLain, Wilson, Lolich, Patterson, Hiller and Dobson.

That's it—15.

Of course, after the Tigers lose a player, they can pull back a couple more.

So, really, it won't be too bad... but it's an ugly thought, the realization that maybe a Brown or Spurna or Wyatt or Tracewski will be gone by next season.

But, that's baseball; that's life.

We come and go.

St. Michael, Too Heads For State

Livonia St. Michael, carrying a 19-3 record, goes after the state Class E baseball honors Monday in Jackson.

St. Michael has reached the semifinals in the competition for boys 14 and 15 years of age.

A 3-2 victory over Ann Arbor and a 10-2 decision over Westland has qualified St. Michael for the final day of decision.

Managed by Lee Burton, the St. Michael team is comprised of players mostly from the Whitman junior high district in Livonia.

DAVE GREGOR hurled a two-hitter and fanned nine in the victory over Ann Arbor. All the St. Michael runs were scored in the first inning.

Steve Burton came back with a one-hitter against Westland, losing his no-hitter in the sixth inning. Burton fanned 14 and walked one.

A five-run uprising in the third inning settled the game. Gregor had a bases-loaded single and a triple while Mike Lynch lashed out three hits to pace the winners' assault.

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2 Benzie Lakes To Stay Open

Conservation Department fisheries men announce that Benzie County's Platte and Loon lakes will not be closed to fishing when angling action is suspended on the nearby Platte River this fall.

Explains Department trout and salmon specialist Dave Borgeson:

"We're trying our level best to allow maximum salmon sport fishing, and we learned last year that Platte and Loon lakes can be left open to angling without interfering with our egg-taking operations."

Department fisheries men say it is very likely that early October will be the starting point for temporarily halting fishing in the Platte River so that they can collect 10 million eggs from spawn-running cohos.

The department will lift the Platte River closure as soon as its egg-taking requirements are met and conditions on the stream lend themselves to true sporting action. The shutdown is expected to span the first three weeks of October.

Once the Platte is re-opened, the Department will permit enough salmon to pass through a weir at the mouth of the stream to provide high-quality hook and line fishing.



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MERCHANDISE MART
30441 Plymouth
Livonia, Michigan

STAR HARDWARE
17162 Farmington Rd.
Livonia, Mich. 261-9920

HEIDES GARDEN CENTER
696 North Mill
Plymouth, Michigan

SAXTONS GARDEN CENTER
587 W. Ann Arbor Trail
Plymouth, Mich. GL 3-6250

S-W PRO HARDWARE
875 W. Ann Arbor
Plymouth, Mich. 453-1290

Dope Ring: Its Pattern Through The Suburbs

EDITOR'S NOTE: This is the first of several authoritative articles on the use of narcotics in the Observerland suburbs and what public officials are doing about it.

By DENNIS PAJOT

Sixteen suburban youths, aged 17 to 19, were arrested on charges of trafficking in narcotics and dangerous drugs (LSD) last school year.

The narcotics unit of the Michigan State Police Intelligence Section at the Redford Post got a break in Redford Township which broke up two rings.

A seven month investigation began with the arrest of two Redford Union High School 17-year-olds in November and is continuing now with court dispositions.

One of the two was charged with violation of the state narcotics law, sale of marijuana, and with violation of the dangerous drug act, sale of LSD. The other was charged with

sale and possession of marijuana.

EACH MARIJUANA possession count is punishable by up to 10 years in jail. Each marijuana sale count is punishable by up to 20 years in jail. Each LSD count is punishable by up to four years in jail.

Because they cooperated with police in continuing investigations which led to the arrest of a 19-year-old Plymouth "pusher," they were allowed to plead as "youthful offenders" in Wayne County Circuit Court. This allows their cases to be suspended for three years.

A new arrest on the same charges will automatically bring punishment on the suspended charges. A "clean" record for three years will allow dismissal of the charges.

THE "PUSHER," a former Redford Township high schooler, is still before the court. Police prosecutors are con-

testing attempts of his lawyer to secure similar "youthful offender" status.

Police said he has neither cooperated nor shown signs of disavowing drug use and sale, although all his previous sources of supply have been cut off.

The 19-year-old was charged with sale and possession of LSD and sale and possession of marijuana while living in a Plymouth hotel.

POLICE INVESTIGATORS told The Observer newspapers they believe this suspect was "the one most responsible" for bringing marijuana and LSD from Ann Arbor and introducing it in Redford.

They said he apparently tried to "turn on" as many others as he could. They said he apparently had led an unhappy social life until he happened upon "pot" at a party one night.

Becoming an enthusiastic

user, he allegedly purchased the drugs in quantity and sold it to others at less than the going prices.

Police said this was unusual, since they expect to find "fast buck artists" pushing the drugs.

They said marijuana purchased in Mexico for \$30 becomes a \$3,000 commodity when broken down and sold by the "stick."

MORE USUAL was the situation found when the same Redford post narcotics detectives brought charges against 11 Farmington and Livonia youths in a Farmington-based ring.

These, too, were charged with possession of marijuana. Most cases have not yet been disposed by Oakland County courts.

The central figure, a teenage boy, was charged with sale and possession of marijuana. He is awaiting sentencing on a Circuit court conviction.

Police said he cooperated

with continuing investigations and was directly helpful in identifying an adult Detroit "source" and an adult Detroit "supplier" with his 235-pound airplane cargo of marijuana. These adults are still before the courts.

THE FARMINGTON youth was found to be "screening"

bulk marijuana down to make "sticks" for pot parties with friends, said police.

He was buying his "junk" from a Detroit bartender, according to police. The bartender was, in turn, allegedly buying his supplies in quantity from a man who was having it shipped in from California. In the process of the investi-

gation, police arrested the supplier at a Detroit airport and confiscated his cargo.

ALSO, DURING the course of state police investigations of dope traffic in Western Wayne County suburbs, they arrested two Dearborn Heights men.

One was a 30-year-old charged with sale and possession of marijuana. The other was a 19-year-old charged with possession of marijuana.

Both pleaded guilty in Wayne County Circuit court and were referred to the probation department to await sentencing. Just last month a separate and unrelated arrest was made of a Southfield youth, whose statements to arresting Dearborn Heights police typify the problem law enforcement officers have found most bothersome:

"Yes, that's mine; it's pot," said the youth. "I didn't think there was anything wrong. I'm

not selling it. I'm only using it at my home when I play my guitar."

His appearance in court is slated soon.

CAPTAIN DAN MYRE, commanding officer of the State Police Intelligence Section in Lansing, termed the lengthy investigation "one of the finest dealing in this traffic in high schools in many, many years." He commended his Redford post narcotics unit.

Reports of other drug traffic in the suburbs, particularly in high schools, are not going unnoticed by police. Arrests and prosecution must await better evidence than anonymous reports and rumors, however, police said.

Undercover agents such as those used in successful investigations thus far are needed to help establish cases and serve as trial witnesses.

Capital Crime Up; State Police Open Sub-Post

LANSING -- The Michigan State Police will have a new sub-station at the capitol building beginning September 1.

The 21-man force will be headed by Det. George Smith; the new post will be in the basement of the Treasury building.

The Police will provide 24-hour coverage of the Capitol-area, concentrating on the five main buildings. The police were assigned after numerous complaints of assaults and vandalism in the underground parking areas last fall and winter.

There will be no trouble staffing the post, according to Captain Frederick Davids.

PONTIAC -- Shane F. Murphy, son of the missing Oakland County Clerk Register John D. Murphy, will take his father's place on the Democratic ticket. Murphy disappeared, presumably drowned in Lake Michigan, on July 27. His name was still on the Aug. 6 primary ballot, and since he was unopposed, he was nominated.

Young Murphy will be placed on the ballot by Oakland County Democratic committee, as provided by state law.

Shane Murphy, a part-time student at Wayne State University, works in the county treasurer's office.

DETROIT -- The Grand Trunk Western Railway, a wholly-owned subsidiary of the Canadian National Railroad, has been successful where others have failed.

Their computer train service through Detroit suburbs boasts lots of new customers due to aggressive advertising.

4 COG Committees Appointed

Four policy advisory committees have been appointed by the board of the Southeastern Michigan Council of Governments, according to Chairman William Mainland.

Four Observerland officials are among the members.

The Solid Waste Disposal Committee will be headed by Saline Councilman George Anderson. Among the 11 members are Farmington Township Supervisor Curtis Hall and Plymouth Mayor James Jabara.

The Joint Purchasing Committee will be headed by Councilman William Kirby of Grosse Pointe Farms. Members include Farmington Mayor Wilbur V. Brotherton and Canton Township Supervisor Philip Dingeldey.

Other committees will probe educational requirements and public safety coordination.

The Council of Governments (COG), created in January, is a voluntary association of counties, cities, townships, villages and various kinds of school districts in a six-county area.

Mainland said policy advisory committees will soon be appointed in six other "priority" areas--comprehensive health planning, housing trends and needs, regional building code coordination, computer and information services systems, federal and state aid liaison, and regional anti-poverty programs coordination.

News Round Up

The line runs through Birmingham from Pontiac to Detroit twice a day.

WASHINGTON -- Leaders of two teachers' unions in the nation predicted as many as 400 strikes this fall, more than three times the record 126 walkouts last school year.

Spokesman for both the American Federation of Teachers (AFT) and the National Education Association (NEA) said there was a good possibility that strikes would keep schools closed in St. Louis, Mo., Philadelphia, East St. Louis, New Orleans and Wilmington, Del.

As well, teacher strikes are threatened in the Detroit metropolitan region.

Still puzzling the public is how teachers can strike in violation of the law. But the laws are so far unenforceable because throwing strikers in the jail still leaves empty classrooms.

WASHINGTON -- Georgia Governor Lester Maddox's entry into the race for the Democratic presidential nomination may kill Hubert Humphrey's chances for a first ballot nomination, according to Sen. Eugene McCarthy.

McCarthy said at a St. Louis press conference he could count on a maximum strength of 800 votes; it takes 1,312 votes to win, and Humphrey forces claim they have that and more.

If Maddox enters the race, McCarthy said, he would draw votes from southern delegations.

ANNAPOLIS -- Maryland Governor Spiro T. Agnew was ordered Wednesday to show cause why his candidacy for

vice-president does not constitute a vacancy in the governorship.

Chief Judge Matthews, Evans of the Ann Arundel County Circuit Court signed the show cause order, sought by Robert J. Edwards of Baltimore. Edwards charged that Agnew's out-of-state candidacy would mean the governor's office would be vacant.

Agnew was expected to receive the order Wednesday night.

LITTLE ROCK, Ark. -- The Nudist National Committee will meet here in September, with all delegates fully clothed, if the group can get permission from Governor Winthrop Rockefeller.

A 1957 law passed in the state legislature prohibits the advocacy of nudism in Arkansas.

The nudist group, headed by Robert Clogher, will adopt a platform and nominate candidates, just like the major parties.

SYDNEY, Australia -- Two doctors must pronounce a heart donor dead before a transplant can take place, if codes adopted here by the World Medical Assembly become a part of standard medical ethics.

The assembly of 150 doctors from 63 countries made no attempt to define death, since no single technological criteria is available to be used to determine death, they said.

DETROIT -- The American automobile industry is pre-

paring a new class of car which is being designed specifically to curb foreign imports' invasion into the American market.

The first of this new breed--which is smaller and cheaper than any built in the United States but still bigger than the tiny imports--is being readied by Ford as a 1970 model and will go on sale in eight months. Other cars are in the design or tooling stage.

LOS ANGELES -- An uneasy quiet has hung over the Watts ghetto since violence broke out on the anniversary celebration of the 1965 riot.

Last weekend's racial outbreak resulted in three persons dead and more than 40 persons wounded or injured. Reportedly the riot broke out because of the arrest of a woman on the charge of drunkenness.

ITHACA, MICH. -- Sunday sale of liquor by the glass was rejected by the Gratiot County Board of Supervisors in a voice vote at their August meeting.

This negative vote still leaves the question open for decision by residents of the county.

Fair Slides Available

HemisFair '68, San Antonio's 250th anniversary celebration, is the title of a new program now available without charge for church, school and civic groups from Michigan Bell Telephone Company.

Slides in color will give a clear view of the fun and pageantry found at this birthday party -- parades with their marching bands, colorful floats, Spanish dancers, San Antonio historical attractions, the Tower of the Americas, and Kidland where young fry talk to their favorite cartoon character by phone.

Arrangements for presenting this new slide talk -- whether as a preview, a re-visit or as the one-and-only visit to HemisFair -- may be made by calling Michigan Bell's business office and asking for Free Program Service.

SKIPPERS TABLE

Smorgasbord RESTAURANTS

• 33201 Plymouth Rd. at Farmington Rd., Livonia Phone: 425-8333
• 7030 W. 7 Mile Rd. 1 blk. W. of Livonia, Det. Phone: 341-5445

All You Can Eat

LUNCH TIME \$1.09
Beverages & Desserts Extra



DORIS DAY seems to wonder what could have happened between her and Robert Morse in the comedy "Where Were You When the Lights Went Out?" now at area theaters.

Jackie Bolts

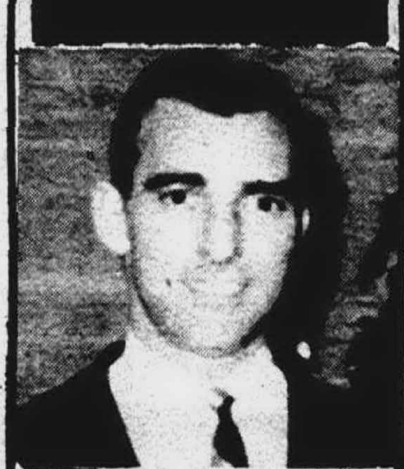
NEW YORK -- Jackie Robinson's bolt from the Republican party over to the Democrats "if they will have me" is not expected to create a mass exodus of blacks from the GOP but will influence many to reconsider their positions.

Robinson who resigned as an aide to New York Gov. Nelson Rockefeller said that Nixon heads a ticket that is "racist in nature" and that Nixon "has prostituted himself and sold himself out to bigots in the South."

LIQUOR
after 2 p.m. on
SUNDAY!
DANCING
7 NIGHTS
FAMOUS
STEAK \$4.95
MOD COSTUME PARTY
Thursday, August 22
Kitchen Open 'til 1:30 a.m.

Livonia penthouse
31735 PLYMOUTH ROAD
Just West of Merriman
GA. 7-3380

The Gourmet Adventures of



DICK BENSEK

The chef at DANISH INN, 33305 Grand River Ave., 476-5320 or KE-4-8300 is successful in cooking all kinds of food: Fried chicken... Lobster Tails... Seafood... Chicken... 33-entree menu... Lunch Menu lists 3 specials daily... Decorated cakes always available for birthdays or anniversaries.

DANISH INN
Restaurant & Cocktail Lounge
33305 Grand River
476-5320 KE 4-8300

HELD OVER! Cinema I
LIVONIA MALL
MIDDLEBELT AT 7 MILE 476-8800

praise for Rosemary's Baby

"SHIVERING AND ABSORBING ENTERTAINMENT. Sly, stylish and suspenseful film. A splendidly executed example of its genre."
—Hollis Alpert, Saturday Review

"With 'Rosemary's Baby,' Roman Polanski establishes himself firmly as a director of the first rank. Mia Farrow as Rosemary draws a beautifully intuitive performance!"
—Paul C. Zimmerman, Newsweek Magazine

"SUPERB SUSPENSE! Even readers of the book who know how 'Baby' comes out are in for a surprise."
—Time Magazine

"A CLASSIC! A shocker beyond belief! Will attract millions and millions of persons to theatres."
—UPI

Mia Farrow
In a William Castle Production
Rosemary's Baby
John Cassavetes
Ruth Gordon
Sidney Blackmer
Maurice Evans
and Ralph Bellamy

SCHEDULE OF PRICES & PERFORMANCES
BARGAIN MATINEE -- MON. thru FRI. ONLY
All Seats 60¢ 'til 1 p.m. -- Except Holidays!
MATINEES AFTER 1 p.m. EVES. SATURDAY
& SUNDAY. ALL DAY SUNDAY
\$1.50 \$2.00
*NO CHILDREN'S TICKETS SOLD THIS ATTRACTION
SHOWN DAILY
& SUNDAY AT 12:15; 2:40; 5:10; 7:45; 10:10

Right Wing Opens Nixon-Agnew HQ

A conservative Republican splinter group has beaten the regular party to the draw by opening "southeastern Michigan's first Nixon-Agnew headquarters" in Royal Oak. Making the announcement was Thomas McWilliams, executive director of the Republican Citizens Committee of Oakland County, a group headed by State Sen. Robert Huber of Troy. The RCC and Huber have been at odds with Gov. Romney's policies since the group was organized more than a year ago.

The Nixon-Agnew headquarters is located at 2300 N. Woodward, in the same building as the RCC office.

Pointing to the lack of enthusiasm among Michigan's delegation to the GOP National Convention for Nixon and Agnew, Huber said: "Divisiveness within the party must be put aside in the interest of electing Republicans."

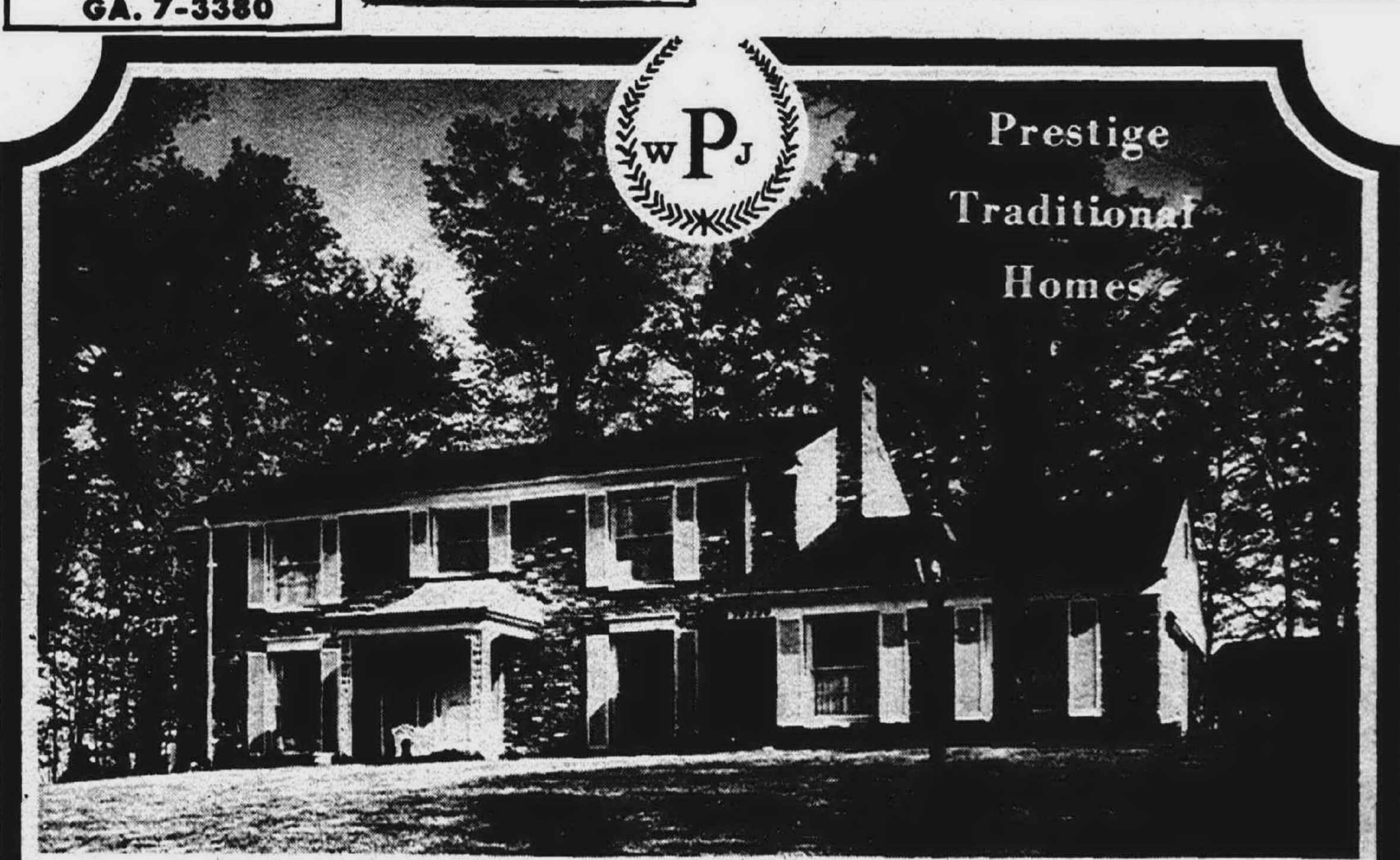
CORRECTION!

CINEMA I, LIVONIA MALL

ROSEMARY'S BABY
In their prices for this engagement
It should have read

Monday thru Friday 60¢ 'til 1 p.m.

We regret any inconvenience this may have caused our readers.



Potomac Green

Space, quality construction, and community values are the keystones at Potomac Green. Located in West Bloomfield, Potomac Green offers award winning homes that will please the entire family: with 4 or 5 bedrooms, 2 1/2 baths, attached 2 car garage, first floor laundry room with fireplace, beamed ceiling, and pegged oak flooring.

Architectural control with a variety of exteriors from which to select lends individuality and lasting value to the community.

FROM \$41,950 TO \$44,950 Inc. 1/3 Acre Lots

Wm. J. PULTE Inc.

626-4797 Master Builders 626-4700

Detroit - Washington - Chicago - Atlanta

4 FURNISHED MODELS
by Triangle

Open Daily & Sun. 12-8
Sat. 12-6 Closed Thurs.





Keeping up with the Joneses this summer could cost you your life.

You know the Joneses.

The family next door. Who always buy the things you plan on getting—just before you do.

This year it's guns.

A shotgun and a .45.

Plus a .22, a .38 Colt and a Four-Ten, just in case.

You know why.

The local authorities just won't be able to handle things this summer. That's what Jones says, anyway.

So you're going to get a few guns.

What are you going to do with them after you buy them?

If your son can find the toys 2 weeks before Christmas, he can find anything you hide. He might even show his little sister.

Look. No one knows what'll happen in the city this summer. Hopefully nothing.

But we all know what might happen

in a suburban home filled with lethal weapons.

All it takes is a sleepy wife.

A nervous neighbor.

A curious child.

And a loaded gun.

MUST

men united for sane thought



Classified WANT ADS

SUNDAY, AUGUST 18, 1968

WEDNESDAY & SUNDAY

NEW...

TOLL-FREE DIRECT LINE
TO CLASSIFIEDS WANT ADS
CALL...

GA 2-0900

I-1 Cemetery Lots

PARKVIEW Memorial Cemetery, Fenwick-Farmington Road, 1/2 mile, section 549, Block 2, Lot 1, \$500. KE 3-3949

GLEN EDEN Memorial Garden, section 54, lots 1-4, Block 29, \$500. KE 3-3949

I-7 Personals

WOULD like to locate the parties who witnessed the lady who fell in front of Sears Livonia Mall. Wednesday, August 14. Approximately 12:30 p.m. Please call GA 2-2291

I-11 Transportation

DRIVERS Wanted: 10 cars to Oklahoma City, Amarillo, Texas, Albuquerque, N.M., or Los Angeles, California. After 6 p.m. Please call GA 2-2291

I-13 Lost & Found

LOST: Miniature Schnauzer, male, gray and white, purple collar and license #60. Vicinity N.W. Chicago-Lathrop. August 14. Reward. 421-2442

FOUND: Boys birthstone ring, vicinity of Garden City East High. Must identify. GA 7-2317

FOUND: One small female black and white cat, 15 Mts. Farmington Rd. area. Wants its owner or new home soon. Call Kendallwood Pool. GR 6-3852

LOST: MALE blond Pekinese, 7 Mts. Middlebelt area. Children miss him. Reward. 477-9249

I-13 Lost & Found

LOST: orange and white male kitten, Grand River-Farmington Road area. reward. 474-6026

2-1 Homes For Sale

ADAMS CIRCLE-WAYNE Sharp 3 bedroom brick ranch. Full basement, gas heat, carpeting. Rec. room and extra bath. \$18,900. \$900 down.

KEY

To Better Living

Harrison-Moore Realty 255-0900 GA 7-9030

IMMEDIATE OCCUPANCY

OPEN SAT. & SUN. 2-5

Brookwood Estates, 17259 Doris Lane, Livonia. 6 Mile, Middlebelt area. 8 rooms, built 1962. 2 large family rooms, 3 bedrooms, 5/8 acre, fenced and landscaped. Full tiled basement, built-ins. 2 car garage. Asking \$35,900. By owner. 261-6111.

2-1 Homes For Sale

SHACKS TO CHATEAUS

OPEN SUN. 2-5 P.M.

17855 Westbrook, W. of Farmington Road, No. of 6 Mile. 3 bedroom brick ranch with attached 2 car garage, family room and basement.

AIR CONDITIONED 3 bedroom brick, carpeting throughout, large kitchen, tiled basement. Westland.

GARDEN CITY 2 bedroom, full basement, garage, 50' lot, large kitchen.

LIST WITH

JAMY

REALTY

537-1950

18845 Beech Daly, S. of 7 Mi.

DEARBORN Heights, Hopkins, W. of Telegraph. 3 Bedroom asbestos bungalow. Large kitchen, separate dining, full basement, new gas furnace. Nice area. Only \$17,500. FHA terms. 255-3070

LIVONIA

The best buy in Parkwood Sub. 1/2 acre lot completely landscaped with rock gardens, patios, swimming pool, etc. 2 car attached garage. All rooms extra large including rec. room. Only \$29,900.

WE TRADE

ALGER F.

QUAST

15379 Farmington Rd.

425-8060

CONTEMPORARY RANCH

Built 1965, this 3 bedroom air conditioned home has all the extras including automatic garage door opener, carpeted family room, living room, built-in kitchen. Quick occupancy. \$31,900.

J. L. Hudson

425-0900

WANT AD CLASSIFICATIONS

Acres For Rent	2-5	Funeral Directors	1-3	Motorcycles & Scooters	7-1
Antiques	5-10	Halls For Rent	3-8	Music & Instruments	5-9
Apartment For Rent	2-3	Help Wanted, Female	4-2	Office & Business Space	5-9
Auction Sales	1-10	Help Wanted, Male	4-1	Out-of-Town Property	3-5
Automobiles	7-7	Help Wanted, Male & Female	4-3	Personals	1-7
Auto Parts, Service	7-3	Hotels & Supplies	5-8	Per Service	4-4
Auto Rentals, Leasing	7-4	Hobbies & Supplies	5-8	Real Estate	4-4
Baths & Motors	5-4	Homes For Rent	2-1	Resorts For Rent	2-4
Building Materials	5-4	Homes For Sale	2-1	Services Offered	5-14
Business Opportunities	2-12	Horse & Poultry	4-4	Situations Wanted, Female	4-4
Business & Office Equipment	1-5	Household Goods	4-5	Situations Wanted, Male	4-5
Campers & Trailers	7-2A	In Memoriam	1-4	Special Notices	4-7
Cards of Thanks	1-4	Insurance, General, Home	1-6	Sporting Goods	5-3
Cemetery Lots	1-1	Insurance, Motor	1-6	Trade or Sell	5-13
Child Care	1-12	Legal Notices	1-9	Transportation	1-11
Commercial, Industrial	2-3	Livestock & Poultry	6-3	Trucks For Sale	7-4
Death Notices	1-2	Living Quarters to Share	2-10	Wanted Real Estate	2-11
Duplicates For Rent	2-3	Lost & Found	1-13	Wanted To Buy	5-12
Duplicates For Sale	2-3	Lost & Found	1-13	Wanted To Buy, Apts.	3-12
Econ-O-Line 211	5-1A	Lost & Found	1-13	Wanted To Buy, Homes	3-13
Education, Instruction	4-8	Lost & Found	1-13	Wanted To Buy, Misc.	3-14
Employment Agencies	4-8	Lost & Found	1-13	Wanted To Buy, Rooms	3-15
Farm Equipment, Supplies	6-2	Lost & Found	1-13	Wearing Apparel	5-2
Farm For Sale	2-9	Lost & Found	1-13		
Farm Produce	6-1	Lost & Found	1-13		

Want Ads may be placed until 4:30 Monday for the Wednesday Edition and 5 p.m. Thursday for the Sunday edition. Read your advertisement the first day it appears and report any error immediately. The Observer Newspapers, Inc. will not issue credit for errors in ads after the first incorrect insertion. No adjustment or credits will be given after 5 days following publication. No cancellations accepted after noon Monday for the Wednesday Edition or 3 p.m. Thursday for the Sunday Edition. No cancellations before first insertion.

CALL GA 2-0907 WHEN CANCELLING YOUR AD

GA 2-0900

Plymouth • Wayne • Northville • Garden City • Dearborn • Farmington • Novi • Southfield • Livonia • Redford • Westland

2-1 Homes For Sale

EXECUTIVE

Quality built 3 bedroom brick ranch with walkout basement, 2 fireplaces, kitchen built-ins, air conditioning, carpeted living room, dining room, hall, 1 1/2 baths, 2 car attached garage. Lake privileges on beautiful Dunham Lake. \$39,900.

LAKE LIVING

This could be the place. 3 bedrooms, 2 baths, family room, natural fireplace, terrace, sun room, gas forced air, 2 car garage, 65' sandy beach, dock, floating raft, outdoor bar-b-que. \$29,900.

IMMEDIATE OCCUPANCY

3 bedroom ranch, 1 1/2 baths, carpeted living room, dining room and hall, large closets, lots of cupboard and storage space, small patio, large terrace, attached garage, black top drive. Wolverine Lake privileges. \$31,900.

RETIREE OR NEWLYWEDS

2 bedroom home with large size living room, fireplace, basement, oil hot water heat. May be purchased on Land Contract. Only \$12,500.

LAKE PRIVILEGES

Aluminum sided 3 bedroom home, carpeted living room, recreation room with bar, large fenced yard. Wolverine Lake privileges.

GORDON WILLIAMSON

624-0500

3060 S. COMMERCE RD. WALLED LAKE

4 ACRES-2 FAMILY

2 story aluminum sided with full basement. 2 car garage, chicken coop and wood storage shed. 3 bedroom unit down, and 2 bedroom unit up. Van Buren-Bellefontaine. Paved road in top quality area. Can be made into a 5 bedroom single home plus den. Call for address. Trades accepted. No. B 19. Open Sun. and Evenings. GROSSMAN LO 5-8840

2-1 Homes For Sale

CUTIE PIE

Oh! It's the cutest thing and so nice and clean, you can't help but fall in love with this home. Large living room, nice cheery kitchen with dining room, lovely carpet. It's aluminum sided and has a 1 1/2 car garage on a double lot. Move right in. It's vacant. Open Sun. 2-5; if not sold by then. 23653 Millard. \$15,900.

JOHN HUBERT

NICE PLACE TO DO BUSINESS

422-7000

LIVONIA

This 6 room aluminum ranch has gas heat, 1 1/2 car garage, modern kitchen, large formal dining room, beautifully landscaped lot and located in the Farmington 7 Mile area. Price tag \$15,500.

YORK

30606 FORD RD.

WE BUY WE TRADE

261-4600 261-4600

ROSEDALE PARK

9321 Outer Drive. Attractive custom farm colonial. 3 large bedrooms, library, central air conditioning, 2 tiled baths, gas heat, rec-room, 2 car garage, built-in kitchen, carpeting, drapes, screened porch. Beautifully landscaped.

13841 Puritan. Colonial 3 bedroom, family room, finished rec-room, gas heat, extra large lot.

16608 Rosemont. Deluxe bungalow. 2 bedrooms down, 1 up, 1 1/2 bath up. Large dining room, gas heat, garage. Recreation room.

Other 3 and 4 Bedroom Homes

OPEN SUN. MIKE HOISINGTON KE 1-7400 19650 Grand River

2-1 Homes For Sale

1/2 ACRE LOT

Neat as a pin describes this 2 bedroom aluminum sided home with garage located on a 1/2 acre lot in Garden City.

CALL DALLAS AT

HARTFORD

KE 7-6808 or 427-7442

LIVONIA

SERENE OUTDOORS

LIVING CAN BE ENJOYED... in this 3 bedroom brick ranch with 4th bedroom or den, 1 1/2 baths with 1/2 off master bedroom, well arranged patio and rear yard, nicely landscaped with sliding doorwall off dining room to patio, cheerful kitchen with built-ins, living room decorated in blue with air conditioner. Lovely pool in subdivision. For \$27,500

SPIC AND SPAN

FROM TIP TO TOE... just dust and move into this newly decorated 3 bedroom brick ranch, doorwall off dining room to lighted terrace and well landscaped yard, tiled and partially paneled basement, plenty of storage space, 2 car garage \$31,900

DON'T JUST DRIVE BY

30481 ELMIRA... Let us show it to you Sunday. It's an OPEN HOUSE 2-5 p.m. Lovely landscaped corner lot, 3 bedroom brick ranch, large living room with built-in china cabinet in dining room, walk to grade school. Assume 4 1/2% VA mortgage. Located between Hillcrest and Farmington in Livonia. \$23,500

THINKING OF SELLING?

Your property can be sold quickly, quietly and with dignity. Let us give you an appraisal without obligation. Our 6 offices and 60 full time salespeople are ready to serve you.

Gordon Williamson

ASK COMPUTER SERVICE

33620 Five Mile Rd., Livonia

261-0700

FUNK REALTY

HOME OF THE WEEK

Immediate Occupancy

3 large bedrooms highlight this lovely colonial. Add to that a 28-foot family living room with fireplace. Convenient kitchen with built-ins. Spacious dining area and a beautifully finished rec. room. All this on a beautiful lot in secluded Sleepy Hollow Subdivision, only \$31,900. See it today.

FAMILY ROOM-FIREPLACE

FIRST TIME OFFERED. 3 bedroom, 1 bath ranch with large kitchen adjoining family room. Secluded carpeted living room. This 4 year old home has tiled basement and large screened patio. 2 car attached garage. Close to schools. See it today. \$29,900.

SEE OUR HOMES ON COLOR TV

10 A.M. Saturdays on "Home Shopper Show" Channel 50

WE WILL BUY YOUR PRESENT HOME FOR CASH. WE NEED 3 AND 4 BEDROOM HOMES IMMEDIATELY. CALL NOW. NO OBLIGATION.

REALTRON COMPUTER SERVICE

FUNK

GA 1-0600 KE 5-8205

32744 FIVE MILE RD.

HUNDREDS OF HOMES SOLD HUNDREDS OF SATISFIED CUSTOMERS

2-1 Homes For Sale

3/4 ACRE 4 BEDROOM

Huge 4 bedroom quad on 100x335 lot in Livonia. 2 fireplaces, separate basement laundry room, 3 1/2 baths, kitchen built-ins, 2 car attached garage. \$44,900.

J. L. Hudson

425-0900

LIVONIA

SERENE OUTDOORS

LIVING CAN BE ENJOYED... in this 3 bedroom brick ranch with 4th bedroom or den, 1 1/2 baths with 1/2 off master bedroom, well arranged patio and rear yard, nicely landscaped with sliding doorwall off dining room to patio, cheerful kitchen with built-ins, living room decorated in blue with air conditioner. Lovely pool in subdivision. For \$27,500

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DON'T JUST DRIVE BY

30481 ELMIRA... Let us show it to you Sunday. It's an OPEN HOUSE 2-5 p.m. Lovely landscaped corner lot, 3 bedroom brick ranch, large living room with built-in china cabinet in dining room, walk to grade school. Assume 4 1/2% VA mortgage. Located between Hillcrest and Farmington in Livonia. \$23,500

THINKING OF SELLING?

Your property can be sold quickly, quietly and with dignity. Let us give you an appraisal without obligation. Our 6 offices and 60 full time salespeople are ready to serve you.

Gordon Williamson

ASK COMPUTER SERVICE

33620 Five Mile Rd., Livonia

261-0700

FUNK REALTY

HOME OF THE WEEK

Immediate Occupancy

3 large bedrooms highlight this lovely colonial. Add to that a 28-foot family living room with fireplace. Convenient kitchen with built-ins. Spacious dining area and a beautifully finished rec. room. All this on a beautiful lot in secluded Sleepy Hollow Subdivision, only \$31,900. See it today.

FAMILY ROOM-FIREPLACE

FIRST TIME OFFERED. 3 bedroom, 1 bath ranch with large kitchen adjoining family room. Secluded carpeted living room. This 4 year old home has tiled basement and large screened patio. 2 car attached garage. Close to schools. See it today. \$29,900.

SEE OUR HOMES ON COLOR TV

10 A.M. Saturdays on "Home Shopper Show" Channel 50

WE WILL BUY YOUR PRESENT HOME FOR CASH. WE NEED 3 AND 4 BEDROOM HOMES IMMEDIATELY. CALL NOW. NO OBLIGATION.

REALTRON COMPUTER SERVICE

FUNK

GA 1-0600 KE 5-8205

32744 FIVE MILE RD.

HUNDREDS OF HOMES SOLD HUNDREDS OF SATISFIED CUSTOMERS

2-1 Homes For Sale

REDFORD TWP. VACANT

3 bedroom broadfront brick ranch. Wall to wall carpeting, ceramic tile bath, full basement, aluminum storm doors and screens. 2 1/2 car garage. All in excellent condition. \$22,500. Seller pays all mortgage costs! \$1,450 down F.H.A. \$900 down G.I.

WESTSIDE

274-9400 22215 W. Warren

PLYMOUTH TOWNSHIP

Two-story colonial, 4 bedroom, finished basement, 2 car attached garage, carpeted, built-ins, 2 years old, nice lawn, flowers, approximately 1/2 acre. Assume 5 1/2% mortgage. \$31,500. 453-6149

LIVONIA

MODEL HOMES

Immediate Occupancy. 2 Ranches. Brick 3 bedroom, 2 baths, and 1 1/2 baths, family room, large fireplaces, attached 2 car garages, built-ins, fully landscaped with patios. \$33,490 and \$35,990. Call 425-8840, from 1-8 p.m.

BINDER & LARK BLDG. CO.

3/4 ACRE 4 BEDROOM

Huge 4 bedroom quad on 100x335 lot in Livonia. 2 fireplaces, separate basement laundry room, 3 1/2 baths, kitchen built-ins, 2 car attached garage. \$44,900.

J. L. Hudson

425-0900

LIVONIA

SERENE OUTDOORS

LIVING CAN BE ENJOYED... in this 3 bedroom brick ranch with 4th bedroom or den, 1 1/2 baths with 1/2 off master bedroom, well arranged patio and rear yard, nicely landscaped with sliding doorwall off dining room to patio, cheerful kitchen with built-ins, living room decorated in blue with air conditioner. Lovely pool in subdivision. For \$27,500

SPIC AND SPAN

FROM TIP TO TOE... just dust and move into this newly decorated 3 bedroom brick ranch, doorwall off dining room to lighted terrace and well landscaped yard, tiled and partially paneled basement, plenty of storage space, 2 car garage \$31,900

DON'T JUST DRIVE BY

30481 ELMIRA... Let us show it to you Sunday. It's an OPEN HOUSE 2-5 p.m. Lovely landscaped corner lot, 3 bedroom brick ranch, large living room with built-in china cabinet in dining room, walk to grade school. Assume 4 1/2% VA mortgage. Located between Hillcrest and Farmington in Livonia. \$23,500

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GA 1-0600 KE 5-8205

32744 FIVE MILE RD.

HUNDREDS OF HOMES SOLD HUNDREDS OF SATISFIED CUSTOMERS

2-1 Homes For Sale

2-1 Homes For Sale

STARK REALTY
MULTI-LIST
PLYMOUTH
COMFORTABLE OLDER 2 story home near town. Currently a 2 family but could convert into single dwelling. 4600 accommodate the large family. Good condition. Asking \$22,900. Terms. OFFICE SPACE - Now under construction. Attractive Early American design. \$200 per month. Air conditioned. Separate heat control.
NORTHVILLE
Elegant home - 3 very large bedrooms - 2 fireplaces. Formal dining room. House, out buildings and 3 to 5 acres in the mid 40s. Adjoining acreage available at \$1500.
3-BEDROOM OLDER HOME in Northville. Large pictures-que lot. Formal dining room. Fireplace. \$31,500.
ACREAGE
12 acres - 9 Mile Road \$1500 per acre
8 acres - 9 Mile Road, \$1600 per acre
46 acres - Brookville Road at \$1500 per acre
27 acres - Brookville Road at \$1100 per acre
Building site on Grace St. in Northville, 80x132, \$6000
Industrial Site in Plymouth - 60x365, \$6000
893 W. ANN ARBOR TRAIL GL 13-1020 Plymouth



NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

PRICED TO SELL
3 bedroom brick ranch in brick subdivision. A lovely home with living room, dining room, full basement, built-ins, 2 1/2 car garage, and many other extras. Call for appointment. \$22,500.

\$0 DOWN
Large 3 bedroom 2 story home with formal dining room and full basement. A well taken care of family home in good area. Owner anxious. Ya' all come.

OWNER ANXIOUS
1 1/2 acres with 2 bedroom asbestos home, 2 car garage. Storage shed and horses are allowed. All offers will be presented.

OPEN SUN. 2-5
CUSTOM BUILT BRICK RANCH
2177 PENDELL COMMERCE TWP.

Located 60 yards away from the shores of Wolverine Lake on a 3/4 acre wooded lot, 3 bedroom, new carpeting, family room with brick fireplace, modern kitchen, attached 2 1/2 car garage with solid drive and many other extras. Hurry and see this one before it's too late. Priced for quick sale.
Customized Ranch
OPEN SUN. 3-6
8760 Buffalo Drive
You will never see another home like this one. There are so many beautiful features we are only mentioning a living room, family room, 3 bedrooms, dining room, attached garage, finished basement and a 1 hole golf course. \$28,900 is the full price. Call our office for directions.

H. J. Marshall
Company
OUR NEW
FARMINGTON OFFICE
477-7585

2-1 Homes For Sale

GARDEN CITY, Redford, N. of Cherry Hill, 3 Bedroom brick ranch. Family kitchen, nicely landscaped. Asking \$17,000. Mortgage. Only \$21,900. Terms.
BY OWNER. 2 bedroom full face brick ranch. 2 car attached garage. Full basement, fenced patio. Excellent condition. \$25,000. 5 1/4% assumption or conventional. 425-6225
NOVI, 1/2 ACRE
Nearly new 3 bedroom face brick ranch. Full basement, family room, 1 1/2 baths. Attached 2 car garage. Built ins. SHARP.
JOHN LOVE
GA 2-9278
ROSEDALE GARDENS, center entrance, colonial, 4 large bedrooms, kitchen with electric built-in range, dishwasher, paneled, aluminum fireplace, 2 1/2 car garage, full basement, low 4 1/2% by owner. \$21,900.
ALLEN PARK-OSAGE
Extra nice 2 bedroom brick bungalow. Full basement, gas heat, 2 car garage. Carpeting. Built-in kitchen. \$20,900. \$1,200 down.
KEY
To Better Living
Harrison-Moore Realty
255-0900 GA 7-9030
WESTLAND, Open Sunday 2-5.
30833 Steinhilber between Henry Road and Merriman. Attractive 3 bedroom brick ranch. 14'x13 1/2' family kitchen with built-ins. 2 1/2 baths. Full basement, paneled with swimming pool, 2 car garage. Many extras. Only \$24,500. Tower 235-3070
ROSEDALE GARDENS
1 1/2 story home in a beautiful treed area. Brick with aluminum trim. 2 bedrooms down with possible 3rd up. Full block basement, gas heat. Fireplace in living room, plus a 1 1/2 car garage. \$23,500.
J. L. Hudson
425-0900

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

WOODBROOK SUBDIVISION
Sheldon Rd. between Ann Arbor and Ann Arbor Mail. Model open Saturday and Sunday, 1-6 p.m.
CALL FOR DETAILS
EVENINGS 349-3443

North Dearborn Heights
Very sharp face brick ranch home in one of the very nicest areas around. Hurry if you want a chance at this lovely home featuring 3 bedrooms, living room, large kitchen, full basement and beautiful landscaping. Owner anxious. This can't last.
Redford 5 Bedrooms
Full brick home with formal living room, formal dining room, kitchen, 5 bedrooms and full basement. Entire home wet plastered with many other exciting features. Call now if you want a real nice family home.

Honeymoon House
\$600 Moves You In
Attractive starter home for anyone. 2 bedroom, living room, kitchen, utility room and many other exciting features including new 2 car garage, nice landscaping in a sharp area. Call for appointment.

INVESTORS
1 full block next to Livonia Mall with Middlebelt frontage. Very valuable property.

Poolside Delight
Shaded on a beautifully landscaped lot in desirable Southfield. An aluminum sided, maintenance free, 3 bedroom bungalow with family kitchen, new carpeting, 1 1/2 car garage featuring a 34x16' in ground pool. Complete with diving board and lights. Don't miss this one! Owner anxious. Moving to Arizona. Call the Marshall when you need help in finding your dream home today.

YOUR REALTOR
Mathers Stevens and Martin Inc.
SERVING MICHIGAN'S FINEST COMMUNITIES BETTER

2-1 Homes For Sale

SCHOOLCRAFT - Outer Drive area. Blatin Subdivision. Brick 3 bedroom ranch, breakfast room, tiled basement, living room, carpet and drapes included. 1 1/2 car garage. Cement patio, landscaped. \$21,900. Owner.
KE 3-2313
BY OWNER. Brick 3 bedroom ranch. Large lot. Near Westland Shopping area. Call 10 a.m. - 8:30 p.m. 728-4411, Sunday 728-4737
GARDEN CITY, Owner. 3 bedroom asbestos ranch. Can purchase for assumption. 3 1/4% mortgage. \$16,900. After 4 p.m.
2-3540
LIVONIA 15382 EDINGTON
Beautiful face brick ranch in Coventry Gardens Sub. On a 90x130 lot, 2 car garage, 3 large bedrooms, formal dining room, 1,360 feet of gracious living. Full price \$33,500
WE TRADE ALGER F. QUAST
15379 Farmington Rd. 425-8060
**RANCH HOME, 62'x24', 3 Bedrooms, 2 full baths, ceramic tile large living room, 16'x22' paneled family room with bar. Built-in oven and range, marble sill, screened-in patio, aluminum storm and screens. 2 Car Garage. 100'x180' lot. Immediate occupancy. Private owner. \$22,300. GA 5-9011
13938 SARASOTA
Open Sun. 2-5
8141 HUGH
4 bedroom aluminum bungalow, wall to wall carpeting, forced air gas heat, full basement, enclosed breezeway, attached 2 car garage, 1 1/2 car lot with pool. Immediate occupancy. \$5,000 total move-in. \$18,900.
WESTSIDE
274-9400 2215 W. Warren
LIVONIA, 2-year-old, 3-bedroom, modern gray brick ranch, 2 baths, large kitchen with pantry and dishwasher, sunken family room, fireplace, dunks to patio, first floor laundry, full basement, attached 2-car garage, air conditioned, fenced and landscaped lot. 80x120. Excellent traffic pattern around secluded living room with large slate floor. Immediate occupancy. By owner. \$33,900.
REDFORD WOODBINE 12834
Open 2-5. Gorgeous 3 bedroom face brick ranch, carpeting, full basement, rec. room, 2-car garage.
BRADY 167LI
Prime location. 2 bedroom brick, carpeting, family room, garage.
WOODWORTH 18697
Open 2-5. Sharp 3 bedroom brick ranch. Family kitchen, new carpets, rec.-room, finest of location. Quick possession.
LEXINGTON 20402
Real nice clean 3 bedroom ranch, all spacious rooms, carpets. Good location. A buy.
SUMNER 16020
Open Sun. 2-5. Charming all aluminum 3 bedroom bungalow, large kitchen, rec.-room, patio. Excellent condition.
SALEM 14312
Open 2-5. Extra nice 3 bedroom custom built face brick ranch, carpets, 2 1/2 baths, rec.-room, enclosed porch, 2-car garage. Finest of locations.
WILBANKS 537-8300
25941 W. SIX MILE RD.
1 1/2 BLOCKS W. BEECH RD.**

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

WOODBROOK SUBDIVISION
Sheldon Rd. between Ann Arbor and Ann Arbor Mail. Model open Saturday and Sunday, 1-6 p.m.
CALL FOR DETAILS
EVENINGS 349-3443

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Redford 5 Bedrooms
Full brick home with formal living room, formal dining room, kitchen, 5 bedrooms and full basement. Entire home wet plastered with many other exciting features. Call now if you want a real nice family home.

where every customer becomes a friend
PLYMOUTH
Call 453-5080

BETTER BUYS-FASTER ACTION
• REALTRON, Talk-Back Computer
• 200-OFFICE Multiple Listing Service
• AIMS Nationwide BUYER Referral
FARMINGTON
OPEN SUN. 2-5
FARMINGTON RD.
Near 10 Mile. Custom built, face brick broadfront ranch home, featuring 3 bedroom 4th in finished basement, spacious carpeted living room, with natural fireplace, separate dining room, large cheerful kitchen which opens to 36x19 patio, 2 1/2 car attached garage with ramp leading to basement workshop and rec. room. 100x400 lot cyclone fenced, well landscaped. \$42,500.
OPEN SUN. 2-5
GRAND DUKE DR. 28161
Unique appealing Forest-brook Hills provides unequaled setting amid towering trees, deep ravines and rushing streams. Spectacular impressive brick ranch has 3 master bedrooms, 2 1/2 ft. living room, full dining room, large built-in kitchen with ample dinette, 2 1/2 baths, carpet, 24-ft. terrace, 3-car attached garage. \$55,000.
23352 FARMINGTON RD.
Downtown Farmington Center GR 6-6100

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

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23352 FARMINGTON RD.
Downtown Farmington Center GR 6-6100

2-1 Homes For Sale

OPEN SUN. 2-5
LOW TAX REDFORD TWP.
12849 FENTON
Charming 3 bedroom brick ranch. Finished basement, professionally decorated. 2 car brick front garage. Asking \$25,500.
EASY ASSUMPTION HALLMARK
KE 7-6230
CUSTOM BUILT NORTHWEST LIVONIA
Outstanding custom built 3 bedroom Roman brick ranch on large 100x135 corner lot. Stunning living room with natural fireplace, wall and indirect lighting. Unique kitchen with dining-L, large family room, 1 1/2 baths, utility room and forced air heating and cooling, power humidifier, Thermopane glass, carpeting throughout, kitchen pantry, garbage disposal, studio ceiling, built-in hi-fi, electronic garage door opener. Beautifully landscaped with large patio, city gas, water and sewer. Located near golf course and Schoolcraft College. YOU MUST SEE TO APPRECIATE THIS BEAUTIFUL HOME. \$36,400 591-6474
1/2 ACRE
Huge trees surround this beautiful 4 bedroom brick home. Fireplace in family room. Attached 2 car garage. In Livonia.
WELDON Clark
GA 5-7300
27492 FIVE MILE
LIVONIA, 3 bedroom, 1 1/2 bath, brick ranch, 1 1/2 car garage, 2 car garage, assume 4 1/4% mortgage. Handy to Wonderland and schools. \$27-4992
Redford Twp. Ranch WESTLAND OPEN SUN. 2-5
Decorative wrought iron makes this charming face brick ranch as pretty as a picture. Florida bound couple have the interior looking just as pampered. Complete carpeting, 3 bedrooms, finished basement, screened terrace, garage. \$26,500, and worth every cent. See today sure!
DEREMO and Son, Realtors
VE 5-2200 Since 1914
3 BEDROOM brick ranch, 2 baths, family room, new carpeting, fireplace, full basement, 2 car garage. Sharp. \$39,900. 261-2647
REDFORD OPEN SUN. 2-5 13584 FENTON
Here is the house you've been looking for. A white face brick ranch with 3 good size bedrooms. Full basement that is beautifully finished. All wood trim on house and garage are covered with aluminum. No painting here, fellows! Excellent landscaping, good size lot, low taxes, close to schools, transportation and shopping. Priced to sell QUICK. \$24,900.
LEXINGTON HOUSE REALTY
28422 Joy Rd. Livonia 261-8555

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

WOODBROOK SUBDIVISION
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CALL FOR DETAILS
EVENINGS 349-3443

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PLYMOUTH
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FARMINGTON
OPEN SUN. 2-5
FARMINGTON RD.
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OPEN SUN. 2-5
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23352 FARMINGTON RD.
Downtown Farmington Center GR 6-6100

2-1 Homes For Sale

GREAT FOR IN-LAWS this 1964 Ranch
3 bedrooms, 2 1/2 baths, living quarters and is located on lovely treed lot. 2 bedrooms, screened porch, patio, 2 car attached garage plus storage. ATTACHED APARTMENT has own bath, kitchenette and bedroom. \$21,500.
Open 9 to 9
"Everywhere You Go" chamberlain
426-9100 13 Mile & Northwestern
REDFORD, 18700 Woodworth, 4 blocks west of Beech, 3 bedroom brick ranch, lovely family size kitchen, partially finished basement with lavatory, newly carpeted and decorated, shaded lot. Asking \$23,500 or assume 4 1/4% mortgage. Open Sunday 1-5 p.m.
LIVONIA, Joy and Merriman, 3 bedroom brick, 2 car garage, rec room, 2 baths, carpeting and drapes. \$28,500. Call 424-7088
MERRIMAN - W. Chicago area, 3 bedroom brick ranch, nicely maintained. Extras include: large family room, Can assume 4 1/4% G.I. mortgage. By owner. \$41-8946
FORD-TELEGRAPH ASSUMPTION
3 bedroom brick ranch, on large corner lot. Carpeting, large family kitchen, full basement, gas forced air heat, aluminum storm and screens, \$5,100 assumes present mortgage with payments of \$128 monthly.
WESTSIDE
274-9400 2215 W. Warren
19784 HUNTINGTON, between 7 and 8 Mile, near Evergreen, 3 bedroom brick bungalow, fully carpeted, garage, excellent condition. Open Sunday 2 to 5 p.m. 537-6724
SOUTH REDFORD, 3 bedroom brick ranch, 1 1/2 baths, attractive rec room, 2 car garage. By owner. 11891 Hazelton, \$22,900. 534-5997
LIVONIA, Wonderland area, 3 bedroom brick ranch, 1 1/2 baths, gas, finished recreation room, 10x12 aluminum sun porch, by owner. 425-6882
SOUTHFIELD
New 4 bedroom ranch split home with living room, family room with fireplace with glass sliding doors overlooking rear lot. Modern kitchen, first floor utility room, 1 1/2 bath, ample closet space, 2 car attached garage. \$47,900.
WEST BLOOMFIELD PRICE REDUCED
1 acre lot overlooking golf course. 5 bedroom split level home. Living room, dining room, modern kitchen, family room with fireplace, utility room, 2 1/2 baths, 14x10' tool shed in rear, 2 car attached garage. Close to schools. Nicely decorated throughout. Call today to inspect this lovely home priced at \$45,900.
NORMANDY HILLS OPEN SUN. 2-5 25893 DUMAS CT.
Over an acre of detailed landscaping. Living room, formal dining room, paneled family room with fireplace and glass sliding doors leading to large terrace overlooking wooded lot. 5 bedrooms, kitchen has self-cleaning oven and dishwasher, 2 1/2 baths, full basement, 2 car attached garage. Between 11 and 12 Mile Rds., West of Farmington Rd. \$54,900
WESTBROOKE MANOR
3 bedroom split level with parquet floor in living room. The kitchen has an eating area. Built-ins including a double oven, 1 1/2 baths, paneled family room with built-in bar. Glass sliding doors leading to patio. Utility room, 2 car attached garage, complete and appealing. \$41,500.
KENDALLWOOD SUB.
Charming 3 bedroom home. Distinctive living room with fireplace, remarkably complete kitchen includes eating area. Den, full basement with tiled floors, 2 car attached garage. An exceptionally fine home for the family wanting the best. \$33,900.
Gordon Williamson
ASK Computer Service 28630 Orchard Lake Rd. 851-1900 538-0133

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

WOODBROOK SUBDIVISION
Sheldon Rd. between Ann Arbor and Ann Arbor Mail. Model open Saturday and Sunday, 1-6 p.m.
CALL FOR DETAILS
EVENINGS 349-3443

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Redford 5 Bedrooms
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PLYMOUTH
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FARMINGTON
OPEN SUN. 2-5
FARMINGTON RD.
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OPEN SUN. 2-5
GRAND DUKE DR. 28161
Unique appealing Forest-brook Hills provides unequaled setting amid towering trees, deep ravines and rushing streams. Spectacular impressive brick ranch has 3 master bedrooms, 2 1/2 ft. living room, full dining room, large built-in kitchen with ample dinette, 2 1/2 baths, carpet, 24-ft. terrace, 3-car attached garage. \$55,000.
23352 FARMINGTON RD.
Downtown Farmington Center GR 6-6100

2-1 Homes For Sale

FLORENCE FARMINGTON
Sharp 3 bedroom brick ranch. Full basement. Gas heat, carpeting, nicely landscaped lot. \$20,500. \$1,100 down.
KEY
To Better Living
Harrison-Moore Realty
255-0900 GA 7-9030
BUCKINGHAM Village, Livonia, 4 bedroom brick ranch, kitchen with double and built-ins, 2 baths. Carpeting, marble sill, paneled walls, tiled basement, enclosed back porch. 2 car garage. Transportation, schools and shopping center. Swim club available. \$32,900. For appointment call 425-3779
HOME OF EXCEPTIONAL VALUE
3 bedroom ranch, professionally finished. Full basement overlooking Birch Hill Golf Course. Built-ins, low taxes, good assumption. Call Doug Rathbun or Tom Horner.
HARTFORD
261-2000
33539 Plymouth Road
PLYMOUTH, Quad level 3 bedroom brick, 1 1/2 baths, kitchen with sunken dining area with doorwall overlooking separate dining room with beamed ceiling and fireplace. \$7,200 to assume payments \$151 per month. 453-5661
FARMINGTON, Warner Farms, 3 bedroom brick, 1 1/2 baths, carpeting throughout, dishwasher, custom drapes, finished basement, 2 car garage. \$28,500 can assume 4 1/2% mortgage. Owner. 474-8182
OPEN SUNDAY 2 TO 5
2615 MEADOW DRIVE
N. of 15 - E. of Franklin
lovely wooded and landscaped lot. First floor master bedroom and overlooking separate dining room. paneled family room with fireplace. modern kitchen, second floor offers 4 additional bedrooms featuring privacies - each has half bath and connecting tub and shower. \$75,000
chamberlain
REDFORD Twp. If you want large 3 or possible 4 bedroom brick home, beautiful yard and garage. By owner. Phone. KE 1-4222
FARMINGTON, Kendallwood Subdivision, 3 bedroom brick ranch, 1 1/2 baths, 10x12 family room, living and dining room, kitchen with eating space, finished basement, new carpeting throughout, large corner lot. \$34,000. owner. 476-1178
BY OWNER, 3 bedroom brick, living room, kitchen, dining, full basement, bath, fenced yard. 11418 Russell, Plymouth. 453-7178
OPEN SUN. 2-5
Exceptional Home in Westland
7218 Wildwood
3 bedroom brick with dining room, patio, full basement, 1 1/2 baths, corner lot. A must to see while you're driving around. Carpeted throughout. Priced to sell at only \$24,000.
HARTFORD
261-2000
33539 PLYMOUTH RD.

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

WOODBROOK SUBDIVISION
Sheldon Rd. between Ann Arbor and Ann Arbor Mail. Model open Saturday and Sunday, 1-6 p.m.
CALL FOR DETAILS
EVENINGS 349-3443

North Dearborn Heights
Very sharp face brick ranch home in one of the very nicest areas around. Hurry if you want a chance at this lovely home featuring 3 bedrooms, living room, large kitchen, full basement and beautiful landscaping. Owner anxious. This can't last.
Redford 5 Bedrooms
Full brick home with formal living room, formal dining room, kitchen, 5 bedrooms and full basement. Entire home wet plastered with many other exciting features. Call now if you want a real nice family home.

where every customer becomes a friend
PLYMOUTH
Call 453-5080

BETTER BUYS-FASTER ACTION
• REALTRON, Talk-Back Computer
• 200-OFFICE Multiple Listing Service
• AIMS Nationwide BUYER Referral
FARMINGTON
OPEN SUN. 2-5
FARMINGTON RD.
Near 10 Mile. Custom built, face brick broadfront ranch home, featuring 3 bedroom 4th in finished basement, spacious carpeted living room, with natural fireplace, separate dining room, large cheerful kitchen which opens to 36x19 patio, 2 1/2 car attached garage with ramp leading to basement workshop and rec. room. 100x400 lot cyclone fenced, well landscaped. \$42,500.
OPEN SUN. 2-5
GRAND DUKE DR. 28161
Unique appealing Forest-brook Hills provides unequaled setting amid towering trees, deep ravines and rushing streams. Spectacular impressive brick ranch has 3 master bedrooms, 2 1/2 ft. living room, full dining room, large built-in kitchen with ample dinette, 2 1/2 baths, carpet, 24-ft. terrace, 3-car attached garage. \$55,000.
23352 FARMINGTON RD.
Downtown Farmington Center GR 6-6100

2-1 Homes For Sale

3724 W. MAPLE
OPEN SUN. 2-5
Beautiful brick ranch, 3 bedrooms, 2 full ceramic baths, large living room, plus a 10x20' family room. Carpeting throughout, oversized 2 car garage. Country size lot with room for a garden for the green thumb. \$32,900. Go out W. Maple to 3724, just past Wixom Rd., follow open signs.
J. C. HAYDEN REALTORS
363-6604
PLYMOUTH, 3 bedroom brick ranch, 2 1/2 car garage, finished basement with bar. Lakepointe Village. \$27,500. 453-5143
FARMINGTON PANORAMIC VIEW
Over a gorge, hill and stream is yours from the window of this custom ranch home on 3 plus acres on edge of Farmington. 4 huge bedrooms, 3 1/2 baths, 14x16' dining room, 15.4x24' living room, library, rec. room 17x14'. Handy to the churches and schools. Room for more bedrooms. \$79,900.
STATELY TREES
Shelter this superior custom ranch on huge lot in top area. 3 large bedrooms, 2 1/2 baths, large dining-L. Grade laundry, huge paneled family room with many built-in features. This is an exceptional home. Immediate possession. \$46,800.
OLD HOMESTEAD
Enjoy country living in this sharp custom 3 bedroom brick ranch on large lot with family room, fireplace, formal dining room, full tiled basement, central air conditioning, 2 1/2 car attached garage with electric eye door. Immediate occupancy. \$38,900.
WOODCROFT
Charming custom brick ranch with full tiled basement, 15x10 den, fireplace in living room, 2 car attached garage. 100x150. Beautifully landscaped lot. Only \$35,500.
WESTBROOKE MANOR
You can't find more for your money than this fine 3 bedroom brick ranch with new family room, 2 full baths, 2 fireplaces, full basement, 2 car attached garage, kitchen with all built-ins. 98x150' lot, immediate occupancy. Owner transferred. Priced to sell. \$33,900.
VACANT
\$3,000 down on land contract will put you in this 3 bedroom aluminum sided ranch with family room. 24x25' attached garage. Lot 93x162'. Asking \$21,000.
NOVI
4 Bedroom brick ranch with 2 baths, dining-L, low taxes. Attached 1 1/2 car garage, storms and screens. \$22,900.
SANDERSON CLOSED SUNDAYS
GR 4-3000 KE 5-2720
32300 Grand River

NEW. Completion date about 9-1-68. 3 bedroom brick ranch, living, dining room, kitchen, family room with fireplace, 1st floor and basement on 100'x175' ravine lot in Woodbrook subdivision. \$45,900.
NEW 4 bedroom tri-level, 2 1/2 baths, living room, dining room, kitchen, nook, family room with fireplace, large basement and 2 car garage attached. This home has an unusual amount of marble and ceramic tile. One acre lot on Docks Ave. Northville town ship. \$44,600.
EXISTING 3 bedroom red brick ranch, natural fireplace, carpeted, drapes, full basement, attached garage, large corner lot. Good condition. \$27,200.

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where every customer becomes a friend
PLYMOUTH
Call 453-5080

BETTER BUYS-FASTER ACTION
• REALTRON, Talk-Back Computer
•

2-1 Homes For Sale

PLYMOUTH
PLYMOUTH COLONY SUB.
Big lot, loads of trees, 3 bedrooms, family room, 2 car garage, fireplace, carpeting, lots of built-ins, premium area. Full price \$35,900.
RETIREES OR YOUNG COUPLES
2 bedrooms, nice lot on Har- old St. Close to shopping. Full price \$9,900.
GARDEN CITY
3 bedroom brick, Arizona L. carpeting, built-ins, backyard adjacent to Garden City Park. Close to schools. Full price, \$19,900.
BROKER
425-8322

2 and 4 BEDROOMS newly decorated. \$40 Down. We buy homes. Call Dan's Realty 217-1112. Mich. 274-9250 or 31000 Ford Rd. 421-7880
OPEN SUN.
13962 Cranston
Livonia
4 BEDROOMS
Spacious 4 year old colonial in Kimberly Oaks, 4 family sized bedrooms, 2 1/2 baths, carpeted living room and dining room. Fireplace in family room. Beautiful kitchen with built-ins 16x20 patio and 2 car attached garage. Owner transferred. Priced to sell at \$37,900.
J. L. Hudson
425-0900

CANTON TWP.
39477 Cather Dr. OPEN SUN. 2-5
A charming 3 bedroom ranch brick style, family room, 18x10', attached garage, natural fireplace, beautiful lot, 52x183'. New wall to wall carpeting. Immediate possession. \$27,990.
EXECUTIVE HOMES DEPARTMENT
ESEA Since 1929 273-0100

LIVONIA Beautiful park-like setting with ravine and excellent schools. Case Cod 4 bedrooms, 2 1/2 baths, dining room, nat. fireplace, finished basement, 3 car garage, swimming pool. \$35,000. Call 427-3632
NORTHVILLE
46800 Timberlane, A spacious home on a spacious site. 4 bedrooms, 2 1/2 car attached garage plus 1 1/2 car garage for your storage. All on 2.3 acre site. \$49,900.
46300 Byrne Dr. Rooms with a view and huge windows to see it. Custom built 4 bedroom home with attached 2 car garage \$46,800.
VACANT
We have varied and many subdivision acreage parcels.

Cutler
REALTY
349-4030-1-3

OVER 20 YEARS OF DEPENDABLE SERVICE
Mr. & Mrs. Homeowner!
Planning on selling your home, call us now at GA 1-2100 for complete real estate service.

Charles W. Allen, Jr.
Broker
Multi-Listing
Realtor Computer
Plymouth Twp.
First offering for this 1 year old attractive 3 bedroom brick ranch (1270 sq. ft.). Modern kitchen, 1 1/2 baths, FAMILY ROOM with fireplace, complete carpeting. Quick occupancy. Asking \$24,900.
GA 1-2100

Will FHA
\$1500 down for this 3 bedroom brick ranch with dining room, carpeting, rec. room, gas heat and well landscaped yard. Good location in Livonia.
KE 5-8330

C. W. ALLEN
REAL ESTATE
15337 Farmington Rd.

Tried Your Smile Today?
LIVONIA
Sugar and Spice
is what you get with this 3 bedroom brick built in washer and dryer in kitchen, carpeting throughout, 2 1/2 car garage, \$23,900.
PLYMOUTH
Yards of Yard
2 bedroom frame home on 1/2 acre, separate dining room, early american decor, 16x30 ft. above ground pool, \$20,900.
HOLLY, MICHIGAN
500 ft. lake frontage on beautiful, deep, Pine Lake, 7.6 acres, zoned residential, gorgeous wooded hillside, \$24,000.
NOVI
\$0.00 Down, Just Closing Costs
2 Bedroom home set on 2/3 acre, newly decorated small pond on property, large building could be garage, truly country living, \$14,900.
To serve you our office is open Monday through Thursday 9-9; Friday 9-7; Saturday 9-5 Sunday 11-5
THOMPSON-BROWN Company
41120 W. Five Mile Rd.
PLYMOUTH, MICH.
PLYMOUTH 455-2700
LIVONIA or DETROIT 261-5080
GO WITH THE WINNERS!
CALL THOMPSON-BROWN CO.
FOR AN APPRAISAL WITHOUT OBLIGATION TO YOU!!

REINARDY
REAL ESTATE & MORTGAGE CO.
Rolls out the welcome mat to you
Choose a home tailored to your needs
OPEN SUN. 2-5
REDFORD
11340 Crosley, South of Plymouth, East of Beech. Sharp 4 bedroom brick colonial, carpeted thru-out, home completely air conditioned, built-ins in kitchen, paneled den, 3 fireplaces, 3 1/2 baths, full basement, 64x20 heated swimming pool, 20x24 covered terrace, 110x135 fenced yard professionally landscaped, many, many extras. \$55,000.
OPEN SUN. 2-5
LIVONIA
29450 Robert Drive, South of Plymouth, West of Middlebelt - Ultra Sharp 3 bedroom brick ranch, carpeted, large living room with studio beamed ceiling, large kitchen with built-ins and dishwasher, tiled basement with bar, fenced yard. Only \$24,500.
OPEN SUN. 2-5
LIVONIA
17557 Westbrook, North of Six Mile, West of Wayne Road. Beautiful 4 bedroom tri-level, carpeted thru-out, modern kitchen with built-ins, family room with beamed ceiling and fireplace, paneled den, 1st floor laundry room, 2 car attached garage, professionally landscaped yard. Only \$41,500.
REINARDY
GA 2-8220 KE 7-0940
28085 Plymouth Road
Livonia, Michigan 48150

Walt Shuster
REALTORS
626-0400
31000 Northwestern at Middlebelt

DEARBORN EAST
3 bedroom colonial. A steal at \$19,900. Call us for appointment.
APPOLINE
NR. FORD RD.
4 bedroom brick, 79' lot. Side drive, garage.
DEARBORN
MICHIGAN-WYOMING
2 apartments with Beer, wine and grocery dining room. \$4,000 down, land contract.
BRUNO REALTY
12746 GRAND RIVER
931-1303 KE 5-2727

LAKE POINTE 3 bedroom brick, 1 1/2 baths, large family kitchen, 2 drapes, formal dining, carpeting throughout, heated swimming pool, large fenced corner lot. Immediate possession. \$26,900. Assumption. 425-5310
WESTLAND Livonia schools. 30033 Malvern Road, 3 bedroom ranch, attached garage, corner lot, \$26,900. Many extras. By owner. 421-7055
PLYMOUTH Large 4 bedroom family room, 2 fireplaces, excellent condition. \$37,900. 454-6085
EVERGREEN-8 MILE AREA
OPEN SUN. 2-5
Brick, 1500 sq. ft. home, 2 baths, tiled basement, enclosed terrace. Near St. Gerard's and Ford High School. Move right in.
MILLER BROS. REALTY
LI 3-7520

BOTH OPEN
SUN. 2-5
WESTLAND
34503 NANCY
Attractive 3 bedroom, nicely carpeted. Enclosed terrace 24' swimming pool, sunken patio, 2 car garage. FHA Terms. First time offered.
29612 AVONDALE
Middlebelt-Davison area. Delightfully clean and attractive 3 bedroom brick ranch, full basement, 2 car garage. Immediate occupancy. Owner transferred. First time offered.
Dates & Morningstar
476-4810
22772 Orchard Lake Rd.

COMMERCIAL Main Street in Plymouth. Combined living quarters and store area, full basement with grade access, circle drive on and off Main Street. \$25,000.
INVESTMENT Combination 2 family income and barber shop in good Plymouth location. Buy on contract. Great possibilities for combined use. \$21,500
NEAT AND TRIM 3 bedroom, 1 1/2 story aluminum sided, basement, recreation room, fenced yard, 1 1/2 car garage. In Plymouth's north-west area. \$23,900
NEW LISTING Brick split level in Lake Pointe Village. Plymouth Twp. Lots of living area with large shaded lot, brick patio, attached garage and hobby shop. Basement storage. Call for location. \$34,900
FAMILY LIVING At its best in this Cape Cod style home. Plymouth Twp., close to schools yet just out of town. 3 bedrooms, 1 1/2 baths, 2 fireplaces, separate dining room, basement, rec. room, big garage. \$26,900
WANT ONE FLOOR LIVING? See this Plymouth Twp. brick ranch, 2 full baths, 3 bedrooms, family room with fireplace, attached garage, fenced yard and covered patio, all for \$27,500. Call for location.
Open Mon., Wed., Fri. Evenings
WM. FEHLIG
906 S. Main St. Plymouth
GL 3-7800

STOP AND LOOK at this attractive tri-level in Westland. Located on 1/2 acre landscaped to perfection. Featuring 3 bedrooms, 1 1/2 baths, carpeted, paneled family room, large kitchen and a very nice master bedroom. Call for location. \$24,900. Call GR 6-9100.
NO RED TAPE Assume a mortgage with payments of \$86 per month. A 3 bedroom brick ranch in Farmington Twp. bungalow with a large kitchen, full basement, gas FA heat, loads of storage and a good location. Priced at \$18,900. Immediate occupancy. Call GR 6-9100.
ARMS LENGTH Tired of being an arms length from your neighbor? This 3 bedroom Farmington ranch offers a 200 ft. lot, well planned patio, 1 1/2 baths, tiled and paneled basement, adorable master bedroom, large kitchen and a 2 car garage. Priced at \$24,900. Call GR 6-9100.
IMMEDIATE OCCUPANCY on this 3 bedroom tri-level in Farmington. Featuring 1 1/2 baths, family room, large kitchen, enclosed patio and 2 car garage. Priced at \$25,000. Ask about our guaranteed sales program. Call GR 6-9100.
LOW TAXES Keep your payments down! This 3 bedroom brick ranch in Garden City gives you the space you need at a price you can afford. A full basement, large kitchen, wall to wall carpeting, and garage. Assumption possibilities - 4 1/2% with \$131 payments. Priced at \$24,000. Call GR 6-9100.
REDUCED In price but not in size. A 3 bedroom brick ranch in Northville. Farmington with wall to wall carpeting, full basement, gas FA heat and a very private back yard. Walking distance to schools. Priced at \$23,000. Call GR 6-9100.

B. F. Chamberlain
REAL ESTATE COMPANY
"Service to the Buyer, the Seller, the Community—Since 1948"

2-1 Homes For Sale

CONVENTION TIME
Hubert says you will VOTE YES when you see this 1 bedroom aluminum sided home. Its big enough for a family convention. Attached garage with breezeway. Only \$16,900, FHA terms.
JOHN HUBERT
HAS THE HOMES
422-7000

JASTER
HAS HOMES
3 BEDROOM BRICKS
ALL BEAUTIFUL
34908 W. Chicago...\$28,900
39569 Cather...\$27,900
7518 Hawthorne...\$28,900
23620 Meadowbrook...\$19,900
31025 Munger...\$34,900
51510 Ohio...\$28,900
30429 Sheridan...\$25,500
25908 Woodbine...\$25,500
8932 Deering...\$22,900
33916 S. Main Rd...\$23,900
8850 Farmington Rd. \$23,500
JASTER
FOR SERVICE THAT COUNTS
GA 2-7010 KE 1-3300

PILLARED COLONIAL
Beautifully landscaped grounds, white brick, lovely neighborhood. Perfect in every respect. Air conditioned, slate vestibule, 4 bedrooms, 2 baths, family room with majestic fireplace, full dining room, all modern built-in kitchen. Truly early American elegance in the township of Northville. \$54,500.
NORTHVILLE REALTY
160 E. MAIN ST.
FI 9-1515

LIVONIA Spacious three bedroom all brick ranch on professionally landscaped 1/2 acre, trees, 2 patios, summer house, paneled den, 2 1/2 baths, fully carpeted, formal kitchen, finished basement, 2 car heated garage, intercom, incinerator, newly decorated, immediate possession. \$33,000. 261-3189
OPEN SUN. 2-4
Beautiful 4 bedroom quad-level with 2-car attached garage. For your inspection Sunday afternoon. Don't drive past, stop and inspect. 15600 Huff Lot is 80x130. Natural fireplace and many extras.
chamberlain
626-9100 13 Mile & Northwestern

NORTHVILLE
4 Bedrooms, 3,200 sq. ft. living area, immaculate condition. Privacy on 1/2 acre lot in town. Taxes reasonable. Excellent location. 30 day occupancy. \$37,900.
647 THAYER BLVD.
FI 9-3182

LIVONIA New full face brick ranch, 3 bedrooms, 1 1/2 baths, full basement, 60x134 lot, schools, public transportation, churches and shopping within walking distance. 45 day occupancy, \$20,990 full price, will take trade in.
RIPATO HOMES
261-5280

PLYMOUTH 4 bedroom home, 1 1/2 baths, dining room, breakfast nook. Good location. Many possibilities. 218 S. Harvey. GL 3-8283

CHERRY HILL-MIDDLEBELT
IMMEDIATE OCCUPANCY
3 bedroom brick front ranch. Large utility, aluminum storms and screens, gas forced air heat. \$2,800 assumes present mortgage.
WESTSIDE
274-9400 2215 W. Warren

NORTHVILLE
OPEN
2-5 p.m. Sunday, Aug. 18
894 N. Center St.
Homey, comfortable 3 bedroom on picturesque 80' lot in good locality. Fireplace, dining room, 1 1/2 baths, sun room, full basement, 2 car garage. All for \$31,500.
STARK REALTY
GL 3-1020 PLYMOUTH

29612 AVONDALE
Middlebelt-Davison area. Delightfully clean and attractive 3 bedroom brick ranch, full basement, 2 car garage. Immediate occupancy. Owner transferred. First time offered.
Dates & Morningstar
476-4810
22772 Orchard Lake Rd.

COMMERCIAL Main Street in Plymouth. Combined living quarters and store area, full basement with grade access, circle drive on and off Main Street. \$25,000.
INVESTMENT Combination 2 family income and barber shop in good Plymouth location. Buy on contract. Great possibilities for combined use. \$21,500
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906 S. Main St. Plymouth
GL 3-7800

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REDUCED In price but not in size. A 3 bedroom brick ranch in Northville. Farmington with wall to wall carpeting, full basement, gas FA heat and a very private back yard. Walking distance to schools. Priced at \$23,000. Call GR 6-9100.

B. F. Chamberlain
REAL ESTATE COMPANY
"Service to the Buyer, the Seller, the Community—Since 1948"

2-1 Homes For Sale

BRAMELL-TELEGRAPH
Beautiful 3 bedroom face brick ranch. Full basement, finished rec. room, gas heat, carpeting. Garage. \$22,900. Terms.
KEY
To Better Living
Harrison-Moore Realty
255-0900 GA 7-9030

WARREN-WAYNE
IMMEDIATE OCCUPANCY
Chief says "sell" this 4 bedroom brick split level in Tonquish Sub. Carpeting, family room with beamed ceiling, first floor utility room, patio, 2 1/2 car garage. Beautiful landscaped lot. \$23,900. Conventional terms available.
WESTSIDE
274-9400 2215 W. Warren

WESTLAND
OPEN SUN. 2-5
8590 INGRAM
3 Bedroom Brick Ranch, 2 1/2 car garage, full basement tiled, full bath, gas heat, 2 1/2 car garage. Lots to like at \$28,900.
JOHNSTONE & Johnstone
24040 Orchard Lake Rd.
GR 4-2177

MEET THE CHAMP
A brick ranch home in top Westland neighborhood. 3 bedrooms, carpeted living room and hall, built-in oven and range, full basement tiled with 1/2 bath, gas forced air heat, aluminum storms and screens, fenced yard excellently landscaped, patio. A home to be proud of. Fast possession. Only \$18,900 with \$900 down on FHA Terms or trade in your present home and receive cash.
ADVANCE
6876 MIDDLEBELT
GA 7-5400

OPEN SUN. 2-5
35860 W. CHICAGO
Nice quiet area for this 3 bedroom brick ranch. 2 car attached garage, many extras.
BELCREST 538-7760

104'x236' LOT—WESTLAND
Attractive circle drive and large fenced lot is the setting for this 3 bedroom ranch home with large kitchen and dining ell, 20x13' aluminum storage shed, many tall trees, fireplace plus bar-b-qe pit. Only \$25,000 full price. Call for address. Trades accepted with free estimates. No. W. 25, Open Sun. and eve.
GROSSMAN LO 5-8840

LIVONIA New full face brick ranch, 3 bedrooms, 1 1/2 baths, full basement, 60x134 lot, schools, public transportation, churches and shopping within walking distance. 45 day occupancy, \$20,990 full price, will take trade in.
RIPATO HOMES
261-5280

PLYMOUTH 4 bedroom home, 1 1/2 baths, dining room, breakfast nook. Good location. Many possibilities. 218 S. Harvey. GL 3-8283

CHERRY HILL-MIDDLEBELT
IMMEDIATE OCCUPANCY
3 bedroom brick front ranch. Large utility, aluminum storms and screens, gas forced air heat. \$2,800 assumes present mortgage.
WESTSIDE
274-9400 2215 W. Warren

NORTHVILLE
OPEN
2-5 p.m. Sunday, Aug. 18
894 N. Center St.
Homey, comfortable 3 bedroom on picturesque 80' lot in good locality. Fireplace, dining room, 1 1/2 baths, sun room, full basement, 2 car garage. All for \$31,500.
STARK REALTY
GL 3-1020 PLYMOUTH

29612 AVONDALE
Middlebelt-Davison area. Delightfully clean and attractive 3 bedroom brick ranch, full basement, 2 car garage. Immediate occupancy. Owner transferred. First time offered.
Dates & Morningstar
476-4810
22772 Orchard Lake Rd.

COMMERCIAL Main Street in Plymouth. Combined living quarters and store area, full basement with grade access, circle drive on and off Main Street. \$25,000.
INVESTMENT Combination 2 family income and barber shop in good Plymouth location. Buy on contract. Great possibilities for combined use. \$21,500
NEAT AND TRIM 3 bedroom, 1 1/2 story aluminum sided, basement, recreation room, fenced yard, 1 1/2 car garage. In Plymouth's north-west area. \$23,900
NEW LISTING Brick split level in Lake Pointe Village. Plymouth Twp. Lots of living area with large shaded lot, brick patio, attached garage and hobby shop. Basement storage. Call for location. \$34,900
FAMILY LIVING At its best in this Cape Cod style home. Plymouth Twp., close to schools yet just out of town. 3 bedrooms, 1 1/2 baths, 2 fireplaces, separate dining room, basement, rec. room, big garage. \$26,900
WANT ONE FLOOR LIVING? See this Plymouth Twp. brick ranch, 2 full baths, 3 bedrooms, family room with fireplace, attached garage, fenced yard and covered patio, all for \$27,500. Call for location.
Open Mon., Wed., Fri. Evenings
WM. FEHLIG
906 S. Main St. Plymouth
GL 3-7800

STOP AND LOOK at this attractive tri-level in Westland. Located on 1/2 acre landscaped to perfection. Featuring 3 bedrooms, 1 1/2 baths, carpeted, paneled family room, large kitchen and a very nice master bedroom. Call for location. \$24,900. Call GR 6-9100.
NO RED TAPE Assume a mortgage with payments of \$86 per month. A 3 bedroom brick ranch in Farmington Twp. bungalow with a large kitchen, full basement, gas FA heat, loads of storage and a good location. Priced at \$18,900. Immediate occupancy. Call GR 6-9100.
ARMS LENGTH Tired of being an arms length from your neighbor? This 3 bedroom Farmington ranch offers a 200 ft. lot, well planned patio, 1 1/2 baths, tiled and paneled basement, adorable master bedroom, large kitchen and a 2 car garage. Priced at \$24,900. Call GR 6-9100.
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LOW TAXES Keep your payments down! This 3 bedroom brick ranch in Garden City gives you the space you need at a price you can afford. A full basement, large

2-8 Lots & Acreage

2-ACRE building site, partly wooded, west of Plymouth. Easy financing. Joe Merritt, 433-6161 or 433-3363.

VACANT Property for sale. Farmington Twp. lot size 88x194, all utilities included. 21000 Jefferson Ave., South of Shawanese. 476-1754.

PLYMOUTH, home site 2.85 acres of rolling terrain with plenty of trees. New Napier Rd. and Ann Arbor Rd. By owner. 476-2144 or 433-8282.

VILLAGE of Woodstock Farms. 100-125x250'. N.W. Hwy. 12 Mile-Middlebelt Rd. area. Call 1-800-240-6366 or after 6 p.m. 341-4888.

VACANT FARMINGTON TWP. On Penrose Drive in lovely Woodbine subdivision, 120x275 ft. zoned R-10. Convenient to I-96. Area 10 acres. Cash. \$8,500.

10 ACRES On Tower Rd., Salem Twp. Here is your opportunity for a home site in a good location. \$15,500.

EARL KEIM REALTY
15707 FARMINGTON RD.
CALL 261-1600

12 ACRES, zoned Ford and Hagerty, corner 192x122'. Business. 425-0311.

5 ACRES industrial, Van Born and Hagerty, corner 192x122'. Business. 425-0311.

YOUNG REAL ESTATE
16 ACRES—WILL DIVIDE
\$850 per acre. Terms.

40 ACRES
Frontage on 2 roads. Rolling. \$600 per acre. 1/2 down land contract.

16 ACRES
Beautiful high, wooded, small home. Small down payment. Terms.

2 ACRES
On Hill. Terms.

LOTS
Package of 3 corner, hardtop road, plus 1 small lake lot free. Give access to 3 lakes. \$3,500 Cash.

MILFORD AREA
20 acres lake frontage. Terms.

ARGENTINE AREA
227 acres, 1 1/4 miles river frontage, small lake, 50,000 pine trees, frontage on 3 hardtop roads. \$500 per acre. Terms.

1554 HIGHLAND RD. (M-59)
MILFORD 632-7553
Open Sun. 1-6

2-9 Farms For Sale

YOUNG REAL ESTATE
MILFORD
5 acres and house. 2 bedrooms, living room, kitchen, dining room, bathroom, basement, 1 car garage, blacktop road. \$18,000 cash or \$3,000 down 6 1/4% land contract. \$100 per month.

5 ACRES
1 1/2 year 3 bedroom Colonial tri-level. Living room, kitchen, family room with fireplace, 1 1/2 baths, 2 car attached garage, brick and aluminum. Barn for 3 horses and hay storage. Completely fenced for horses and training ring. \$48,500. Owner looking for more acreage.

HOWELL AREA
150 acres. Classic farm home and out buildings. Good stream running through property and small lake. Good land contract. Terms. Zoned recreation.

HOLLY AREA
160 acres square or will sell 5 acres and buildings at \$33,000, at \$700 per acre. 5 bedroom farm house, 2 1/2 baths, living room with fireplace, formal dining room, kitchen with 2 sinks and work centers, family room, wood burning stove, 3 car garage with 1 room apartment above small barn and 2 out buildings. Less than 15 minutes from I-75. Will consider land contract.

NORTHVILLE AREA
10 Sq. Acre Estate
Between Van Born and I-75 with frontage on 8 Mile Rd. 3 bedroom plus master bedroom 20'x21' with bath, his and her closets. Large living room, formal dining room, country kitchen, 2 1/2 baths, 2 room guest suite, 1 bedroom, tenant house rents at \$125 month. Dog kennel, 6 stall barn completely fenced for horses also small pond. Cash to new mortgage.

1554 HIGHLAND RD. (M-59)
MILFORD 632-7553
OPEN SUNDAY 1-6

2-10 Mortgage & Land Contracts
CASH for land contracts. Call after 5 p.m. 349-2642

2-11 Wanted, Real Estate
DESPERATE
Need 2 or 3 bedroom homes to sell, or we will buy your house for cash. Agent. Call Jim or George.

GA 7-3202

QUICK CASH
INVESTMENT BUYER
Call Frank Chandler, Agent
427-5420

2-11 Wanted, Real Estate

FAST CASH
We will buy your home for cash even behind in payments and you may continue to live there. No commission, no points or expenses. Protect your equity, we will give you a better cash deal.
REINARDY GA 2-8220
ATTORNEY will buy your home or contract or mortgage equity even if you are behind in your payments. Agent. 255-3103

Absolutely
Top price paid for property in N.W. Detroit, Dearborn Hts., Garden City, Redford Twp., Livonia and Westland. No waiting. All your cash in 2 days, no points or commission. Call today, no obligation. 25101 Plymouth Rd.

MYERS-HILL
KE 3-5310

MORE CASH
For Your Property
We can pay CASH for your home immediately, or we will LIST and sell it for you on today's active market. We can also trade you into another home of your choice. Please feel free to call me for details of our guaranteed sales plan. No obligations.

LEONARD ANGEL
728-7650

HARTFORD
REALTY
537-6808

TOPS
PAID FOR YOUR PROPERTY
CALL US FOR THE MOST CASH

GROSSMAN REALTY CO.
427-3200 537-9410

LET US GET YOU THE MOST
For your property, cash deposit on our

GUARANTEED SALES PROGRAM
GROSSMAN LIVONIA REALTY
KE 7-9410 GA 7-3200

ALL CASH
For homes. Land contracts or vacant property.

SOUND INVESTMENT CO.
427-3203

FAST CASH FOR HOMES
Livonia, Garden City, Westland areas. Carleton Real Estate. 261-1010

CASH! CASH! CASH!
All cash in 24 hours for your home or equity. No waiting, no delay. Call us and you will get more money.

ADVANCE
6876 MIDDLEBELT
GA 7-5400

YOUNG COUPLE
Desires home under \$16,000 in Redford Livonia or surrounding area. Prefer to assume low interest rate mortgage. For more information call their agent.

261-6763

2-12 Business Opportunities

YOUNG REAL ESTATE
MILFORD AREA
Lake side grocery store, corner lot 100'x120'. Beer and wine license. \$21,500 includes inventory. Terms.

HARTLAND AREA
Party Store. Beer, wine and package liquor license. Assume 6% contract with \$30,000 down. \$1,400 plus inventory. Grossing \$120,000 year. Past growing area.

11554 HIGHLAND RD. (M-59)
MILFORD 632-7553
OPEN SUN. 1-6

332 E. Main, City of Northville. Here's a real beauty and income on large C-1 lot. Right in town with space for your fully equipped Beauty Shop own home, apartment to rent, to lease or operate yourself. Owner will consider Land Contract Terms. \$39,900.

CUTLER
REALTY
349-4030-1-3

ATTENTION FRANCHISERS!
Ideal location for at least 3 separate franchises across from large shopping center, Cherry Hill, Inkster Rd. 150'x272'. Land contract terms, 29% down.

Manufacturer's Realty
891-0807

REDFORD TWP. area. For sale music store and studio. Students, teachers and inventory. For further information. Call 538-5850

APARTMENT SITE
SOUTHFIELD—9.6 ACRES
This one won't last long. CALL MR. MURNINGHAN 353-1575

FEDEWA REAL ESTATE

3-1 Rooms For Rent
2 SLEEPING rooms in Plymouth. Call after 3 p.m. 455-0559

ROOM AND Board. \$25 a week. 474-8389

FURNISHED room for rent. 2 or more gentlemen. Phone 421-2535

LADY who would like free furnished apartment. In family of 2 for 2 or 3 days a week. No washing or cooking. Must be clean and reliable. Plymouth area. GL 3-0717

LIVONIA. Men over 21. Sleeping rooms. 464-2036

SINGLES and doubles. carpeted, convenient to restaurant. No drinking. Security required. 453-2262

3-2 Apartments for Rent
PARKWAY ARMS MODEL OPEN
Immediate Occupancy
1 and 2 Bedroom Units
From \$145

● Dishwasher
● Carpeting
● Swimming Pool
● Central Air Conditioning
● Drapes
● Carpeting (optional)

1401-83 South Sheldon Road
Just North of Ann Arbor Rd.
Res. Manager Gen. Office
455-2667 357-2500
Adults Only No Pets

MOULIN ROUGE APARTMENTS
12890 W. Outer Drive
IMMEDIATE OCCUPANCY
Studios, 1 and 2 bedrooms from \$125. Carpeting, drapes, disposal. Hotpoint appliances and air conditioning. Swimming pool. All utilities except electricity. See Manager. Apartment 214 or call 255-3452.

CITY OF SOUTHFIELD
Beech Rd. at Shawanese
1 block north of 8 Mile
Parkway West Apts.
Immediate Occupancy
Daily 12 noon to 6 P.M.
Open Manager 357-2303
Office 357-2300

3-2 Apartments for Rent

GE COLOR TV
Included In All Apartments
Leased By Sept. 15
Live in beautiful Opdyke Hills Apartments in Bloomfield Hills. All apartments include central air conditioning, formica vanities, large wardrobe closets, and shower enclosures. All kitchens are equipped with GE range, 14 cubic ft. refrigerator, garbage disposal and dishwasher.

Other features include an Olympic size swimming pool, clubhouse, planned movie showings and sunbaths.

RENTS FROM \$175 — ONE BEDROOM
\$225 — Two Bedrooms with 2 Baths

OPDYKE HILLS APARTMENTS
Model open daily 12-6 p.m.
Sat. & Sun. 11 a.m.-7 p.m.
(Closed Thursday)
Model Phone 642-3013

Take Opdyke Rd. to Fox Hill Drive Right, 2 blocks to Apartments
Managed by

SHOSTAK
BROS. & CO., INC.
REALTORS
10711 Puritan Ave.

BEL MAR TERRACES
1 and 2 bedroom apartments. Completely carpeted and draped. All utilities except electricity. Children considered. Ford and Middlebelt areas. Starting from \$145.

261-2022

SHANGRI-VILLA
A quiet elegant retreat. A hidden corner in the City of Plymouth. Accessible only across a bridge spanning a picturesque stream. Townhouses now available.

547-3284

SUB-LET deluxe 1 bedroom furnished apartment. Brookdale Club Apartments, Farmington. Available 9-1-68. After 5 p.m. on Saturday. 477-9763. Weekdays, 337-3660

DEARBORN PARK APTS.
New 1 and 2 Bedroom
\$135-\$155

26170 Michigan Ave. Just West of Beech Daily Rd.
Includes: Carpeting, heat and cooking gas, air conditioning, Sound-proof (masonry walls). Swimming pool, appliances. Inquire 26170 Michigan Ave. Apt. 102 or call 274-1154.

ONE BEDROOM apartment furnished, garage, two adults only; no pets. One month's security. 453-1285

NORTHWEST Detroit. Beautiful spotless Studio Apartment, stove, refrigerator, all utilities included. 1 adult. \$80. References. UN 1-5893

FOUR ROOMS stove, refrigerator, heat, furnished, \$70 month, security deposit. 33103 Thomas, Farmington or GR 4-6342

GREENFIELD. Fenkel, 4 room upper in lovely area. 1/2 block to transportation \$100 including heat. Adults only. 538-7632

5 ROOM upper. Hartwell-Joy Rd. \$115 monthly, \$75 security. Immediate occupancy. 934-0284

SUBLET air condition, completely furnished, including washer, dryer, \$182. Indoor pool, club house. Between 8 a.m.-5 p.m. weekdays. 356-7362

EFFICIENCY apartments, weekly rate. Motel, day or weekly rates. GR 4-1324

FURNISHED apartment, working man only. Redford area. KE 3-0001

3-2 Apartments for Rent

YALEWOOD APTS.
6737 N. WAYNE RD.
Westland's finest luxury 2 bedroom apartment, now accepting applications for Oct. 7 occupancy.
All units have 1 1/2 baths, fully carpeted, drapes, central air conditioning, Frigidaire appliances include frost-free refrigerator, dishwasher, range, garbage disposal and play area. Children will be gladly accepted. Swimming pool and play area for children.

Model Open 1-7 p.m. Daily
728-5040 261-3895

3-3 Duplexes For Rent
DUPLX. Adults only. N.W. Detroit. No pets \$150 per month. Mike Holington. KE 1-7403

3-4 Homes For Rent
LIVONIA 20361 Middlebelt. Available September 1. \$80 1 month Security. Deposit. KE 7-5544, or GR 6-7979

WESTLAND. 2 bedrooms, completely redecorated. \$135 a month plus \$100 deposit. References required. 425-9073

FARMINGTON TWP. Westlake Subdivision. 3 bedroom, full basement, 1 1/2 baths, 2 car garage. \$240 per month. Security Deposit. Call after August 19. 476-5868

W. CHICAGO-Outer Drive. Furnished 3 bedroom brick ranch. 1 1/2 baths, family room, natural fireplace, 2 car attached garage. Nicely landscaped. \$300. KE 1-7542

3 BEDROOM home, garage. \$200 month. Security Deposit, in reference. 261-3518

FARMINGTON, 30450 12 Mile near Orchard Lake Rd. Large 3 bedroom, \$185. Security deposit. Occupancy Sept. 1st. Mr. Huller. 645-8527

FREE RENTAL Service to landlords. Reliable tenants waiting. Art Danahy Realty, 22177 Michigan 724-9250 or 31000 Ford Rd. 421-7880

FARMINGTON, 21111 Middlebelt between 8 Mile and Grand River. 5 rooms and garage. 1 acre lot. 6 month lease. \$125 per month. 1 month security deposit. 1 or 2 children welcome. Available now. Frank Gust, 26288 Tulane, Farmington Twp. 476-0256

LINCOLN PARK. 3 bedroom, brick ranch, finished basement, 2 car garage. Lease \$200 month. References. Security deposit required. KE 7-0256

LOWER 2 bedroom, garage, basement. walking distance. Farmington shopping. \$200. We pay utilities. 474-2205

S. REFORD Twp. 3 bedroom brick ranch, family room, 2 car attached garage, newly decorated and carpeted. 1 1/2 baths. \$285 month. Security deposit. References required. KE 7-0256

3-6 Office & Business
FOR RENT
All new, private air conditioned, paneled and carpeted offices. Choice of sizes, 12x15 etc.; prime Livonia location, excellent parking, secretarial service. Suitable for manufacturers rep., attorneys, builders, etc. Ask for Mr. Newland at 261-8300.

W. DEARBORN, 24166 Michigan. air conditioned, 534 sq. ft., utilities included. LO 5-9850

2ND FLOOR front office space. 274 S. Main, Plymouth. Apply 280 S. Main, Plymouth. 453-3301

600 SQ. FT. all or part. Air conditioned, carpeted, newly remodeled. 1 block from John Lodge exit. 476-4114

BUCKINGHAM OFFICE MAIL
Schoolcraft and Inkster
Livonia, Mich.
500 sq. ft. to 750 sq. ft. office for lease. Ideal for manufacturer's agency, attorney, accountant's office or insurance office. Heat and air conditioning included. For information call BR 3-4100

HOME AND Beauty shop combined. 3 bedroom brick, air conditioned through-out. 5 Mile-Middlebelt area. Call 8-5 p.m. weekdays. GA 2-1616

130 SQ. FT. office space, 12 Mile Orchard Lake area. 476-4114

LAKEFRONT modern home, sandy beach. Available August 24-31. Call weekdays after 5 p.m. 534-0417

25 MILES WEST of Livonia. Available week of August 24 and Labor Day weekend. 2 or 3 bedroom modern cottages. Boats, playgrounds. 437-2610

3-8 Halls For Rent

HALL with kitchen, weddings, receptions, etc. Special day, night rates for small meetings, etc. 453-2617

DINING by appointment. Antique decor. Wedding receptions, rehearsal dinners, dinner parties, business meetings with meals. Banquets, church functions, etc. Call 453-2617 or LI 2-0800

3-10 Living Quarters To Share
MOTHER with young child would like to share her apartment with same. In Plymouth. after 10 a.m. 455-2573

YOUNG MAN wanted to share apartment. Independence Green. Minimum age 25. Call between 7 p.m. and 9 p.m. 477-8610

EMPLOYED Lady will share home or rent room. All conveniences. 10 Mile and Middlebelt. Before 12 p.m. 476-4311

3-12 Wanted To Rent, Apts.
COUPLE and 14-year-old daughter need furnished apartment for 3 months, while home is being completed. 476-5733

RESPECTABLE middle age widow desires small apartment for rent in Farmington area. Call after 5:30 p.m. 421-6177

3-13 Wanted To Rent, Homes
TRANSFERRED to Wixom. Need by August 30. 2 or 3 bedroom unfurnished house or apartment that will accept a child and cat. Deposit and references. Call collect after wages. Fringe benefits and working conditions. Area code 517-782-1489

HOME for 3 people. Unfurnished. Occupancy September 3. 474-6886

RESPONSIBLE professional family needs 4 bedroom house, 1 or 2 year lease. c/o Observer Newspapers, Box 4382, 271 S. Main, Plymouth 48170.

COUPLE need 2 bedroom home. Farmington. No preferred. Call KE 4-0883 or EL 6-0636

3-14 Wanted To Rent, Misc.
WANTED. Approximately 750 sq. ft. suitable for light manufacturing and storage. KE 1-5108

GARAGE basement or anyplace suitable for storage of furniture. Call 425-1243

4-1 Help Wanted, Male
CARPENTERS
ROUGH AND FINISH
DOUBLE-TIME
ON SATURDAYS
Steady employment of residents, apartments, offices. Profit sharing and bonus for foreman. Apply 8 a.m. to 4 p.m.

31555 Ann Arbor Tr.
or 39981 Joy Rd.

LABORER wanted. Construction maintenance work. Starting pay, \$3.10. 349-0961

MAN WANTED. medium warehouse work, national company. Salary and fringe benefits; steady employment. 31070 Industrial Rd., Livonia, between Merriman and Middlebelt Rds.

STOCK and sales man with sales ability. Must be over 18. No phone calls. Merchandise Mart, 30441 Plymouth Rd., Livonia. 425-6500

COLLEGE graduate under 30 with aggressive personality and no service problem. Full time professional opportunity. Please phone to arrange interview. or 761-9192

WANTED: 3 men to learn the retail appliance business. Excellent earnings. Guaranteed \$150 weekly. Experienced man will earn in excess of \$12,000 yearly. Paid vacations, opportunity for advancement. 5 day work week. Professional interview only with J. P. Blotie at main store, 27419 Joy Rd., corner of Inkster, Westland.

ACCOUNTANT
Degree not necessary, book-keeping background, auto-dealership experience preferred. apply in person

R. DONAHUE O'GREEN FORD
30711 Grand River
FARMINGTON

JANITORS
Evenings and weekends, part time and full time. W. Detroit and suburbs.
535-5989

ROUGH AND FINISH CARPENTERS
IN PLYMOUTH AREA
CALL 453-2350
EVES. 453-4194

LABORERS
NATIONAL CONCRETE PRODUCTS
939 S. MILL ST., PLYMOUTH

RETIRED MAN NEEDED
WILL TRAIN
Pump gas only. Average 30 hours per week. Highest pay plus benefits. Call between 8 a.m. and 5 p.m. 255-1478. X-Press 100 Oil Co.

SHIPPING DEPT.
Man to learn truck scale operation. Full time work. Apply in person

EDW. C. LEVY CO.
9 A.M.-3 P.M.
PERSONNEL OFFICE
8800 DIX AVE., DETROIT

EXPERIENCED REAL ESTATE SALESMAN
Interested in making MORE MONEY. Excellent profit sharing plan. Liberal Draw. Call Mr. Rubin.

KE 7-9410

75%
of every dollar you bring in is paid to you, the professional real estate salesman. 3 offices to choose from. Redford-Livonia-Northville, Blue Cross and draw available. Call Dick Cutright at KE 7-6808 or Tom Horner at 261-2000. Hartford Realty.

75%
EXPERIENCED
13 B&S FORM GRINDERS on punches
UNISON SURFACE GRINDERS
POLISH & INSPECTOR
Top wages, full benefits, overtime. Apply:
STANDARDS DIVISION
101 Industrial Dr., Plymouth

WELDER MECHANICS
To mount bodies, power gates, snow plows and other truck equipment on truck chassis. Apply Daybrook Ottawa Corp. 31391 Industrial Rd. Between Plymouth and Schoolcraft, just east of Merriman. Excellent wages, fringe benefits and working conditions.

EXPERIENCED
Asst. Superintendent
in the construction of apartment buildings, offices and residential. Call
353-4440

YOUNG Man for small shop. Delivery and shop work combined. Good working conditions. 933-7800

CONSTRUCTION BIDDER ESTIMATOR
FULL TIME OR PART TIME
ALSO EXPERIENCED RETIREES
353-4440

EXPERIENCED EQUIPMENT OPERATORS
Backhoe, Bulldozer and Loader. Must have good references. apply at
39981 Joy Rd.
or
31555 Ann Arbor Tr.
8 a.m. to 4 p.m.

GAS STATION MECHANIC
Must be good, all-around man. Top wages. Good opportunity for the right man. Apply Mack Suncos, 8 Mile and Farmington Rds. 425-6500

PARTS
Auto parts man. Must have GM experience. Contact Jim Jensen, Tennyson Chevrolet, 32570 Plymouth Rd. 425-6500

STRUCTURAL layout men. Flat Welders, \$3.33 an hour, 3 Position Welders, \$3.48 an hour, 9 paid holidays, vacations, Blue Cross, Blue Shield. Other fringe benefits. Apply:
PARAGON BRIDGE & STEEL
44000 Grand River
Novi
Interviewing daily 8-7 P.M. Saturdays 8-12 Noon.

ROOFER wanted to install 23 square of shingles. 453-6439

TRIPLE A-1 Corporation needs representatives to offer a new coffee service to offices, commercial establishments and industries. Unusual compensation plan, includes draw, commission and residuals. Age and education no barrier. Build a business for yourself at no expense other than your time. For interview call Mrs. Lehman 398-7500

WELDERS
WELDING FOREMEN
HELPERS
FIXTURE BUILDERS
Immediate Openings — All Benefits
Apply in Person
RFP
INDUSTRIES
4935 HANNAN RD.
1/2 Mile South of Michigan Avenue
Wayne
728-5100

LETTERPRESS & OFFSET PRO

4-1 Help Wanted, Male

WAITERS WANTED
Steady work, living quarters.
Call for appointment.
MEADOWBROOK COUNTRY CLUB
349-3600

MAITRE D'— ASSISTANT MANAGER
COUNTRY CLUB
Must know dining room service. Call for appointment.
349-3600

BOYS Must be at least 18 years old, with drivers license. General clean-up work. Apply Service Manager, Dameron Motors, 29301 Grand River at Middlebelt.

INSURANCE Underwriter. Commercial Fire, some experience for branch office in Northwest area. Full benefits. Send background to Box 5180 Seven Oaks Station, Detroit 48235.

4-1 Help Wanted, Male

STATION ATTENDANT
Immediate opening in Livonia. No experience required we will train. Age no barrier. Prefer older man. Excellent opportunity for advancement. Apply in person.
36421 Plymouth at Levan, Livonia

PLANT SECURITY GUARDS
Steady Position
CENTRI-SPRAY CORPORATION
39001 SCHOOLCRAFT LIVONIA, MICHIGAN
464-0100

4-1 Help Wanted, Male

MICHIGAN BELL
HAS IMMEDIATE OPENINGS FOR
ELECTRONIC TECHNICIANS
THROUGHOUT THE PLYMOUTH AND LIVONIA AREAS
An excellent opportunity for employment in one of America's soundest industries.
REQUIREMENTS
Minimum height 5 ft. 6 in., proportionate weight, physically sound, High School Graduate or equivalent.
Apply
Mon.-Fri., 8:30 a.m. 5 p.m.
Room 136, 909 Sheldon Rd. Plymouth, Michigan
MICHIGAN BELL
PART OF THE NATIONWIDE BELL SYSTEM
An Equal Opportunity Employer

YOUNG Man for automotive parts jobber for delivering and counter. Paid holidays, vacation, Blue Cross, etc. West Point Motor Supply Co. GR 4-0645

EXPERIENCED Gasoline station attendant, afternoon shift, 12:00 noon to 9:30, Monday thru Friday. Permanent position, paid holidays and vacation. Prefer man 25 years or older. Wait Ash Shell Service, 584 S. Mainstreet, Plymouth.

EXPERIENCED gas station attendant, over 20 years old, mechanical background. 422-6664

RADIAL DRILL OPERATORS
STEADY WORK
Day Shift
CENTRI-SPRAY CORPORATION
39001 SCHOOLCRAFT LIVONIA, MICH.
464-0100

4-1 Help Wanted, Male

GUARDS
—FULL & PART TIME
Immediate Openings at Following Locations:
• Detroit
• Ann Arbor
• Mt. Clemens
• Plymouth
• Saline
• Utica
Top union scale, paid Blue Cross, vacation and holiday benefits.
BONDED GUARD SERVICES
441 E. Grand Blvd. Detroit 48207
568-4150 Call Collect

ELECTRICAL Inspector for local government. Pleasant working conditions. 8:30 to 4:30 weekdays. Pension and full fringe benefits. Write resume of experience to Plante and Moran, C.P.A.'s, 33211 Grand River, Farmington.

YOUNG man 18 or over for pick-up and delivery. Mechanically inclined. 21308 W. McNichols. KE 3-4700

LITHO - O - GRAPHIC stripper. Capable of supervising lay-out dept. 40-hr week, liberal fringe benefits, top wages. Contact University Litho Printers, 4589 Washtenaw Rd., Ypsilanti.

MICRO-WIRE welder wanted part time. Inquire at H.M.L. Industries, Inc., 24140 Industrial Park Dr. or call and ask for Herb, 476-8800.

DRAFTSMAN
Prefer ambitious evening engineering student with some knowledge of architectural & structural drawings. Position could lead to management in growing nation-wide company. Benefits. Call Mr. Nixon, 453-3631 for appointment.

SYMONS MANUFACTURING CO.
410 ANN ARBOR PLYMOUTH

MAINTENANCE PORTER
For Maintenance Dept. in Retail Department Store. Hours 2 a.m. to 10 a.m. Immediate discount privileges and many employee benefits. Apply in person.
PERSONNEL OFFICE

Montgomery Wards
29501 PLYMOUTH ROAD, LIVONIA
WONDERLAND SHOPPING CENTER

GOING TO SCHOOL NIGHTS?
OPENING FOR
ENGINEERING ESTIMATOR
40 hr. week-days
QUALIFICATIONS: High School Graduate, High School Math and Drafting, Mechanical Aptitude.
OPPORTUNITY... For Engineering experience. Many fringe benefits, Educational assistance.
Call or apply in person 9 a.m.-5 p.m. Personnel Dept.

CONSUMERS POWER COMPANY
11801 Farmington Rd., Livonia
427-5100
An Equal Opportunity Employer

4-1 Help Wanted, Male

Pro-ducer
We have an opening for an aggressive salesman with proven sales record to move right in and join the retail advertising sales team of Michigan's largest and most progressive twice-weekly newspaper.
Work under ideal conditions in Detroit's most productive Suburban Retail Advertising area. Contact Ed. L. Trading area. Contact Ed. L. Trading area. Contact Ed. L. Trading area.
MALE Kitchen help wanted. Northville Pizzeria. After 4 p.m. 349-0556

MATERIAL HANDLER
Shipping and receiving. Full time. Good working conditions. Complete fringe benefits.
DSI
101 Union St., Plymouth

DIE SETTERS
For small and medium sized dies in stamping plant. Must be experienced and willing to do other jobs as well as die setting.
FRINGE BENEFITS
TOP WAGES
ANGER MFG.
777 BASELINE RD. NORTHVILLE
YOUNG MAN for shipping desk and some delivery. 18 yrs. or older. Full time, starting rate \$2.00 per hour. Apply Hathaway Press, Inc., 30434 West 12 Mile Road, Farmington.

COLLEGE students to work vacation schedules on ice cream trucks. \$500 guaranteed before school starts. Apply 340X9 Schoolcraft, Livonia.

CARBIDE PREFORM MACHINIST
PILL PRESS OPERATOR
Men attend for shop operations in a newly formed cemented carbide operation plant now in Dearborn, but will begin operation in Plymouth Twp. 1969.
HOWMAT CORP.
Metal Products Div.
5320 Oakman Blvd.
Dearborn
581-7200
An Equal Opportunity Employer

CONSTRUCTION SUPERVISOR
steady employment, residents, apartments, office buildings.
353-4440

MECHANIC for general repair, new car agency in Northville. 50-50. Closed Saturdays, paid vacation plan and hospitalization. G. E. Miller Sales. FI 9-0660

MOTOR CARRIER SUPERVISOR
Must be experienced. An opportunity for advancement for one of the nation's leading motor carriers. Apply to Box 4324, Observer Newspapers, 33425 Grand River, Farmington, Mich. 48024.
Equal Opportunity Employer

GENERAL FACTORY HELP
No experience required. Light machine work. Overtime. Good fringe benefits. Apply
MERCHANT MACHINE TOOL
43999 Shearer Dr.
Plymouth, Mich.

4-1 Help Wanted, Male

MEN
NO EXPERIENCE NEEDED
\$193.60 and over includes expenses per 6-day week. Opportunity for higher earnings after 90 days. Yearly gross \$7,000-\$9,000. Immediate full time jobs available near your home.
We train you to teach driving, provide you with the customers and a new completely dual controlled training car to also use as your very own. Plus company paid Blue Cross life insurance, sick and accident insurance.
Requirements: 1. Over 26. 2. Married. 3. Good driving record. 4. Excellent character. 5. Full time only.
FOR INTERVIEW PHONE
GA 5-8999
MAIN OFFICE
15032 GRAND RIVER
OPEN 7 A.M.-10 P.M.
WESTSIDE BRANCH
34580 SIMS ST. WAYNE

All Around Maintenance Man
Must know electrical and pipe fitting. Steady work.
CENTRI-SPRAY CORPORATION
39001 SCHOOLCRAFT LIVONIA 464-0100
YOUNG MAN wanted to work in kitchen. Romano's Pizzeria, 30830 Grand River, Farmington. Apply after 4 p.m.

DATA PROCESSING SUPERVISOR
IBM department of progressive food distributor has openings at its new Plymouth division. Experienced in programming and supervision. Excellent salary and fringe benefits. Call Mr. Haut at 455-1400.

CUSTODIAN
Part time. Retired man to work 3 days per week, 4 hours each day to clean small factory.
MERCHANT MACHINE TOOL
43999 Shearer Dr.
Plymouth, Mich.

MEN FOR work in small rubber plant. No experience necessary. Good working conditions. Call WE 3-8500

YOUNG MAN for cooking and food preparation. Day shift, good pay. No weekends. Apply in person. Golden Lantern, 33251 5 Mile, Livonia, corner of Farmington.

PART time janitorial work. Early evenings N.W. area. No experience necessary. Apply 9 to 5 p.m. 18880 Beech-Dub, southeast corner of 7 Mile.

MACHINE operators to work in small shop. Experience in Carbide preferred but not necessary. H. F. Carbide, 23350 Haggerty Rd., Farmington.

ASPHALT finish raker. Experienced asphalt help. 476-1213

4-1 Help Wanted, Male

CITY OF LIVONIA WINTER RECREATION PROGRAM
ICE RINK MANAGER
Part-time (4-11 P.M.-Saturday and Sunday) \$2.75 \$3.00 per hour. Livonia resident, at least 25 years old and 3 years public contact experience. Apply by Wednesday, September 4.
ICE RINK MANAGER (Hockey)
Part-time (4-11 p.m.-Saturday and Sunday) \$2.75-\$3.00 per hour Livonia resident, at least 25 years old 5 years experience in amateur hockey, proficient skater. Apply by Wednesday, September 4.
ICE RINK ATTENDANT
Part-time (afternoons and evenings plus Saturday and Sunday) \$1.25-\$1.45 per hour, Livonia resident, at least 16 years old, proficient skater. Apply by Wednesday, September 4.
Civil Service Commission
33110 Five Mile Road
421-2000, Ext. 288

4 HARD WORKING MEN WANTED
to replace 4 who wouldn't work. Good sales opportunity.
CALL LO 1-5566

YOUNG MEN
Progressive automation equipment manufacturer needs 2 young men for light assembly work. No experience necessary. Apply in person.
ACE CONTROLS, INC.
31120 W. 8 MILE FARMINGTON

COLLEGE GRADUATE
Opening now available for college graduate to start our 2 year training program. Substantial starting income. Sales career and excellent opportunities for a management position. Call C. Skene, Metropolitan Life Insurance. 427-2730

ELECTRICIAN
Experienced installation, Repair and Maintenance of Manufacturing operation. New facilities to be located at Wick and Middlebelt Rds. Excellent fringe benefit program and working conditions.
KERR MFG. CO.
2081 12th St.
Detroit
898-1000
Miss Wagner
An Equal Opportunity Employer

LOCKER Room Superintendent. Farmington area. Ideal job for retiree. Call for appointment. 474-8000

4-1 Help Wanted, Male

Die-Makers
Must be of a journeyman caliber. Top wages, fringe benefits.
ANGER CO.
777 Base Line Rd.
Northville, Mich.
CAREER JOBS
With branch office of one of the world's great organizations. We train you. We offer assured income during training. Top income possibilities after training plus management opportunity. Call Frank Killas, 547-8560. Metropolitan Life Insurance Co.
An Equal Opportunity Employer

IMMEDIATE OPENINGS
MACHINE OPERATIONS AND MATERIAL HANDLING
30595 W. 8 MILE RD. BETWEEN MIDDLEBELT & MERRIMAN

COMPUTER OPERATOR
Data processing department of progressive food distributor has openings at its new Plymouth division. Good starting salary and fringe benefits. Call Mr. Haut at 455-1400.

4-1 Help Wanted, Male

Engineers Draftsmen
WITH INDUSTRIAL EXPERIENCE
MECHANICAL ENGINEERS & DRAFTSMEN
with piping background
ELECTRICAL ENGINEER
power control and lighting
These are permanent positions with excellent fringe benefits.
JOHN G. HOAD & Associates, Inc.
1159 E. Michigan Ave. Ypsilanti, Mich.
482-0920

MAN wanted for yardwork at local fencing company. Experience not necessary but knowledge of welding a must. Call New Hudson. 437-3074

SHIPPING clerk and warehouseman for small warehouse located N.W. Detroit. Steady interesting work. Phone 273-3400

ASSISTANT DEPARTMENT MANAGERS
We have a training program for young men interested in a RETAIL Career as a Dept. Manager in a Ward's Detroit District Store.
Training Openings are in the Following Departments:
CLOTHING DRAPERIES FURNITURE HOUSEWARES TOYS
OPPORTUNITIES UNLIMITED
Many Company BENEFITS!
APPLY IN PERSON AT OUR PERSONNEL OFFICE

Montgomery Wards
29501 Plymouth Road Livonia WONDERLAND SHOPPING CENTER

MEAT MEN
MINIMUM AGE 18
We are accepting applications for men who want to learn a trade and enjoy a secure financial future. This day shift job offers good wages and the following Company benefits and insurance.
• VACATION • LIFE
• RETIREMENT • SURGICAL
• HOSPITALIZATION
Apply in Person
KROGER CO.
12701 MIDDLEBELT, LIVONIA
An Equal Opportunity Employer

MEAT MEN
MINIMUM AGE 18
We are accepting applications for men who want to learn a trade and enjoy a secure financial future. This day shift job offers good wages and the following Company benefits and insurance.
• VACATION • LIFE
• RETIREMENT • SURGICAL
• HOSPITALIZATION
Apply in Person
KROGER CO.
12701 MIDDLEBELT, LIVONIA
An Equal Opportunity Employer

MEAT MEN
MINIMUM AGE 18
We are accepting applications for men who want to learn a trade and enjoy a secure financial future. This day shift job offers good wages and the following Company benefits and insurance.
• VACATION • LIFE
• RETIREMENT • SURGICAL
• HOSPITALIZATION
Apply in Person
KROGER CO.
12701 MIDDLEBELT, LIVONIA
An Equal Opportunity Employer

WANTED
Licensed Electrician
MACHINE OPERATORS
MATERIAL HANDLERS
APPLY GATE GUARD
Wyckoff Steel Division
PILGRIM WORKS
1000 GENERAL DRIVE
Plymouth, Michigan

OPPORTUNITY
Salesmen
WANTED
HOME IMPROVEMENT
FURNITURE
CARPETING
MAJOR APPLIANCES
PLUMBING & HEATING
DEPARTMENTS

FOR ONE OF DETROIT'S LARGEST RETAIL DEPARTMENT STORES

Salary vs. Commission
Car Necessary
PERMANENT OPENINGS
5-DAY WEEK

Come Prepared to Discuss
Salesmanship. Apply in Person
PERSONNEL OFFICE



29501 Plymouth Road
Livonia
WONDERLAND SHOPPING CENTER

The Garden City OBSERVER

The Westland OBSERVER

Police Announce Anti-Riot Readiness
They Caution Against Panic

The Redford OBSERVER

The Plymouth MAIL & OBSERVER

The Farmington ENTERPRISE & OBSERVER

The Livonia Observer
Moelke Asks Stop And Frisk Law For Livonia
12 Seek 4 Council Seats
Four Join Race For Mayor In '68
Stalled City Digs Out
City Primary Candidate List

the **TWIN-ACTION WANT AD**

NOW YOU CAN PLACE A 15 WORD WANT AD IN BOTH THE WEDNESDAY & SUNDAY OBSERVER REACHING A COMBINED TOTAL OF MORE THAN 160,000 HOMES EVERY WEEK FOR ONLY ...

\$444

CASH RATE, AD MUST BE PAID WITHIN 10 DAYS OF PUBLICATION

TO PLACE YOUR TWIN-ACTION WANT AD CALL US TODAY!

GA 2-0900

TWIN-ACTION ADS CANNOT BE CANCELLED



NEW... TOLL-FREE DIRECT WANT AD LINE

GA 2-0900

NOW YOU CAN PLACE YOUR WANT ADS QUICKLY AND EASILY WITH OUR NEWLY ADDED TELEPHONE FACILITIES. WE'VE DOUBLED OUR PHONE LINES, ADDED PERSONNEL AND MOVED OUR OFFICES TO A NEW LOCATION TWICE OUR PRESENT SIZE... TO SERVE YOU MORE EFFICIENTLY.

WANT ADS

OBSERVER NEWSPAPERS, INC.

Livonia Observer • Plymouth Mail & Observer
Farmington Enterprise & Observer • Redford Observer
Garden City Observer • Westland Observer

OUR NEW ADDRESS:
29449 WEST SIX MILE ROAD, LIVONIA

4-1 Help Wanted, Male

PORTER
INDUSTRIAL CAFETERIA
8 A.M. to 2:30 P.M.
427-2000, EXT. 329

PORTER for Midnights. Also line-man for midnights. Apply at 28551 Grand River, at Beech

IMMEDIATE OCCUPANCY

SERVICE WRITER

Salary plus commission and fringe benefits. Call Russ Glover, service manager.
Berry Pontiac
874 W. ANN ARBOR RD.
PLYMOUTH 453-2500

18 YEARS or over, some mechanical ability required. Don't miss! Rebuilding, 1150 Ann Arbor Rd. Westland, Ypsilanti.

AWREY BAKERY

Livonia Plant
FULL TIME

Permanent openings in Production. Excellent working conditions, fringe benefits.

If interested apply in Livonia Plant, located 12301 Farmington Rd. Tues., Aug. 20th 9 A.M. to 11 A.M. Ask for Mrs. Burt.

AWREY BAKERIES, INC.

HOLDER wanted on furniture truck.
425-0710

SMALL Shop needs one man for general shop work, 40 hours plus fringe benefits. Farmington area. Good future for right party. Call 474-4250

RELIABLE individual being in plant for pharmaceutical manufacturing. Age 21 to 30. Plymouth Laboratories, 700 Junction, Plymouth.

ANALYSTS needed to be over 18 years, apply in person, 24650 Grand River, Farmington.

CARPENTER Crews 2 or 3 men crews wanted. Work for yourself for a chance. See the state of Michigan, good opportunity, high pay, Viewco Homes, Inc. Call Harold (Halt) Parks 261-6750

MANAGEMENT TRAINEE

Learn business. Promote from within. Merit raises with future unlimited. \$6,300. Mr. Wilson

SNELLING & SNELLING

Personnel
353-6500

SALES TRAINEE

Top firm needs 3 men. Program lasts 2 years, leads to sales management. \$6,600. Call J. Daly

SNELLING & SNELLING

Personnel
353-6500

ROUTE SALES

Good territory. Salary plus incentive. Could lead to your own business. Call Now! J. Daly

SNELLING & SNELLING

Personnel
353-6500

STOCK HANDLERS

Day shift. Downtown Plymouth area. College students welcome.

WITT-AMERICAN

962-5580

FOOD SALES

Start \$6,600 and bonus. Company car and expenses. FEE PAID. Company promotes from within. Stock plan. Rich.

SNELLING & SNELLING

Personnel
353-6500

SALES MAN

Established Accounts, good working conditions, college or sales helps. \$6,500. J. Wilson

SNELLING & SNELLING

Personnel
353-6500

4-1 Help Wanted, Male

MANAGEMENT TRAINEE
Start \$5,700. Be manager 2-3 years at 5 figure income. A career opportunity. Call Jim Rich.

SNELLING & SNELLING

Personnel
353-6500

ACTIVE

Personnel Service
29441 Six Mile Road
(Just West of Middle Belt)
Livonia, Michigan 48152

The Great Majority of Employers Pay Our Fee

Openings Are Primarily With Detroit Area Manufacturers

ACCOUNTANTS

10 to 1200

SUPERVISORS

10 to 1050

TRAINING

10 to 750

ENGINEERS

10 to 1500

ARCHITECTURAL

10 to 1250

ASSISTANT

10 to 1200

BOOKKEEPERS

10 to 1050

BUDGETING

10 to 1150

CHEMICAL

10 to 1250

ENGINEERS

10 to 1250

ELECTRICAL

10 to 1250

ELECTRONIC-MECHANICAL

10 to 1500

ELECTRONICS

10 to 750

TECHNICIANS

10 to 900

ANALYSTS

10 to 650

ENGINEERING

10 to 850

TRAINING

10 to 1100

EXECUTIVE TRAINEES

10 to 800

EXPERIENCED

10 to 1300

ENGINEERS

10 to 1300

FOREMAN

10 to 1100

GENERAL MANAGERS

10 to 1500

INDUSTRIAL

10 to 1350

RELATIONS

10 to 1250

INVENTORY CONTROL

10 to 850

JUNIOR DRAFTSMEN

10 to 700

LABOR RELATIONS

10 to 1250

4-1 Help Wanted, Male

MANAGEMENT TRAINEE
Top company expanding. Start \$8,300; be manager 2-3 years at over \$9,000. Call Fred Robb.

SNELLING & SNELLING

Personnel
353-6500

DATA PROCESSING SUPERVISOR

GENERAL FACTORY HELP
WESTLAND
EMPLOYMENT BUREAU
6900 N. Wayne Rd. 728-8600

4-2 Help Wanted, Female

WANTED: BOOKKEEPER FULL CHARGE

For local municipality. Must be a Garden City resident. This is an excellent career opportunity for an experienced bookkeeper. Good working conditions and starting salary, plus hospitalization, insurance and pension plan. Reply to Box 474, Observer Newspapers, 29449 W. 6 Mile, Livonia, 48152.

IMMEDIATE opening for experienced

receptionist. For application call Mrs. Van Dyke, Tuesday thru Friday, 9:30 a.m. to 5 p.m. 591-4400 Ext. 249

RECEPTIONIST Frederick's Salon

Lathrup Village. 356-5180

LADY to work with pre-schoolers

in a group experience. College or previous experience preferred. Hours approximately 9:30 a.m. to 1:30 p.m. per hour. Call Lee's Children's Nursery. 553-5520

HOUSEWIVES BE A FULLERETTE

Fuller Brush Co. have expanded their services to meet the growing population need. 3 part time girls are needed to service our routes. For further information call Maria Moss. 453-6841

BEAUTY Counselors has organization

and sales openings. High earnings, excellent training. Local. 474-1720, 422-4276, 427-6432

COOK EXPERIENCED

for small private nursing home. 5 day week, 9-5 p.m. Malcolm Palmer Home 30301 W. 13 Mile Rd. Farmington MA 6-2295

EXPERIENCED Waitresses wanted

for 25 and 35 hrs. Apply in person Capra's Restaurant and Lounge, 12966 Telegraph Road, Redford. 453-6881

MATURE woman to care for 3 children

ages 4, 7 and 8. Live-in. KE 7-3064

General office, also take rental applications. Full or part time.

353-4440

BEAUTICIAN, Frederick's Salon

Lathrup Village. 356-5180

JOIN THE Staff of Michigan's best known Real Estate firm

ELSEA Realty. Openings now available in the top earning branch of the company. Through individual training available, both classroom and on the job. Participate in a field with professional standing and highest earnings. Call Mr. Elsen. 273-0100

MATURE woman, 40 years or older

to babysit 1 year old boy, 5 days, 8-5 P.M. My home, no transportation. Plymouth 453-6881

WAITRESS wanted part time

Wintergarden Bar, 7 Mile and Farmington Rd. After 5 p.m. 474-3670

RN

MIDNIGHT SUPERVISOR
Starting salary \$34 per shift (this is equal to \$736.66 per month or \$884.00 per year) plus fringe benefits. Please call Mrs. Guriwin, 274-4600.

Dearborn Heights Convalescent Home

26001 FORD RD.
Near Beech Daly

EXPERIENCED medical assistant

for doctor's office in Livonia. Must have 2 years experience, education, experience and salary to \$11.55 per hour. Lee's Children's Nursery. 553-5520

RECEPTIONIST and general office part time for professional office

5 Mile - Beech area. Must be available, 9-5 p.m. KE 2-9171

STYLIST wanted for Redford Two

beauty shop. Full time. Experience not necessary if willing and able to learn. Paquin House. KE 2-9171

FALL Staff. Lady to cook for pre-schoolers

Hours approximately 9-3 a.m. \$1.55 per hour. Lee's Children's Nursery. 553-5520

4-2 Help Wanted, Female

STYLIST and Sales Girl. Hair stylist who has experience in styling of hair pieces. New wig shop opening in Plymouth. Good opportunity, salary and commission. 722-3711

CASHIER, full time, 18 or over

phone calls. Merchandise Mart. 3041 Plymouth Rd., Livonia.

GUARANTEED EARNINGS

Sell Toys & Gifts, Aug-Dec. Free Supplies & Hostess Gifts. No experience or cash needed. No delivering, no collecting. "SANDRA PARTIES" Call 422-7236 422-4728 533-0380

BOOKKEEPER needed. Recent experience

preferred. Apply Monday, August 19, between 2 p.m. - 6 p.m. at Michiana Enterprises, 11859 Levan, Livonia or call for appointment. 261-2110

NURSES AIDES, all shifts. Immediate openings. Excellent starting salary and fringe benefits. Apply in person, 28550 Five Mile, Livonia.

R. N.'s L. P. N.'s EASTLAWN CONVALESCENT HOME

409 High, Northville FI 9-0011

BAPTIST Church to move to Livonia

in December wants a full time secretary beginning in September. Good typing skills essential. Short-term helpful but not necessary. Requires mature, Christian person who can make decisions. Salary and hours negotiable. Send resume giving qualifications, hours and salary desired to Grand River Ave. Baptist Church, 13130 Littlefield, Detroit, Michigan, 48227

BABYSITTER live in, 1 pre-schooler. More for home than wages. Call Monday before 4 Carol. 224-2099

FOUR women needed to handle increased demand for Beauty Counselor Cosmetics. No canvassing or parties. 349-4834

MATURE woman to manage fountain and grill. Pleasant day work

21300 Novi Rd. 453-6881

WAITRESSES

Midnight and swing shifts. Excellent pay, vacation pay, Christmas bonus.

BATES HAMBURGERS

33406 5 MILE ROAD
GA 7-3464

AMBITIOUS WOMEN

Without neglecting your family you can earn good money representing AVON. For interview call today. FE 5-9545

SECRETARY EXPERIENCED

For interesting varied duties. Detroit construction firm. Must have good typing and shorthand skills, pleasant personality. Excellent fringe benefits. Must have own transportation. If you are interested, call Miss Johnson 345-7510.

HIGH school graduate, single. Full time, light typing. Learn the full time business. KE 5-8740

COOKS wanted for shifts 6 A.M. to 2:30 P.M. and 3:30 A.M. to 5 P.M. Contact Virginia. 425-0800

CAR biller part time. Limited posting and billing. Rathburn Chevrolet Sales, 560 S. Main, Northville. 453-6881

NURSE'S AIDE EXPERIENCED

Afternoon 3 p.m.-11 p.m. or Midnight 11 p.m.-7 a.m. Malcolm Palmer Home 30301 W. 13 Mile Rd. MA 6-2295

MATURE, Responsible woman for child care, live in, more for home than wages. 477-9728

WOMAN to care for invalid lady. Live in. Very pleasant working conditions. Nice surroundings. Good pay. References. 453-4745

CHOICE OF PROFESSIONAL SALESWOMEN

Like you, our people are "Pros" and they gave up good things to join us, you can feel the when you step through our door. We offer good hours, pleasant associates, recognition for good work, plus a chance to make \$7,000 to \$10,000 the first year. Call Norma May for interview at 353-6500 Snelling & Snelling.

WAITRESSES FULL TIME

APPLY
MAYFLOWER HOTEL
827 ANN ARBOR TR.
PLYMOUTH

COUNTRY Woman full or part time

Apply in person. Sam and Walt's Delicatessen, 28418 Joy Rd., Livonia. 261-1210

DENTAL Hygienist for Suburban Community School District

from September to June. Call 453-6938

FULL and Part time barmaid and waitress. Experience preferred but not necessary. Top wages for capable people. Interviewing Monday 2 to 4 p.m. Country Lane, 9 Mile west of Middlebelt. 478-3201

BORED with housework? Learn hairdressing. Come to Beauty Careers School. 427-5900

4-2 Help Wanted, Female

SECRETARY
Interesting Jr. secretarial position for individual with good typing and general clerical skills. Moderate shorthand skills desirable but not essential if typing transcription skills are strong. Will work for Jr. Executive in Mortgage Loan Department.

Call Personnel Department

476-9000 9 a.m.-4 p.m. daily for confidential interview.

Alexander Hamilton Life Insurance Co. Of America

12 MILE & FARMINGTON RD. FARMINGTON

SALES LADIES. Ladies Ready to Wear Specialty Shop. Full time, many company benefits. Apply Lerner Shops, Wonderland Shopping Center. 261-2110

LADIES. Art Linkletter joined

Baseline Fashion, why don't you? GA 2-0114

SCHOOL teacher wants babysitter

in home 5 days, must have own transportation. Inter-8 Mile area, Southfield, Michigan. 358-2085

FILING

We need a dependable young lady to train and work as assistant in our central file department.

Call Personnel Department

476-9000 9 a.m.-4 p.m. daily for confidential interview.

Alexander Hamilton Life Insurance Co. Of America

12 MILE & FARMINGTON RD. FARMINGTON

BABY SITTER, Sept. 1, 5 days a week

7:45 a.m. to 3:45 p.m. Pre-schoolers. References required. 453-5580

WAITRESS FOR Golf Course. Mainly counter work. Day or evening work. Full and part time. Salem Hills Golf Club. 437-2152

HERE COMES PLAYHOUSE

HIRING NOW
20% Commission
NO EXPERIENCE
No collecting, no delivering, no back orders or substitutes. S & H Green Stamp Bonus and Trips.

LIVONIA - 261-6396

GARDEN CITY - GA 7-9657

COUNTER Clerk, Kowalski store

Northwestern, Orchard Lake area. 626-5686 or 755-0769

TEACHER needs reliable baby sitter

for 1 yr. old. Your transportation. References. 477-9791

WOMAN for optical department

evening. Call 537-3710

CASHIER

INDUSTRIAL CAFETERIA
1:30 A.M. to 6 A.M.
427-2000, EXT. 329

BOOKKEEPER-TYPIST

Experienced. Full charge. Pleasant working conditions. Livonia area.

425-7100

REINSURANCE CLERK

Excellent opportunity for individual with reinsurance or related experience in the Life Insurance industry. Must also possess typing skills of 50 WPM or better and have potential for rapid development to lead clerk position.

For confidential interview call personnel department, 476-9000, 9 A.M.-4 P.M. daily.

Alexander Hamilton Life Insurance Co. of America

1

4-2 Help Wanted, Female

EXPERIENCED SECRETARY
\$500 up, good skills, working with executives. Fee paid.

JUNIOR SECRETARY \$400 up
Good typing skills, no short-hand. Advancement. Fee paid.

KEYPUNCH OPERATOR
\$370 up
Minimum of experience required. Nice location. Fee paid.

NANCY A&A PERSONNEL
846-2655

SECRETARY
Who likes to keep busy. Type? Short-hand. Northwest location. \$420. Call Mrs. Roberts today.

SNELLING & SNELLING
Personnel
353-6500

AGENT-AIRLINE \$500
Young girls 19-26, for tickets and reservations. All travel. Bonuses and public contact. Immediate openings for the right girl. Call Sandy.

A & A PERSONNEL
255-1340

BEGINNERS
Just breaking into the business world. This spot is for you. Lite typing. Give Jan Roberts a call. \$325.

SNELLING & SNELLING
Personnel
353-6500

JOBHUNTING?

SALARY FROM \$300-\$650
FEES PAID BY EMPLOYER
MANY EXCELLENT OPENINGS FOR

Secretaries, bookkeepers, stenographers, clerical, typists, executive secretaries.
Call Mrs. Stokes 537-6850
INTERNATIONAL PERSONNEL
Telegraph and Schoolcraft

RECEPTIONIST
Be first person VIP's see. Lots of interesting clients. Type a bit. \$300. Jan.

SNELLING & SNELLING
Personnel
353-6500

COPY TYPIST \$435
Advertising agency in beautiful offices wants well-groomed girl with good personality for their radio and T.V. department. Will be typing copy for ads and scripts. Interesting job with a future for career-conscious girl! Benefits include profit sharing and insurance. See DOROTHY DAY PERSONNEL, 18210 Grand River, near Southfield or call VE 8-3138.

CLERK-TYPIST \$360
If you type and like varied duties this is the job for you. Call Jan Roberts today.

SNELLING & SNELLING
Personnel
353-6500

SECRETARIES, to \$550
Typist... \$310 to \$450
ALL-FEES PAID
A & A DIV.
ANDERSON & ASSOCIATES
15420 Farmington Rd., Livonia
261-8100 255-1770

VARIETY SPOT \$400
Light typing and figure work plus personal contact. Fun place to work. Call Laura now.

SNELLING & SNELLING
Personnel
353-6500

4-2 Help Wanted, Female

RECEPTIONIST \$340
Light typing with a year to learn puts you in front desk spot. Good future. See J. Grant

SNELLING & SNELLING
Personnel
353-6500

AIRLINES \$500
Glamorous job for attractive girls who are High School Graduates and can type. Openings for reservationist, stewardess, and ticket agent.

CALL JOANNE 255-1340
A & A PERSONNEL

SECRETARIES
We keep secrets! Need change of pace and more money? We screen firms for you. Call Mrs. Boyd.

SNELLING & SNELLING
Personnel
353-6500

DOCTOR'S ASSISTANT \$300
Physician will train you for this super spot. Light typing, nice personality. See J. Grant

SNELLING & SNELLING
Personnel
353-6500

GOOD TYPIST, figure clerk, experienced, mature, Redford area, Salaries \$400. Motor City Employment.
835-7004

FAIR TYPIST \$340
Need excellent future? Like to help busy young doctor? Figure fair? Call Mrs. Boyd

SNELLING & SNELLING
Personnel
353-6500

SECRETARY light shorthand, type 80, 3 years experience. Evergreen, Schoolcraft. Salary \$450. Motor City Employment.
835-7004

FUN JOB! \$320
Type! Phone! Sales office. For beginners only! Advance with firm. See Mrs. Gray right away.

SNELLING & SNELLING
Personnel
353-6500

GENERAL OFFICE
Part time, 2 or 3 days weekly. Typing, bookkeeping, invoicing and payroll. Call between 10 a.m.-2 p.m.
GR 4-6636 KE 2-4622

GIRL MONDAY \$430
No shorthand. Plush suburban office, terrific opportunity. Will train. Hurry. See J. Grant.

SNELLING & SNELLING
Personnel
353-6500

Prepare Now

FOR FALL AND WINTER MONTHS
We need stenographers, typists, bookkeepers, comptometer operators, clerical workers. Temporary assignments for all types of office work.

Apply at one of our local offices
LIVONIA
JASTER REALTY BLDG.
31250 Plymouth Road
Monday, Thursday, Friday
10 a.m. - 3 p.m.

DEARBORN
Calvin Theatre Bldg.
22148 Michigan Ave.
Room 305
Monday thru Friday
9 a.m. - 4 p.m.

WITT
American Girl

4-2 Help Wanted, Female

DON'T MISS THIS
If you are the type that enjoys figure work, this firm needs you. \$350.
Beth Peters

SNELLING & SNELLING
Personnel
353-6500

BOOKKEEPER, to \$600
All Fees Paid
A & A DIV.
ANDERSON & ASSOCIATES
15420 Farmington Rd., Livonia
261-8100 255-1770

RECEPTIONIST \$400
Unusual position for ambitious girl with average typing. Blue chip firm. Call Mrs. Boyd.

SNELLING & SNELLING
Personnel
353-6500

UP, UP and AWAY TO \$6,000
Immediate interviews are being held in our office for girls interested in a career with the airlines. If you are 19-25, and a HSG, you can become a stewardess, reservationist, or ticket agent.
CALL JAN 255-1340
A & A PERSONNEL

RECEPTIONIST \$360
Attractive office needs mature gal for front desk job. Lite typing, phone. Call Zella Gray

SNELLING & SNELLING
Personnel
353-6500

GIRL FRIDAY DECORATOR \$375
Interior decorator wants sharp girl, age open, with an interest in decorating, who can meet public and do office work. Must be able to type, make out checks, and handle simple records. Will handle studio in owner's absence. See DOROTHY DAY PERSONNEL, 18210 Grand River, near Southfield or call VE 8-3138.

GENERAL CLERK \$360
Need position where you can earn and learn? Type some? Solid firm. Call Mrs. Boyd

SNELLING & SNELLING
Personnel
353-6500

YOUNG LADIES
Immediate openings for general office positions in the northwest areas. Some typing and lite shorthand. Fee paid. Call Joanne.

255-1340 A & A PERSONNEL

SECRETARY \$450
New sales office, top company, excellent position for right gal. Call Zella Gray today!

SNELLING & SNELLING
Personnel
353-6500

CLERK-TYPIST \$400
Get ready to go, go, go with a rapidly expanding firm. First class location. See Mrs. Grant

SNELLING & SNELLING
Personnel
353-6500

SICK OF THAT TRAFFIC?
Northland area firm has the spot for you as typist. \$400. Kay.

SNELLING & SNELLING
Personnel
353-6500

4-2 Help Wanted, Female

CHALLENGING
Spot for alert gal who likes to type. Be help-mate to several salesmen! Beth Peters.

SNELLING & SNELLING
Personnel
353-6500

RECEPTIONIST DOCTOR'S OFFICE
FEE PAID \$475
A sharp and intelligent girl to handle reception desk for doctor's office. Must be good typist with some LIGHT bookkeeping experience. Will arrange appointments. Handle cash and keep daily records. Doctor will train girl, 20 up, with office experience. Doctor pays fee. See DOROTHY DAY PERSONNEL, 18210 Grand River, near Southfield or call VE 8-3138.

BE SUITABLE
PBX Receptionist for exciting glamorous office. Loads of public contact. Mrs. Peters

SNELLING & SNELLING
Personnel
353-6500

RECEPTIONIST TO \$400
Need sharp gal, front desk. H.S.G. Young management.

CALL JAN 255-1340
A & A PERSONNEL

DICTAPHONE typist, \$380. Farmington location for skilled typist. Call Mrs. Evans, Suburban Personnel.
477-9840

STENOGRAPHER
Good shorthand and typing. We'll establish benefits. Fee paid.

WILLIAMS SERVICES, INC.
DOWNTOWN
962-4036
NORTHLAND
444-1516 353-1030

LIKE FIGURES?
Here is where you cash in on it. Learn claims while you earn. Start \$303. See Zella Gray now.

SNELLING & SNELLING
Personnel
353-6500

4-3 Help Wanted, Male and Female

FARMINGTON NURSING HOME
Division of Grosse Pointe Nursing Home
Located at 30405 Folsom Rd. Opening in Oct. Accepting applications now. Excellent salary, fringe benefits, all positions open. R.N., L.P.N., N.A., orderlies, housekeeping, maintenance, dietary. Reply to Box 4370, c/o Observer Newspapers, 29449 W. Six Mile, Livonia, Michigan 48152.

COUPLE TO MANAGE APARTMENTS
Westland area. Full time for woman, man may be employed elsewhere. No young children. Experience preferred but not necessary. Salary plus 2 bathroom apartment. Please furnish complete resume to Box 4222, c/o Observer Newspapers, 33425 Grand River, Farmington, Michigan 48024.

4-3 Help Wanted, Male and Female

PACKAGING
Light packaging work in Plymouth for
200
Men & Women
This is a temporary assignment. 2 shifts available. \$1.60 hr.
8 A.M. - 4:30 P.M.
5:30 P.M. - 1:30 A.M.
Special interviews for Plymouth area
MILES STANDISH LOBBY
MAYFLOWER HOTEL
PLYMOUTH
Mon., Wed., Fri.
9 A.M. - 4 P.M.
ask for
MARY PATTERSON
ALSO APPLY AT:
MANPOWER, INC.
26049 FIVE MILE 532-8120

MR. & MRS. Ambition
Have you ever considered a career in Real Estate? Improve your status in life
Age no barrier
We will train you
SEE US NOW
We have 4 openings available to complete our staff.
Call Mr. Newland at 261-8300

chamberlain
35301 Plymouth Rd.
PART TIME evening supervisor. In regards to industrial cafeteria. National Feeding organization. An equal opportunity employer. Between 10 and 11:30 a.m.
455-0800 ext. 400

INVENTORY TAKERS
For Saturday evening, August 24, \$2.00 per hour, 18 or over. Apply now at:
MANPOWER, INC.
26049 Five Mile 532-8120

TEACHING POSITIONS
CLARENCEVILLE SCHOOL DISTRICT
Elementary
4TH GRADE 1/2 DAY
Instrumental Music (WOODWIND MAJOR)
Sr. High
SPECIAL EDUCATION TYPE A
GIRLS PHYSICAL ED.
Science
Math
Art
Applicants must have a valid teaching certificate. Call
474-8900
8 A.M. - 5 P.M.

EXCELLENT EMPLOYMENT OPPORTUNITY
for BUS DRIVERS and CUSTODIANS. Good starting pay and fringe benefits. Contact Mrs. Ocheltree or Mr. Bergquist.

SOUTHFIELD PUBLIC SCHOOLS
24661 LAHSER RD.
353-8300

REAL ESTATE SALESMEN
There are openings for used home salesmen or saleswomen in our N.W. Detroit and Suburban offices. Also one opening for a new home development in the down river area. Excellent commission set-up, bonus plan, display advertising, television, trade-in program, abundance of floor calls, Realtors, members of UNRA Multi-List. Call Don Henkelman.
KE 1-9200

4-3 Help Wanted, Male and Female

DRIVERS
Male and Female
Must Be Over 21 Years
MAYFLOWER CAB CO.
620 S. Main, Plymouth
Under New Management

COUNTER Sales, full and part time, days only. Apply in person. Burger Chef, 31150 S. Mile Rd., Livonia. Corner Merriman, 425-5466

SALES CAREERS UNLIMITED
For money oriented people with the desire to earn it. We start you with
\$800
monthly guarantee if you meet our requirements.
For personal interview only
565-6337

MIDDLEAGED couple for Motel Clerk, no experience necessary. Will train. For appointment call EL 6-4265

ATTENTION MEN AND WOMEN
TRUEMAN, INC. has immediate temporary job assignments for:
STENO - TYPIST - CLERKS
KEY PUNCH AND COMPTOMETER OPERATORS
BURROUGHS SENSIMATIC OPERATORS
and other
SKILLED OFFICE HELP
TRUEMAN
GR 6-6130
or Apply At
32500 GRAND RIVER

MALE or female needed for delivery. Northville Pizzeria. 349-0556 p.m.

IRONING done in my home. Fast service. 425-9204 and 427-8872

TEACHER who do baby sitting during school year. 14 Mile-Middlebelt area. Your transportation. 626-8940

LOVING child care, licensed home, fenced yard. Day, week, Shawassee. 9 Mile, Middlebelt area. GR 6-6342

IRONING done in my home. 427-7512

4-8 Education Instruction

LEARN
IBM KEY PUNCH
• Day and Evening Classes now forming
• Plenty of Job Opportunity
LIVONIA BUSINESS MACHINES INSTITUTE
32114 PLYMOUTH
261-6330
Call for further information
SPECIALISTS IN THE FIELD

5-1 Household Goods
MAYTAG wringer washer. Kenmore electric dryer, reasonable. 425-8799

ELECTRIC Stove, double oven. \$50. Very good condition. 453-5494

8 PIECE dining room suite, antique white and gold, needlepoint upholstery. 474-6584

DOUBLE dresser, double bed, 21" television, the cart and server combination, misc. items. 357-5827

REMOVAL SALE BIG DISCOUNT ON ALL CARPETS REMNANTS 1/2 PRICE
REMNANT BRANCH
29430 6 MILE RD.
AT MIDDLEBELT

1968 SINGER Dial-a-Matic, in walnut cabinet, no accessories necessary for button holes, blind hem, fancy stitches, applique, monograms etc. guaranteed. \$62.31 cash - or \$3 monthly. Singer in lovely wood cabinet. zig-zagger makes fancy stitches, button holes, hems, monograms etc. only \$31.20 cash or \$3 monthly. Consumer Radio. 534-0468

DOUBLE bed, complete, pecan Mediterranean, used 6 months. Stanley open stock. Evening, Saturday, Sunday. 476-7194

NORGE Refrigerator, good condition. \$30. 464-2851

COLOR T.V. 21". Dark wood console. Good condition. 341-5388

4-5 Situations Wanted, Male

BUILDING trade specialist. 20 years experience, air conditioning, architectural aluminum, kitchens, over 10,000 and expenses. Write Observer Newspapers, Plymouth Box 4388.

GENERAL hauling & clean up. 425-9251

4-6 Situations Wanted, Female
EXPERIENCED bookkeeper will do all phases bookkeeping, payroll, accounts receivable or payable in my home, after 4 p.m. KE 7-2213

LIVONIA AREA mother wishes baby sitting, days. Your transportation. 475-5016

WILL TAKE CARE of child for working mother. Have references. Call 477-9340

EXPERIENCED woman desires babysitting. References. 553-7252

BABYSITTING. 8 Mile-Farmington Road area for pre-schooler. More for companion for 4-14-year-old than wages. 474-3344

9 MILE and Middlebelt. Loving care for infants or pre-schoolers. Indoor and outdoor play equipment. 476-1521

BABYSITTING in my licensed home. Lahser-Teigraff area, off Grand River. KE 8-2704

PET SITTER will take care of your pets while you vacation. Girl age 13. 476-3227

EXPERIENCED mother will care for one child, 2-5 years, my home. Ann Arbor Trail-Wayne Road area. 425-1518

EXPERIENCED mother wishes babysitting for pre-schooler, in own home. 455-1936

CHILD CARE, vicinity of Plymouth and Beech Day, days, Monday thru Friday, own transportation. 534-3036

IRONING done in our home. Fast service. 425-9204 and 427-8872

TEACHER who do baby sitting during school year. 14 Mile-Middlebelt area. Your transportation. 626-8940

LOVING child care, licensed home, fenced yard. Day, week, Shawassee. 9 Mile, Middlebelt area. GR 6-6342

IRONING done in my home. 427-7512

4-8 Education Instruction

LEARN
IBM KEY PUNCH
• Day and Evening Classes now forming
• Plenty of Job Opportunity
LIVONIA BUSINESS MACHINES INSTITUTE
32114 PLYMOUTH
261-6330
Call for further information
SPECIALISTS IN THE FIELD

5-1 Household Goods
MAYTAG wringer washer. Kenmore electric dryer, reasonable. 425-8799

ELECTRIC Stove, double oven. \$50. Very good condition. 453-5494

8 PIECE dining room suite, antique white and gold, needlepoint upholstery. 474-6584

DOUBLE dresser, double bed, 21" television, the cart and server combination, misc. items. 357-5827

5-1 Household Goods

DEEP FREEZE holds 750 pounds of food, 1 1/2 years old. Excellent condition. GA 7-7296 after 4 o'clock.

USED 1967 TOUCH & SEW
Beautiful Singer does all plain and many decorative stitches. Automatic bobbin winding, gear drive, easy buttonholes and much more! No attachments to bother with now or later. 10 year parts guarantee and lessons. Full price \$129.95 or \$7 per month. Call Midwest Appliance, 9-9 daily, 566-9896.

MOVED. From \$c to \$5.00. curtain stretcher. 2 phone tables, blond & mahogany, canning jars, irons, 2 lamps, skates, boy's & girl's clothing, all sizes, baby items. GA 2-4752

9 PIECE Walnut dining room set, good condition. Reasonable. Call GL 3-4131 or GR 6-6174

MAHOGANY buffet and drop leaf table with 2 extensions, pads, like new. \$75. 455-2372

GE STEREO record player. AM-FM radio console combination. Danish modern walnut wood. \$150. 729-2016

FOR SALE. Universal gas range. Good condition, \$25 or make offer. 251-5385

GE DELUXE electric dryer, excellent condition \$40, large chest of drawers. 453-6996

EDISON 6-year-old size crib and stroller. Natural finish. \$35. 453-7866

STEREO Console, AM-FM radio. Natural finish, excellent condition. \$85. GA 1-3980

HOTPOINT Washer and dryer, excellent shape, good working condition. \$50. 851-2164

COPPER Hood fan and back splash. 30-inch maple harvest table and benches. KE 7-6586

KING SIZE bed headboard, bolsters and bedspread match. Best offer. GR 4-2408

1968 SINGER Dial-a-Matic, in walnut cabinet, no accessories necessary for button holes, blind hem, fancy stitches, applique, monograms etc. guaranteed. \$62.31 cash - or \$3 monthly. Singer in lovely wood cabinet. zig-zagger makes fancy stitches, button holes, hems, monograms etc. only \$31.20 cash or \$3 monthly. Consumer Radio. 534-0468

DOUBLE bed, complete, pecan Mediterranean, used 6 months. Stanley open stock. Evening, Saturday, Sunday. 476-7194

NORGE Refrigerator, good condition. \$30. 464-2851

COLOR T.V. 21". Dark wood console. Good condition. 341-5388

REMOVAL SALE BIG DISCOUNT ON ALL CARPETS REMNANTS 1/2 PRICE
REMNANT BRANCH
29430 6 MILE RD.
AT MIDDLEBELT

15420 Farmington Rd. 261-8100
Livonia, Michigan 255-1770

REGULAR AND SUBSTITUTE BUS DRIVERS WANTED
Livonia Public Schools

Part-time substitute work which could lead to full time if you desire. Good wages, perfect opportunity for mothers who want to keep house and be with the children when school is out, or for men interested in part time work.

We need help at varying times of the day: 6:30 a.m. to 9:45 a.m. or 2:15 p.m. to 4:30 p.m. Training will be provided during a gradual break-in period on new vehicles. Should be 23-55 years old. Physical will be provided.

Pick up applications at:
Board of Education Offices
15125 Farmington Road, Livonia, Mich.
Ask for the Business Office

5-1 Household Goods

5-1 Household Goods

KIRBY SWEEPER

Used, runs like new, complete with all cleaning attachments, including buffer and buffer. Fully guaranteed, will suffice for \$21.77 or \$1 per week. Phone 282-6523.

CUSTOM BUILT extra large black marble formula table and 4 chairs, \$75. Pecan trundle bed complete, \$25. Oster dog clippers, used once, \$25. New stereo machine, never used, make offer. Deluxe Storkline busy, cost \$55, new make offer. Playpen, \$10. Double gray Wonder horse, \$15. Enclosed rocking duck, \$8. Bissell Grand Rapids carpet sweeper, \$25. All above excellent condition. Solid pine picnic table, \$15. White Weber lawn chair, \$7. Record cabinet, \$5. Youth chair, \$3. Table and chairs, \$5. Rocking chair, \$4. Stroller, \$8. Custom built storage shed or playhouse, \$10. Trailer, axle, tongue and spring with 1934 Ford wire wheels, \$10. Some lamps.

CONTEMPORARY drop leaf dining room table, 2 extension leaves, pads, 4 chairs, matching buffet, \$150.

9 PIECE Dining room furniture, \$125.

KENMORE electric range, 30 inch, \$30. GL 3-7777.

MODERN electric, 96 inches long, \$60. front room and dining room drapes, \$25. GR 6-1719.

NORGE automatic refrigerator, freezer combination, 11-cu.-ft., 80 lb. freezer chest. KE 3-8814.

5-1 Household Goods

UPHOLSTERING SALE

Chairs, \$29. Sofa, \$69. Free pickup restoring, Scotchgarding. 366-5746

DO IT YOURSELF

UPHOLSTERY CENTER

Living room sets, all styles. Danish cushions, kitchen, dining room chairs.

YOUR LABOR OR OURS

FABRICS

From \$1.39 yard and up

SUPPORTED VINYL

From \$1.29 yard and up

LIVONIA INTERIORS

34399 Plymouth Rd. between Farmington and Wayne Rds.

Hours 10:30 - 8 P.M.

GA 5-4760

5-1 Household Goods

REPOSESSOR

Electronics. Our factory branch has a few repossessed machines offered at reduced prices. Call 563-2762.

16 CU. FT. FRIGIDARE

refrigerator with Kenmore deluxe gas range. Excellent condition. 425-9234

WALNUT Dinette and speed queen suites, \$175 each. Speed queen ironer, \$25. 427-9732

ELECTRIC RANGE, 30" Kelvinator, \$100. Maytag washer \$135. Like new Norge gas dryer, \$80. 427-9929

HIDE-A-BED couch, Zenith control, remote control. 537-7154

KELVINATOR frost-free refrigerator, \$100. 427-9929

G.E. TWIN pair agitator washer and gas dryer. Color turquoise. Both like new. 476-8351

LIVING ROOM chairs, drapes, lamps. Reasonable. Roll-a-way bed. 425-9633

WHIRLPOOL electric dryer, good condition, \$55. 425-9706

SINGER in lovely wood console. Equipped to zig-zag, monogram, overcast, buttonhole, etc. Claim at \$33.10 cash or \$4.20 monthly. Consumer Rating Co. 334-0468

1968 SINGER Dial a Matic. In excellent condition. No accessories necessary for button holes blind hem fancy stitches, applique, monogram, etc. guaranteed. \$82.31 cash or \$5 monthly. 427-9929

Singer in lovely wood cabinet, zig-zag, button holes, fancy stitches, button holes, hems, monograms, etc. Only \$120 cash or \$5 monthly. Consumer Rating Co. 334-0468

DRUM TABLE, \$6 Bed, \$27. 57-17

Oil heater, \$8.50. Many other items. 35010 Six Mile, Livonia. 427-9929

G.E. 30" ELECTRIC stove, copper-tone, 3 years old, excellent condition. \$115. 626-8015

NORGE automatic washer new mixing valve. \$30. Westinghouse ironer, \$20. Crosley refrigerator, \$20. 427-9929

5-1A Econ-O-Line 211

BOY'S 26" 2-speed Schwinn. Good condition, \$15. GR 4-2111

5-2 Wearing Apparel

MEN'S clothing size 44 short. Shirts size 16, short size 9. Bermuda shorts, pajamas and underwear, 22443 Sprucewood, Farmington. 474-5413

WHITE Cashmere coat. Leopard collar. Two ladies winter coats. No misses sizes 12-16. 474-5856

GIRLS size 12-16, four collar excellent condition, \$13. Boy's top-coat, size 14. \$8. Girl's size 4 coat, \$3. Phone 464-1056

5-3 Sporting Goods

A HAIG Ultra "Pro Golf Special"

10 iron, 4 woods. Nice shape. \$50. KE 8-8960

A LEFT hand Haig Ultra "Pro Golf Special." 14 clubs and bag. \$60. KE 6-9110

5-4 Building Materials

USED Lumber 1x6's and 1x8's, 6' to 14' long. Gases and posts. Best offer. 537-7154

NAILS, over 2,000 pounds. Common, 7 box galvanized d and 7 box smooth. 10c per pound. LO 6-6975

6" THERMOPLANE door wall. No vent gas wall furnace. Very reasonable. GR 4-5751

5-5 Business & Office Equipment

LEHIGH Cigarette Machine, 545-4723

New, excellent condition, 545-4723

"Typewriters"

RECONDITIONED \$18.50 up

New ROYAL Portable \$39.95 up

PREFERRED TYPEWRITER

25506 Five Mile 535-0627

5-6 Boats & Motors

17' LARSON inboard, outboard, complete with Pacer tilt trailer. Like new condition. \$2,800. Call after 5:30 p.m. 427-6270

16' FIBERGLASS boat, 120 H.P. Mercruiser and trailer, 2 months old. Paid \$3,700. Will sell \$3,000. 422-2479

1964 FIBERGLASS Duo-Bat, 40 H.P. Evinrude, Gator trailer, two ski bar, convertible top, many accessories, excellent condition. 728-2235

BOAT REPAIRING

Clyde Boat Wks.

8600 LIVERNOIS

DETROIT 4

TY 6-5680

5-6 Boats & Motors

25' CHRIS-CRAFT cabin, trailer.

GA 5-0282

TROJAN 15 foot run-a-bout, 55 H.P. Mercury, fully equipped with trailer and convertible top, many extras, must sell leaving for Europe. \$595, \$1201 Inkster. 425-8000

14 FOOT RUNABOUT, 10 H.P. Mercury motor with trailer. Reasonable. 425-8000

1967 SLICKCRAFT. All accessories. Would have to see by July 30. H.P. inboard stern drive, 17'. Call after 5 p.m. KE 7-9359

14' FIBRE Glass boat, \$65. 421-3591

GREAT LAKE special, 21 ft. Chris-Craft, very good condition, motor just overhauled. Four wheel trailer, just painted. \$500. 12263 Hartell, Livonia. 425-4545

15 FT. 9-IN. FIBERGLASS Thundershirt boat, 30 H.P. Johnson, trailer, 4 wheel, \$250. Beautiful condition. \$700. GA 7-8077

ALCOFT SAILFISH sailboat, \$250. And white with cartop carrier. Red and white. 425-8860

164 FT. T & T wood lapstrake, convertible top, side curtains, mooring cover, 40 H.P. Evinrude electric start. Pamco tilt trailer. Like new. GA 1-5254

14-FT. LAPSTRAKE, lyman, Fiberglass, light, steering wheel, 17'. Tilt trailer with winch. \$175. KE 4-8860

14-FT. CUSTOM-CRAFT fiberglass boat, 40 H.P. Westwood motor, trailer, 4 bucket seats. 532-5674

21 FT. STEEL Cruiser, Libby hull, 185 H.P., 2 to 1 reduction. Extras, \$2975. GR 4-3012

5-6A Airplanes

1/4 SHARE of 1956 Cessna 172, 290 hours on 0 time engine. 427-2477

5-7 Bicycles

SCHWINN Sting Ray deluxe boy's bike. Excellent condition. 422-3414

AS NEW. Schwinn 12 speed, Gm racing tires, Centerpull brakes. Must sell. \$70. 476-1604

SCHWINN, 5 speed, boy's bicycle. Excellent condition, \$50. KE 5-9053

5-8 Hobbies & Supplies

COMPONENT Hi-Fi Eico FM tuner, Bell amplifier, WFM tuner, W-90 speaker system. Walnut equipment cabinet, \$100. 35m. m. camera outfit, \$19.95. 421-4746

5-9 Musical Instruments

LOWREY organ with Leslie speaker. Like new. Floor demonstrator. \$1,395. Russell Music Studio. 338-9383

5-9 Musical Instruments

MAHOGANY Spinet piano, bench.

Good condition. \$425. KE 7-9569

COXON Clarinet, good condition, \$30. 433-2970

FOUR PIECE drum set with high hat. Like new. \$75. KE 4-7830

PLAYER Piano, Wood, refinished, needs work. 15-20 rolls included. Very reasonable. KE 7-8077

PIANO, Grinnell console with bench. Excellent condition, \$450. 453-2464

88 AMPX amp and guitar, \$400. Phone 453-6036

BEAUTIFUL walnut piano, 1 1/2 years old. Can be used in apartment or trailer. Must sell. Best offer. 349-2744

KOHLER and Campbell walnut spinet piano. \$400. 626-7325

FRENCH Provincial spinet piano, Light fruitwood finish. Phone 421-0053

CLARINET. Good condition, \$80. 425-9290

ALTO SAXOPHONE with case and music stand. Three years old. \$75. After 4 o'clock, phone GA 7-7296

SLINGERLAND, Zeildrum Drum Set. 5 Drums. Four cymbals, excellent condition. Call 453-6463

RENT a Baldwin console or organ from \$2 per week. Start your children now with the best and they will play before you realize it. If you buy the piano, your rent and cottage will apply towards today's bargain price. For more information without obligation, call our Farmington associate, Mrs. Franks, Smiley Bros., 5510 Woodward Ave. Detroit. 476-7835

5-10 Antiques

BARN of furniture, glassware, china and more. Open 1 p.m. daily, all day Sat. and Sun. The Junk Shop, 7 Mi. north of Milford, 1 mi. west at 1385 Clyde. 425-6389

FLEA MARKET

ANTIQUES and WILL-BES

AUGUST 21-23

1-10 p.m. Roma Hall, Livonia, 27777 Schoolcraft (near Middlebelt Rd.) 50 Dealers. Information in booth space. GR 4-1159

ANTIQUE glassware, including cut hand painted water glass, pressed, carnival and colored. Furniture, primitive, bottles and miscellaneous. Monday thru Wednesday. 17717 Port Lane, Livonia. 425-6389

5-10 Antiques

JAY'S ANTIQUE SHOPPE

13 Mile and Orchard Lake Rd.

Westbrook Shopping Plaza (in rear)

Just arrived a hundred year old cradle, coffee grinders, dry sink, fine selection of wash bowl sets, apple peelers, cherry pitters. Many antiques can be converted into lovely useful pieces. 477-9348

ANTIQUE 1885 Pump organ, \$90. GA 1-6936

5-11 Misc. For Sale

1968 SINGER. Beautiful solid green trim. Even has polisher and buffer. Used very little. Sold new for over \$300. Guaranteed. For quick sale \$25 or 3 payments of \$4.50 each. Electro Hygiene. 349-0656

KENMORE electric dryer. Less than 1-year-old, like new, \$75. 721-0399

BACKYARD SALE. Miscellaneous electric range, TV, clothing, Monday, August 19, 10 a.m. to 2 p.m., 678 Herald, Plymouth. 421-6252

FREE, a 200 gallon oil drum with 60 gallons oil in it. You must remove from premises. 421-6252

MAGNA table saw and stand. Craftsman motor, 8" tilting blade. Like new. \$150 value, \$75. 453-6849

5-11 Misc. For Sale

FORMICA dinette set, brown.

kitchen sink, faucets, ladies dressers, coats, size 16, odds, ends. 427-9119

19-FOOT CHRIS-CRAFT. Inboard motor, trailer, cover, \$600. 21-foot Amara freezer, upright, \$75.00. Sears circular saw, 7 1/2", regular blade and fine cabinet blade, used very little, \$20. 626-8632

GARAGE and household sale. August 24 and 25. Some antiques, all items to be sold. 34380 Capital, off State, between Schoolcraft and Plymouth Road, Livonia. Evening. 425-9228

LAWN MOWERS. Jacobson, 22-inch rotary with catcher, Scott 18-inch hand. Best offer. 476-2276

MISCELLANEOUS items for sale. Drafting set, 2 end tables, 2 lamps, sofa and chair, 8mm movie outfit, mids. dresses size 14, call after 6 p.m. 261-2078

RIDING Lawn mower, 28" cut. FREE. Kindling and used lumber. 35010 Six Mile Road, Livonia. 477-8954

PORTABLE Television, \$35, good condition. 477-8954

DANISH Walnut lighted bar cabinet with 2 drawer chest. Glassware included. Excellent condition. 476-4968

SWING SET and 10x24 swimming pool. Call after 5 p.m. 535-1562

WIG, Blonde, human hair. Like new. 453-3541

Landscaping Supply

* WHITE MARBLE

* \$2.50-100 lb. bag

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* MARBLE

* COLORED STONE

* PEAT

* WEATHERED Stumps

* PATIO BLOCKS

* SPECIMEN Boulders

* OLD MILK CANS, \$4.95

8 MILE LUMBER

8 MILE AT MIDDLEBELT

GR 4-4922

8-7 DAILY

9-4 SUNDAY

BLUE GRASS Farms
LAWN SUPPLIES
16185 Newburg Rd.
• SOD • EVERGREENS
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• SHADE TREES • SAND
• PEAT • MASON SAND
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General concrete work. Driveways, patios, swimming pools.
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Floors, driveways, patios, walks
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Electronics. Our factory branch has a few repossessed machines offered at reduced prices. Call 563-2762.

16 CU. FT. FRIGIDARE
refrigerator with Kenmore deluxe gas range. Excellent condition. 425-9234

WALNUT Dinette and speed queen
suites, \$175 each. Speed queen ironer, \$25. 427-9732

ELECTRIC RANGE, 30" Kelvinator,
\$100. Maytag washer \$135. Like new Norge gas dryer, \$80. 427-9929

HIDE-A-BED couch, Zenith control,
remote control. 537-7154

KELVINATOR frost-free refrigerator,
\$100. 427-9929

G.E. TWIN pair agitator washer and
gas dryer. Color turquoise. Both like new. 476-8351

LIVING ROOM chairs, drapes,
lamps. Reasonable. Roll-a-way bed. 425-9633

WHIRLPOOL electric dryer, good
condition, \$55. 425-9706

SINGER in lovely wood console.
Equipped to zig-zag, monogram, overcast, buttonhole, etc. Claim at \$33.10 cash or \$4.20 monthly. Consumer Rating Co. 334-0468

1968 SINGER Dial a Matic. In
excellent condition. No accessories necessary for button holes blind hem fancy stitches, applique, monogram, etc. guaranteed. \$82.31 cash or \$5 monthly. 427-9929

Singer in lovely wood cabinet,
zig-zag, button holes, fancy stitches, button holes, hems, monograms, etc. Only \$120 cash or \$5 monthly. Consumer Rating Co. 334-0468

DRUM TABLE, \$6 Bed, \$27.
57-17

Oil heater, \$8.50. Many other items.
35010 Six Mile, Livonia. 427-9929

G.E. 30" ELECTRIC stove, copper-
tone, 3 years old, excellent condition. \$115. 626-8015

NORGE automatic washer new
mixing valve. \$30. Westinghouse ironer, \$20. Crosley refrigerator, \$20. 427-9929

5-1A Econ-O-Line 211
BOY'S 26" 2-speed Schwinn. Good condition, \$15. GR 4-2111

5-2 Wearing Apparel

Looking for a new, used car? Stop at one of these dependable dealers today!

5-11 Misc. For Sale

MASSAGE-A-BEAT \$45. Couch \$10. C.B. radio, 370, fan \$10. square dance dress, size 12, men's matching shirts, sizes 16-18, 17. Phone 433-9480

BEAUTIFUL fully modern kitchen, including refrigerator, stove, sink, double sink and garbage disposal with built-in oven and counter top. Also includes dining table, chairs, TV, lamp and pool table. For appointment call 342-4377

POOL, 18'x8', all aluminum. Includes new liner, filter, skimmer, ladder. \$150. GA 5-1226

1968 DIAL-A-MATIC

Brand new sewing machine, left in lay-away. Originally sold for \$119.50. Total balance due only \$31.40. Will accept \$1 per week. Call anytime. Dealer 334-3886.

WOOD FOR SALE. Hardwood, also applewood. Call 474-4187

CUSTOM made man's lounge chair, dark red naugahyde, 60" Italian maple top, coffee table, 60" x 30", 2 tennis rackets, 36, GL 3-1177

36 INCH gas stove, Norge gas refrigerator, 21-inch Muntz TV, Scott's silent motor, 7 1/2 h.p. board, KE 8-7373

29c BLUE SPRUCE

Complete line landscape material. Thousands of flowering shrubs, trees.

Choice Arborvitae, \$3.25

39940 Grand River, Novi

Bet. Haggerty and Seeley Rd.

REFRIGERATOR, front free. Gas stove, sink, boots size 9. Encyclopedias and books. Electric heaters. Crystal, brass, silver, pillows, trains, music more. Ladies better winter coats, sizes 8-9 plus other clothes. \$1.75-2.98

STORMS and screens repaired. Loeffler Pro Hardware, 2210 5th Mile at Middlebelt. CA 2-2210

FREE Toys, have a Playhouse Toy Party, receive 10% of sales. \$25 booking gift. \$25: high fashion gift. Call now for a party and receive a bonus gift. 433-3541

POOL CHEMICALS CRAB GRASS KILLERS COMPLETE SELECTION OF MULCHING MATERIALS SALE ON!

SCOTT'S TURF BUILDER PLUS 10,000 sq. ft. \$11.95 5,000 sq. ft. \$6.45

SAXTON'S Garden Center 587 W. Ann Arbor Tr., Plymouth. 453-6250

CHILDREN's clothing, 33. Cocco baby, 20" Girls bike, \$18. Buggy, \$8. 20" Girls bike, \$18. 478-1255

BRAND NEW used precision micrometers, 1, 2, 3 and 4". 1 to 6" depth micrometers, wide 438-4351

TWO Pieces sturdy matched luggage, 21 inch and 26 inch. \$10.00. 219 Harvey. GL 3-6252

TREAT Rug right, they'll be a delight. If cleaned with Blue Lustr. Rent electric shampooer \$1. 8 & W Pro Hardware, 875 Ann Arbor Rd., Plymouth.

GARAGE SALE, August 24, 25, 10 a.m. to 4 p.m. 16721 Ryland, KE 5-3948

YARD SALE Could be the social event of the year for the Junk Jet Set. We'll see Antiques, Junk and Maybes. New prices on the old jazz and lots of new and spectacular beautiful. Would you believe a conductor's stand, seal skin doll, 1 old shoe, antique tin fly trap, snow shoes, brass hair tie, wicker furniture, milk shies (they used to be pie safes but they didn't sell), antique clocks. This collection includes a grandfather's clock. Mission oak type, delightful iron stove, desks, trunks, work bench. Nutting, piano, trunks, enamel ware, many, many frames, antique dishes, music stand, auto-harp, variety of rare and kooky antiques, and the usual barrage of rummage sale miscellany. If we haven't got it, we'll get it. Sat., Sun., and Monday 11 a.m. to 9 p.m. 1197 Penman, Plymouth. Guess Who? GL 3-3404.

SWIMMING pool chemicals. Loeffler Pro Hardware, 2210 5th Mile at Middlebelt. GA 2-2210

WORK UNIFORMS Twelve 2 piece uniforms \$13.95 per dozen. After 4 p.m. 255-1274

STORE closing sale. Special inventory discount sale. Northwood Stamp and Coin Shop, 222 Sherman Drive, Royal Oak. LI 7-7915

DOTTY'S RESALE and antiques, 22512 Orchard Lake Road, corner Arbor, Farmington. Men's, women's, children's clothing all sizes. Misc. household and antiques.

TOP SOIL PEAT - SAND - GRAVEL LIMESTONE WE SPECIALIZE IN SMALL LOADS 422-1619

TWIN beds complete with maple headboards. Good condition, \$70. KE 5-5206

WELL KEPT carpets show the results of regular Blue Lustr. cleaning. Rent electric shampooer \$1. Beyer Rexall Drugs, 480 N. Main, 1100 W. Ann Arbor Rd., Plymouth.

LIONEL train set, deluxe. Many extra pieces. Excellent condition. Asking \$40. 422-2107

MOVING out of state must sell immediately. 1964 Crew Cab Dodge Pickup with new Mackinac camper, garden tractor and new attachments, upright freezer, roto-tiller deluxe Frigidaire double oven stove, refrigerator, washer, office desk, typewriter, antique marble sink, electric dryer, ironer, zippered car top carrier, dresser, work bench, miscellaneous tools and power tools, steel storage shelves, streamer trunk, car top carrier, desk, Chevy slip covers, corner cabinet, priced to sell. 626-6704

SOLID Walnut-grain top, chrome legs, painted metal desk, \$50. Easy automatic washer, good condition, \$20. 422-2107

RUMMAGE SALE, Alpha Delta Kappa sponsored, Aug. 23, Plymouth Credit Union, Harvey and Maple Sts. 9:30 a.m. to 4 p.m.

HPE diatomaceous earth swimming pool filter for up to 21 ft. pool. Less than one season old; first \$55. 261-8933

THOMAS Edison Humidifier, hardy used, \$30.00. Colorado Blue Spruce 18 inch - 30 inch. \$5.00. 775 Irvine, Plymouth. 433-3529

5-11 Misc. for Sale

3 DEALER'S SHOWCASES Excellent condition, \$40 each. 455-1638

18" CRAFTSMAN Self-propelled reel type mower. Fine condition. Reasonable. GA 2-8946

20 FIR plank, 3"x14"x20-ft. Well seasoned and dry. Call between 5 and 9 p.m. 421-1474

DOUBLE sink and formula, \$200. Good condition. 261-3589

A BARGAIN BEAUTIFUL 1968 SINGER CABINET MODEL

Fancy stitch, makes all fancy designs, makes buttonholes, sews on buttons, darts, appliques, automatic bobbin winder, embroiders, sews in zippers, etc. No attachments needed, fully guaranteed. Will sell for \$33.77 cash, or payments of \$4.50 per month. Phone 282-6523.

1967 OLYMPIC complete stereo. AM-FM stereophonic radio. Walnut cabinet, 3 ft. long. Like new, cost \$600. Will sell for \$350. 721-0399

CINDERS GRAVEL & STONE IMMEDIATE DELIVERY GA 1-8800

FOR SALE child's chifferobe drop leaf table, sectional sofa, upholstered chairs, power mower, small electric motor, refrigerator, dog house, desks. KE 5-3596

AIR CONDITIONER, floor model, one year old, 12,500 B.T.U. Cold wave, uses 113 v. water cooled, adjustable temperature and speed. GR 4-9888

R.C.A. WHIRLPOOL washer, Root 4 in 1 home extractor, with motor. 433-3109

SEWING MACHINE Brand new Zig-zag, dial control for fancy designs, buttonholes, etc. Unclaimed lay-away only \$30 or take on payments of \$1.00 per week. Dealer 474-1648.

12-12 Wanted to Buy

SCRAP WANTED Top prices for Aluminum Copper - Brass - Lead Nickel Bearing Alloys Always Buying

PLYMOUTH IRON & METAL 40251 Schoolcraft Just East of Haggerty GL 3-1080 GA 5-1110

WANTED: Ironite Ironer in very good condition. Phone 433-9480

BROKEN concrete wanted, 261-1899

Late Model Wrecks Junk Cars Used Car & Truck Parts

PLYMOUTH IRON & METAL 40251 Schoolcraft East of Haggerty GA 5-1110 GL 3-1080

FURNITURE and miscellaneous whole household or odd pieces. 626-2175

Top Dollar Paid for household furniture and appliances. Apartment full or more. Call 971-2121 Collect.

OZZIE'S FURNITURE 3360 Carpenter Rd., Ypsilanti

5-13 Trade or Sell 4'x8' SLATE Pool table. Sell or trade for Porta-Shop or Shop-Smith. Days KE 1-2647. Evenings KE 8-8208

5-14 Services Offered TREES trimmed and removed, reasonable, days or evenings. 478-3935

SUBURBAN TREE CARE Trees trimmed, topped and removed. Specializing in Dutch Elm disease. Free estimates. Malcolm D. Ramsay, 28273 Nine Mile, Farmington. 476-2760

TEACHERS: Mother wishes to care for your child. Plymouth-Middlebelt area. Mon. after 5 P.M. 427-3024

6-1 Farm Produce RED Haven Peaches in season now. 51225 Ann Arbor Road, (M-14), corner Napier Road, Plymouth.

HOME GROWN SWEET CORN and TOMATOES

Country Fresh EGGS • COKE, 24 bottle case, \$1.59

Delicious farm fresh BUTTERMILK

BREAD, MILK, LUNCH MEAT

Green Beans, 5 lbs. \$1

Delicious Peaches

Hot Buttered CORN ON THE COB

ALL KINDS FRUITS & VEGETABLES

Cockrum Farm Produce 35841 Plymouth Rd., Livonia Just across from Ford Transmission Plant

PEACHES Red Havens Now in Season Picked Fresh Daily at Our

PEACH HILL ORCHARD 51225 Ann Arbor Rd. (M-14) Corner of Napier Rd. PLYMOUTH Open Daily from 9:00 a.m. to 7:00 p.m.

6-1 Farm Produce

AT OUR STAND HOME GROWN

SWEET CORN TOMATOES

Melons and Peaches

SCHRODER'S 37191 6 Mile Rd.

2 Miles W. of Farmington Rd.

FOR SALE, 3 and 4 year old horse manure. Will deliver. 349-0582

PEACHES AND APPLES, Red Haven peaches, canning, freezing and table use, also apples, 3 1/2 miles west of Farmington on 7 Mile, Foreman Orchards.

CLYDE SMITH & SONS CERTIFIED FARM MARKET MICHIGAN'S FRESH FRUITS & VEGETABLES

Buy direct our own home grown honey rock melons, 2nd grade and small tomatoes by bushel. Fresh sweet corn picked daily ready for freezing. Potatoes, watermelons and a complete line of fresh fruits and vegetables. Michigan Country farm fresh eggs. Tomatoes and melons, wholesale all grades.

8010 Newburgh Rd., Westland, 1 1/2 miles N. of Ford Rd. or 1 1/2 miles S. of Plymouth Rd. 421-6385

6-2 Farm Equipment, Supplies FORD Tractor with front bucket loader, Model 9-1N. 476-3366

6-4 Horses & Ponies 12-YEAR-OLD gelding chestnut, good rider and disposition, \$200. 453-5243

TWO Shetland pony mares, broke to ride. One burro, stude, \$25 each. 11401 McClellan, Plymouth.

6-5 Household Pets BOSTON Terrier pups, 8 weeks, AKC registered, champion line, shots, wormed, \$100 to \$125. Call after 6 p.m. 453-5678

GERMAN Shepherd pups, AKC, male, 2 black, black and tan. Excellent bloodlines, shots, and wormed. Call between 6-8 p.m. 453-5699

SCHNAUZERS, miniature and grey, AKC. Call after 5 p.m. weekdays. Sun. all day. 534-0417

YORKSHIRE Terrier. Adorable as pups. Regal when adult. No odor. No shedding. Family investment in lifetime love. AKC. 478-3214

SHELTIE (Toy Collie). AKC registered, male, black and tan, 6 weeks. Best offer. 532-3096

FREE to good home, black male kitten, part Siamese. Litter-trained. 453-1131

KITTENS or cat. Caramel, black, white or tri-color. KE 2-8851

BASSET Hound. Beautiful tri-color female puppy, Champion stock. 422-2479

TRI-COLLIE, 2 yrs. old, AKC, female. Best offer. 422-9125

BASSET, male, with papers, 1 year old. GL 3-1664

KITTENS. Free. Litter trained. Good home. Short-haired. 425-4072

ALASKAN Malamute, male. Beautiful markings. 16 months old. \$75. 425-2991

RABBITS, \$1.25. 476-9553

FREE kittens. Yellow, long haired buttermilk. GA 5-3279

FINE darling kittens. \$1.00 each. Call Vickie, Jill or Pam. 425-6309

GERMAN Shepherd puppies, 5 weeks old, AKC registered, 3 males, 2 females. \$150 each. 422-2573

TINY miniature Dachshund female, 10 months old. AKC. Adorable. Must sell. \$75. 453-1638

PUPPIES Mother is purebred Airedale, father is purebred English Sheep dog, 6 weeks old, shots, wormed.

Bee Bee Dwarf Parrots \$29.95

Tame Young Panama Parrots

New Shipment of Finches

Last Chance For Hand Fed Baby Mynahs at \$39.95

Siamese Kittens Professional Grooming Michigan Bankard and Security Charge Welcome Here Complete Pet Supplies

Pets 'n Particulars 22830 Mooney Ave. FARMINGTON Across from Farmington Plaza 474-6806

LABRADOR Retriever, 5 months old, Must sell. Wonderful pet. From champion field and show stock. Housebroken, all shots. 476-3112

BEAGLE puppies, 3 months old. Good hunters. \$20. Call after 4 p.m. 538-2726

SIBERIAN Husky, silver grey, 7 months old, male. 538-1035

MIXED German Shepherd-Airedale, 7 month old male, good watchdog, excellent with children. Free. 538-3865

IRISH SETTER, male, one-year-old. Wonderful family pet. Papers. Affectionate families only should inquire. 425-8086

SMALL DOG free to a good home. Good watchdog. 477-7282

POODLES, 8 weeks, white, AKC registered, champion background. Reasonable. 722-5078

SCOTTY pups. Papers will be made available. 7 weeks old. 455-2871

6-5 Household Pets

GERMAN Shepherds puppies for sale. Call between 12:00 and 3:00. 453-4780

GERMAN Shepherd puppies, AKC. From excellent lines, had shots, 12 weeks old, reasonably priced. 453-8711

FREE to good home, 6 months, part St. Bernard, Weekdays after 6 p.m. or weekends. 425-7776

PEKINGESE puppies, thoroughbreds, 8 weeks old. \$20-\$35. KE 1-1423

CAIRN Terrier puppies, 5 m a 11, shaggy dogs, AKC registered, shots and wormed. Good with children. 474-6806 or 476-0241

WE ARE five devilish kittens looking for a good home. We are 6 weeks old and box-trained. 533-2071

LABRADOR Retriever, male, 8 mo. housebroken. Good with children. All shots, \$30. CA 1-0934

AKC GERMAN shepherd puppies, black and tan. Champion blood lines. Wormed. 453-3457

AKC GERMAN Shepherd, male puppy, shots and wormed. 453-9057

GERMAN Shepherd puppies, seven weeks, AKC line breed, Trill Von Richterbach, shots, parents 5-1-1958 565-8748

AKC REGISTERED German Shepherd puppies. Sables, blacks, silvers. Shots and wormed. Must see to appreciate these husky Shepherds. 338-1586

DOBERMAN puppies, AKC registered, black and rust, champion sire. 6098 Albee Road, Saline. 429-5361

6-6 Pet Services STUD, 8-inch Silver Toy Poodle. AKC, good background. 532-6469

7-0 Insurance, Motor AUTO insurance, low rates with a national company. 837-3990, Dunn Agency. 837-5473

7-1 Motorcycles & Scooters 1964 TRIUMPH Bonneville, 650 CC. Excellent condition. New tune-up. Bell helmet and insurance included. After 6:00 p.m. 728-7424.

HONDA 1968 350 Scrambler, 1,000 actual miles. \$895 or best offer. 453-4113

1968 HONDA Super Sport, \$750 or best offer. KE 3-4526

1966 HARLEY Davidson 250cc. Excellent condition. \$450. KE 1-6778

HARLEY Davidson, 45 cc. in. spring front-end, hand shift, original model, \$350. 533-3860

SUZUKI, 90cc, 1965. Recently overhauled. \$150. 474-3649 or 532-8777

HARLEY 74, 1953, with 1961 engine. Excellent condition. Must sell. \$800 or best offer. 591-6482

B.S.A. 1947, Hornet 6.50cc. Low mileage. Perfect condition. 261-7491

1965 HONDA Super Hawk, \$325. Call 534-4903

HONDA 1966 160, 1,800 miles. Best offer. 533-4808

TRIUMPH 1964 TR-6. Semi-customized, jacket and 2 helmets. 425-8873

1968 HARLEY Davidson XLH Sportster. Excellent condition. 422-2479

1966 MOTORCYCLE BSA Hornet, \$550. Extra racing handlebars. Chrome stock. Phone 421-1141 after 6 p.m.

1967 HAWK 305, custom-bars, tank, exhaust, paint, 2,000 miles, \$900. 24986 Midland, Redford. KE 1-2748

FOX DOODLE bug mini bike, 3 h.p. engine, good condition. Call 474-7603

421-6355

SAVE EVERY DAY

TENNYSON

CHEVROLET

32570 PLYMOUTH RD. "LIVONIA" 425-6500

10% USED CAR WARRANTY

What More Could You Ask For? We're Open to Suggestions!

'64 OLDSMOBILE, F-85 station wagon, 8-cylinder, automatic, power, whitewalls, tinted glass, immaculate throughout. \$1095

'65 CHEVROLET BEL-AIR, 8 cylinder, automatic, A-1 owner, 2 door, with only 21,000 actual miles. \$1095

'65 PLYMOUTH, Fury III hardtop, a real clean lady's car, radio, heater, power plus air conditioning, sparkling snow white with maroon interior. \$1395

'67 OLDS, '98" Holiday coupe, full power, factory air, vinyl top, new car warranty, over \$5,500 new, our price. \$3495

"Transportation" SHOPPING - SCHOOL - WORK

'64 FORD CUSTOM 4 door sedan, radio, heater, 8 cylinder, standard shift. \$599

'63 DODGE DART 6 passenger wagon, radio, heater, automatic transmission, roof rack, slant 6, clean. \$499

'59 OLDS, Holiday coupe, V-8, automatic, power steering and brakes, HURRY. \$199

'57 FORD, 1/2 ton pick-up, V-8, a little rusty, runs good. \$199

PIONEER OLDS

OF FARMINGTON

33224 GRAND RIVER 474-7700

7-1 Motorcycles & Scooters

HONDA 160, 1966, \$275 or make offer. Includes helmet. GA 1-0348

1965 HONDA 250 Scrambler, good condition, \$335. Phone 455-0204

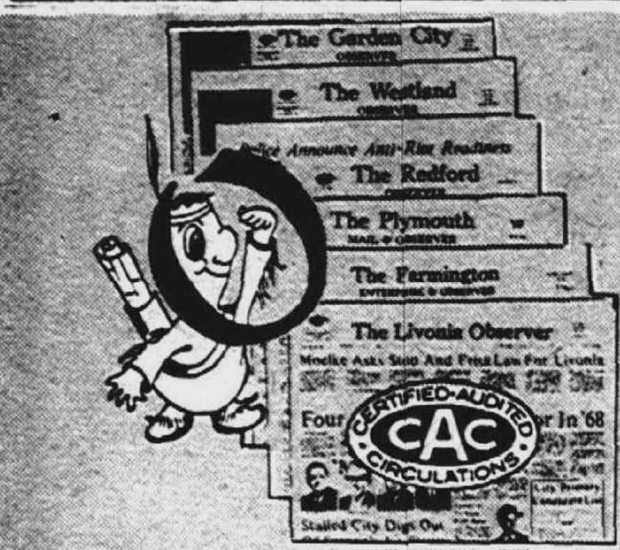
HONDA 450cc. Adult owned, \$600. Low mileage. Extras. 474-6417

7-2 Mobile Homes

COUNTRY ESTATES Live Like A Millionaire! Complete display of new unique distinctive decorator designs. Quality homes in Mediterranean, Early American, Contemporary, Traditional, Modern and other custom decors. Vagabond, Royal Embassy and many other leading lines. Sizes available in 24 x 54, 17x54, 12x61, 12x50, and other sizes customized to your needs. Prices from \$4,295 and up. Sites guaranteed with sale. Swimming pool and recreation hall. Call 58220 W. Eight Mile 6 Miles W. of Northville 437-9401 or 437-2064

1961 GREAT LAKES, 10x5x7, 2 bedrooms, large rooms, awnings, can remain on lot, Plymouth, 433-1396

WONDERLAND MOBILE HOME SALES Featuring the 5-Star DELTA Mobile Homes. Also VAGABOND BUDDY and FLEETWOOD. Wide range of sizes, styles, and interiors. Easy terms. 30905 PLYMOUTH RD. LIVONIA, MICH. 427-0306



NEW... TOLL-FREE DIRECT WANT AD LINE

GA 2-0900

NOW YOU CAN PLACE YOUR WANT ADS QUICKLY AND EASILY WITH OUR NEWLY ADDED TELEPHONE FACILITIES. WE'VE DOUBLED OUR PHONE LINES, ADDED PERSONNEL AND MOVED OUR OFFICES TO A NEW LOCATION TWICE OUR PRESENT SIZE... TO SERVE YOU MORE EFFICIENTLY.



OBSERVER NEWSPAPERS, INC.

Livonia Observer • Plymouth Mail & Observer
Farmington Enterprise & Observer • Redford Observer
Garden City Observer • Westland Observer

OUR NEW ADDRESS:

29449 WEST SIX MILE ROAD, LIVONIA

7-7 Automobiles

CHEVROLET 1964, 2 door sedan, 39,000 miles, automatic, R and H. Excellent condition. Best offer over \$750.00. 425-8882.

M. G. 1967 Midget, like new, purchased new November 1967, 8,800 miles. Call after 4:30. 433-3541

CORVAIR, 1961, Pontiac power.

GA 2-5469

1967 Firebird, 8 cylinder, automatic. Power steering, radio, heater. Spare never been down. 15,000 one owner actual miles. Green with a black vinyl top. Sharp. \$2,395

O'GREEN FORD
Grand River, E. of 9 Mile Rd.
474-0520

CHEVROLET, 1966 convertible. Good condition. After 6:30 p.m. 427-0627

ROLLS ROYCE
1957 Limousine, new paint and chrome. Classic \$3500. Dr. E. J. Page. 433-6203

MERCURY 1963, 2 Door hardtop. Best that new car, drive this one to work \$89 down. G. E. Miller. 349-0860

1964 Pontiac Tempest wagon, 8 cylinder, automatic. \$895.

JACK SELLE
BUICK, INC.

200 Ann Arbor Rd. 453-4411

VACATION SPECIALS

1968 FORD XL
2 door hardtop, radio, heater, automatic, power steering and brakes, vinyl roof. Like brand new. \$1795

1967 MERCURY
Colony Park 10 passenger station wagon, radio, heater, automatic, power steering and brakes, vinyl roof, luggage rack, factory air-conditioning. Loaded. Ford Motor exec. car. \$3095

1968 MERCURY
Radio, heater, automatic, power steering and brakes. Showroom new. \$1395

1968 T-BIRD
Landau, radio, heater, automatic, power steering and brakes, air-conditioning. \$1795

1968 BUICK
Riviera, full power, radio, heater, automatic, whitewall tires. Sharp, sharp. \$1395

1968 THUNDERBIRD
2 door hardtop, automatic, power steering, power brakes, power windows, heater, AM-FM stereo radio. 10,000 guaranteed actual miles. \$3395

1968 OLDSMOBILE
2 door hardtop, radio, heater, automatic, power steering, power brakes. Like new condition. \$2695

1968 MERCURY
Colony Park Station Wagon. 9 passenger, radio, heater, automatic, power steering, power brakes, luggage rack. Your choice of colors. \$2195

1968 CHEVROLET
2 door Nova. Radio, heater, automatic, power steering, whitewall tires. \$2095

1968 OLDSMOBILE
2 door hardtop, radio, heater, automatic, power steering, power brakes. Like new condition. \$1895

1968 CHEVROLET
Impala and Caprice. 2 door hardtops, radio, heater, automatic, power steering, power brakes. From \$1695

STU EVANS

World's Largest Lincoln-Mercury Dealer
32000 FORD RD. GARDEN CITY
Daily GA 5-4304 After 6 p.m. KE 4-3070

7-7 Automobiles

1964 Chevrolet Impala convertible. Summer special at only \$895.

JACK SELLE
BUICK, INC.

200 Ann Arbor Rd. 453-4411

FORD 1966 Fairlane 500, 2 door, 20,000 original miles. \$99 down. G. E. Miller. 349-0860

PONTIAC 1967 Catalina, 2 door hardtop, hydramatic, power steering and brakes, new tires, clean. \$2,150. 476-7777

PONTIAC 1964 Grand Prix, two door hardtop, power steering and brakes, automatic. Excellent condition. \$900. Call 474-5892

1965 Ford Galaxie, 2 door hardtop, V-8, automatic, radio, heater. New Whitewalls. \$1,295.

O'GREEN FORD
Grand River, E. of 9 Mile Rd.
474-0520

TEMPEST 1963 LeMans Convertible. Bucket seats, floor shift, 326 engine, good tires. \$480. 261-0853

CORVETTE, as seen in "Sports Car Graphic" 1965 dark green fast back, 350 h.p., 4 speed, American mags, roll bar, FM radio, lots more. 453-2823

CHEVROLET 1961 Sport Coupe. V-8. Good condition. \$225. 453-0092

7-7 Automobiles

1965 Ford Country Sedan, 10 passenger, V-8, automatic, radio, heater. Rack on top. \$1,295.

O'GREEN FORD
Grand River, E. of 9 Mile Rd.
474-0520

CHEVROLET, 1962, Impala, Sports Coupe. Automatic transmission, power steering and brakes, radio. Less than 57,000 miles. Excellent condition, 1 owner. \$475. 775 1719.

PLYMOUTH 1963 Station Wagon. Automatic, a nice family car. G. E. Miller. 349-0860

COMET, 1966, 2 door, 6 cylinder, automatic, white car, \$1,195.

ROSEDALE
OLDS

17300 Grand River 835-0300

BUICK, 1968 Riviera. Aqua mist with white interior, chrome wheels. Must sell. \$4,200 or best offer. After 6 p.m. 531-4740

CORVETTE, 1967, Stingray. Built 327 engine, convertible, custom paint. Show condition. Many custom accessories. 728-8066

CADILLAC 1966 Convertible. Good buy. GA 5-2822

OVER
200 CARS
MODEL CLEARANCE
\$99 DN. DELIVERS
DAMERON

Chrysler - Plymouth
23301 Grand River at Middlebelt
KE 1-8200

1964 Chevrolet Impala convertible, metallic blue finish with white top, V-8 engine, 3 speed stick. \$0 down. Only \$5,495.

O'GREEN FORD
Grand River, E. of 9 Mile Rd.
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FORD 1964 Sedan. Automatic, power steering, runs perfect. \$99 down. G. E. Miller. 349-0860

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Grand River, E. of 9 Mile Rd.
474-0520

7-7 Automobiles

FORD 1960 Galaxie, four door, runs good. \$100. GA 5-5027

THUNDERBIRD 1962 with 380 rebuilt 1963 engine. Excellent condition, 2 door, all power. Best offer over \$725. Phone 464-0638

1964 Buick Wildcat 4 door hardtop, silver and black finish. Our summer special at only \$995.

JACK SELLE
BUICK, INC.

200 Ann Arbor Rd. 453-4411

DODGE 1966 Coronet, V-8 engine, automatic transmission. Excellent condition. \$995. 40434 Pinetree, Plymouth. Call 453-1886

FAIRLANE 1962, automatic, V-8, power steering. \$300. 425-3343

Imperial 1968, LeBaron, dual air, fully equipped, full power interior, radio, whitewalls, only \$5,495.

ROLLIE BARRETT
Chrysler - Plymouth
13131 Grand River 931-5850

CHEVROLET, 1962, 4 door sedan, stick shift, 283 engine, in running condition. \$100. GL 3-7777

FORD 1964 Sedan. Automatic, power steering, runs perfect. \$99 down. G. E. Miller. 349-0860

1964 Chevrolet Impala convertible, metallic blue finish with white top, V-8 engine, 3 speed stick. \$0 down. Only \$5,495.

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7-7 Automobiles

FALCON, 1963. Good condition. No rust. \$150. GR 4-3438

FORD 1958, 2 door, 6 stick. Excellent transportation. \$100. KE 2-4022

VALIANT, 1963 convertible. Built big six, automatic, new paint, exceptional condition. \$595. GA 7-2944

1966 Ford Galaxie 500 2 dr. hardtop, 390 V-8, power steering, power brakes, radio, whitewall tires, special covers. Black with black interior. Save.

O'GREEN FORD
Grand River, E. of 9 Mile Rd.
474-0520

CHEVY, 1968, salesman's demon, strator, loaded. Call Dan Sexton, Town and Country Dodge. 474-0730

PONTIAC 1962. Full power, very good condition. One owner, low mileage. \$500. GA 2-6083

ANGLIA 1959 2 door, good running condition. 30 miles per gallon. \$175. 261-5678

BY OWNER
BUICK 1967 CONVERTIBLE
ELECTRA 225

Green color with light top, full power, top condition, new premium tires, 13,000 miles. Must sell. Call Pete. GR 6-1140

COMET 1962. Automatic, 4 door, some rust, runs very well. Good transportation. \$250. 476-4529

STUDEBAKER 1963, 4 door, stick shift. Runs good. First \$30 taken. KE 7-2213

Chevrolet, 1965, Biscayne 2 door automatic, radio, heater. \$979.

ROSEDALE
OLDS

17300 Grand River 835-0300

DODGE 1960. A good transportation special. G. E. Miller. 349-0860

FORD 1961 Galaxie 2 door, 380 V-8, 3-speed overdrive, radio, heater. Some rust but beautiful interior, in excellent running condition. \$275. 476-3647

1967 Olds, Delmont '88' 2 door hardtop, blue with black vinyl top, full power. \$2,495.

JACK SELLE
BUICK, INC.

200 Ann Arbor Rd. 453-4411

FORD 1959, 4 door, six, stick, radio, heater, second owner, safety checked, runs no oil. \$125. KE 1-5999

FORD 1963's Galaxie, Red interior, exterior, radio, 289, automatic. 476-8570

3-LOCATIONS
FOR
—Good—Dependable—
—Cheap—
TRANSPORTATION

We have 'em No money down. Pay as low as \$4 per week. See us today.

"Stark Hickey West"

24760 W. 7 Mi., Grand River
Phone 538-6178

"STARK HICKEY
ECONO-LOT"

25647 Grand River
Phone 538-0977

"HICKEYVILLE"

6111 Livernois at Warren
Phone

City of Plymouth
Zoning Ordinance No. 341
August 19, 1968

Proposed Zoning Ordinance

City Of Plymouth

Wayne County

PLYMOUTH PLANNING COMMISSION

Legal Council Provided by:

City Attorney

Standards by:

Vilican - Leman & Associates, Inc.
City Planning Consultants

September, 1964

SECOND DRAFT CORRECTED AS OF FEBRUARY, 1967

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CITY OF PLYMOUTH WAYNE COUNTY, MICHIGAN

ZONING ORDINANCE

ORDINANCE NO. 341
MONTH August, 1968

TITLE

AN ORDINANCE to regulate and restrict the location and use of buildings, structures and land for trade, industry, residence and for public and semi-public or other specified uses; and to regulate and limit the height and bulk of buildings and other structures; to regulate and to determine the size of yards, courts, and open spaces; to regulate and limit the density of population; and for said purposes to divide the City into districts and establishing the boundaries thereof; providing for changes in the regulations, restrictions and boundaries of such districts; defining certain terms used herein; providing for enforcement; establish a Zoning Board of Appeals; and imposing penalties for the violation of this Ordinance.

PREAMBLE

Pursuant to the authority conferred by Public Act No. 207 of the Public Acts of 1921 of the State of Michigan, and acts amendatory thereto, in such case, made and provided and for the purpose of promoting, and protecting the public health, safety, peace, morals, comfort, convenience, and general welfare of the inhabitants of the City of Plymouth by protecting and conserving the character and social and economic stability of the residential, commercial, industrial and other use areas; by securing the most appropriate use of land; preventing overcrowding of land and undue congestion of population; providing adequate light, air, and reasonable access; and facilitating adequate and economic provision of transportation, water, sewer, schools, recreation, and other public requirements, and by other means, all in accordance with a comprehensive plan; now, therefore:

ENACTING CLAUSE

The City of Plymouth Ordains:

ARTICLE I - SHORT TITLE

Sec. 100. This Ordinance shall be known and may be cited as the City of Plymouth Zoning Ordinance.

ARTICLE II - DEFINITIONS

Sec. 200. For the purposes of this Ordinance, certain terms or words used herein shall be interpreted as follows:

The word "person" includes a firm, association, organization, partnership, trust, company, or corporation as well as an individual; The present tense includes the future tense, the singular number includes the plural, and the plural number includes the singular; the word "shall" is mandatory, and the word "may" is permissive; the words "used" or "occupied" include the words "intended," "designed," or "arranged to be used or occupied;" the word "building" includes the word "structure," and the word "dwelling" includes the word "residence," the word "lot" includes the words "plot" or "parcel." Terms not herein defined shall have the meaning customarily assigned to them.

Accessory Use or Building: Is a use or building on the same lot with, and of a nature customarily incident and subordinate to those of the main use or building.

Alley: Any dedicated public way affording a secondary means of access to abutting property, and not intended for general traffic circulation.

Alterations: Is any change, addition, or modification in construction or type of occupancy, any changes in the structural members of a building, such as walls or partitions, columns, beams or girders, the consummated act of which may be referred to herein as "altered" or "reconstructed."

Apartments: The dwelling units in a multiple dwelling shall provide the following in terms of floor area:

- (a) Efficiency Apartment: Is a dwelling unit containing not over three hundred and fifty (350) square feet of floor area, and consisting of not more than one (1) room in addition to kitchen and necessary sanitary facilities.
- (b) One-Bedroom Unit: Is a dwelling unit containing a minimum floor area of at least four hundred and fifty (450) square feet per unit, consisting of not more than three (3) rooms in addition to kitchen and necessary sanitary facilities.
- (c) Two-Bedroom Unit: Is a dwelling unit containing a minimum floor-area of at least six hundred (600) square feet per unit, consisting of not more than four (4) rooms in addition to kitchen and necessary sanitary facilities.
- (d) Three- or More-Bedroom Unit: Is a dwelling unit wherein for each room in addition to the four (4) rooms permitted in a two (2)-bedroom unit, there shall be provided an additional area of one hundred and fifty (150) square feet to the minimum floor-area of six hundred (600) square feet.

Auto Repair Station: Is a place where, along with the sale of engine fuels, the following services may be carried out: general repair, engine rebuilding, rebuilding or reconditioning of motor vehicles; collision service, such as body, frame, or fender straightening and repair; over-all painting and undercoating of automobiles.

Auto Service Station: Is a building or premises or portions thereof arranged or designed to be used for the retail sale of oil, gasoline or other fuel for the propulsion or lubrication of motor vehicles and which may include facilities for changing of tires, tube-repairing, polishing, greasing, washing or servicing such motor vehicles; but excluding so-called high speed automotive washing, steam cleaning, body repairing, bumping or painting.

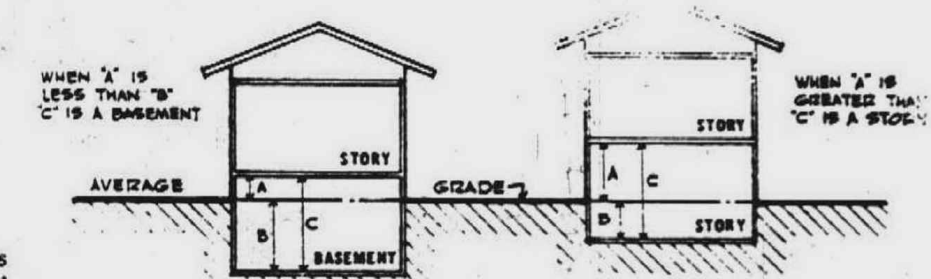
Auto Wash, Highspeed: Is a building or portion thereof containing facilities for washing more than two automobiles, using production-line methods such as a chain conveyor, blower, steam-cleaning device, or other mechanical devices.

Basement: Is that portion of a building which is partly or wholly below grade but so located that the vertical distance from the average grade to the floor is greater than the vertical distance from the average grade to the ceiling. A basement shall not be counted as a story.

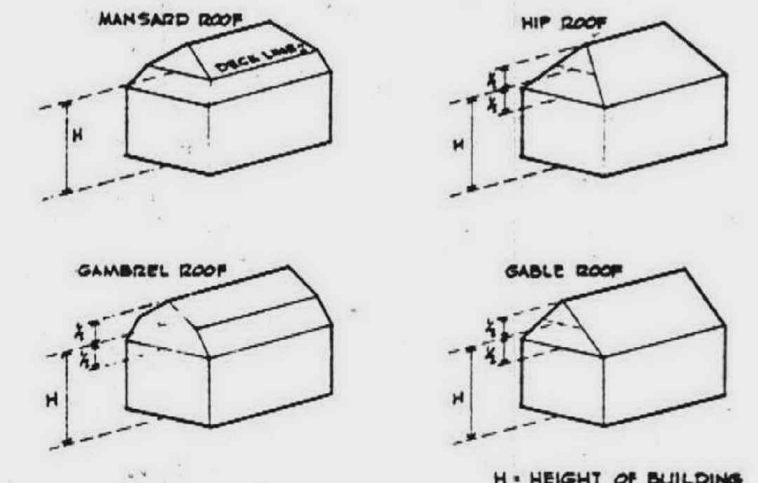
Block: Is the property abutting one side of a street and lying between the two nearest intersecting streets, or between the nearest such street and railroad right-of-way unobstructed acreage, river or live stream; or between any of the foregoing and any other barrier to the continuity of development.

Building: Is any structure, either temporary or permanent, having a roof supported by columns or walls, and intended for the shelter, or enclosure of persons, animals, chattels, or property of any kind.

Building Height: Is the vertical distance measured for the established grade to the highest point of the roof surface for flat roofs; to the deck line of mansard roofs; and to the average height between eaves and ridge for gable, hip, and gambrel roofs. Where a



BASEMENT & STORY



H = HEIGHT OF BUILDING

BUILDING HEIGHT

building is located on sloping terrain, the height may be measured from the average ground-level of the grade at the building wall.

Building Line: Is a line formed by the face of the building, and for the purposes of this Ordinance, a building line is the same as a front-setback line.

Club: Is an organization of persons for special purposes or for the promulgation

of sports, arts, sciences, literature, politics, or the like, but not operated for profit.

Court: Is an open, unoccupied space, other than a required front, side, or rear yard, and bounded on at least two sides by a building. A court extending to the front yard or front lot line or to the rear yard or rear lot line is an Outer Court. Any other court is an Inner Court.

District: Is a portion of the incorporated area of the Municipality within which certain regulations and requirements or various combinations thereof apply under the provisions of this Ordinance.

Drive-In: Is a business establishment so developed that its retail or service character is dependent on providing a driveway approach or parking spaces for motor vehicles so as to serve patrons while in the motor vehicle, regardless of whether self-service is involved.

Dwelling Unit: Is a building, or portion thereof, designed for occupancy exclusively by one (1) family for residential purposes and having cooking facilities and separate sanitary facilities.

Dwelling, One-Family: Is a building designed exclusively for and occupied exclusively by one (1) family.

Dwelling, Two-Family: Is a building designed exclusively for occupancy by two (2) families, living independently of each other.

Dwelling, Multiple-Family: Is a building, or a portion thereof, designed exclusively for occupancy by three (3) or more families, living independently of each other.

Erected: Includes built, constructed, altered, reconstructed, moved upon, or any physical operation on the premises which are required for the construction. Excavation, fill, drainage, and the like, shall be considered a part of erection.

Excavation: Is any breaking of ground, except common household-gardening and ground care.

Essential Services: Is the erection, construction, alteration or maintenance by public utilities or municipal departments of underground, surface, or overhead gas, electrical, steam, fuel or water transmission or distribution systems, collection, communication, supply or disposal systems, including towers, poles, wires, mains, drains, sewers, pipes, conduits, cables, fire-alarm and police call-boxes, traffic signals, hydrants and similar accessories in connection therewith, but not including buildings which are necessary for the furnishing of adequate service by such utilities or municipal departments for the general health, safety, or welfare.

Family: Is one or two persons or parents, with their direct lineal descendants and adopted children (and including the domestic employees thereof) together with not more than two persons not so related, living together in the whole or part of a dwelling comprising a single housekeeping unit. Every additional group of two or less persons living in such housekeeping unit shall be considered a separate family for the purpose of this Ordinance.

Filling: Is the depositing or dumping of any matter on to, or into the ground, except common household gardening and ground care.

Floor-Area Ratio: The ratio of the floor area of a building to its lot area. For example: When a floor-area ratio of five-tenths (0.5) is specified the floor area of a building constructed on a lot of ten thousand (10,000) square feet in area is limited to a maximum of five thousand (5,000) square feet. The number of stories being Optional, the building area may be five thousand (5,000) square feet for one (1) story; twenty-five hundred (2,500) square feet for each of two (2) stories, and so forth. The purpose of this ratio is to control the bulk of buildings and encourage the development of open space or plazas about structures in the intensely developed portions of the City.



NOTES

- BUILDING LINE IS MINIMUM SETBACK LINE
- X - MINIMUM FRONT YARD REQUIRED
- Y - FRONT YARD IN EXCESS OF MINIMUM FRONT YARD REQUIRED
- Z - COURT YARD IN EXCESS OF MINIMUM FRONT YARD REQUIRED

BUILDING LINE

Floor Area: For the purposes of computing the minimum allowable floor area in a residential dwelling unit, the sum of the horizontal areas of each story of the building shall be measured from the exterior faces of the exterior walls. The floor-area measurement is exclusive of areas of basements, unfinished attics, attached garages, breezeways, and enclosed and unenclosed porches.

Grade: Grade shall mean a ground elevation established for the purpose of regulating the number of stories and the height of the building. The building grade shall be the level of the ground adjacent to the walls of the building if the finished grade is level. If the ground is not entirely level, the grade shall be determined by averaging the elevation of the ground for each face of the building.

Greenbelt: A strip of land of definite width and location reserved for the planting of shrubs and/or trees to serve as an obscuring screen or buffer strip in carrying out the requirements of this Ordinance.

Home Occupation: Home occupations may include such personal or professional services as that of a doctor, dentist, engineer, architect, lawyer, accountant, dressmaker, barber or beautician. Such services shall be carried on by no more than one (1) individual residing in the dwelling.

Junk Yards: Is an open area where waste, used or second-hand materials are brought and sold, exchanged, stored, baled, packed, disassembled, or handled, including, but not limited to, scrap iron and other metals, paper, rags, rubber tires, and bottles. A "Junk Yard" includes automobile-wrecking yards and includes any area of more than two hundred (200) square feet for storage, keeping or abandonment of junk but does not include uses established entirely within enclosed buildings.

Kennel, Commercial: Any lot or premises on which three (3) or more dogs, cats and similar domestic animals are either permanently or temporarily boarded.

Loading Space: Is an off-street space on the same lot with a building, or group of buildings, for the temporary parking of a commercial vehicle while loading and unloading merchandise or materials.

Lot: Is a parcel of land occupied, or to be occupied, by a main building or a group of such buildings and accessory buildings, or utilized for the principal use and uses accessory thereto, together with such open spaces as are required under the provisions of this Ordinance. A lot may or may not be specifically designated as such on public records.

Lot Area: Is the total horizontal area within the lot lines of the lot.

Lot, Corner: A lot where the interior angle of two adjacent sides at the intersection of two streets is less than one hundred thirty-five (135) degrees. A lot abutting upon a curved street or streets shall be considered a corner lot for the purposes of this Ordinance if the arc is of less radius than one hundred fifty (150) feet and the tangents to the curve, at the two points where the lot lines meet the curve or the straight street-line extended, form an interior angle of less than one hundred thirty-five (135) degrees.

Lot Coverage: Is the part or percent of the lot occupied by buildings, including accessory buildings.

Lot Depth: Is the horizontal distance between the front and rear lot-lines, measured along the median between the side lot lines.

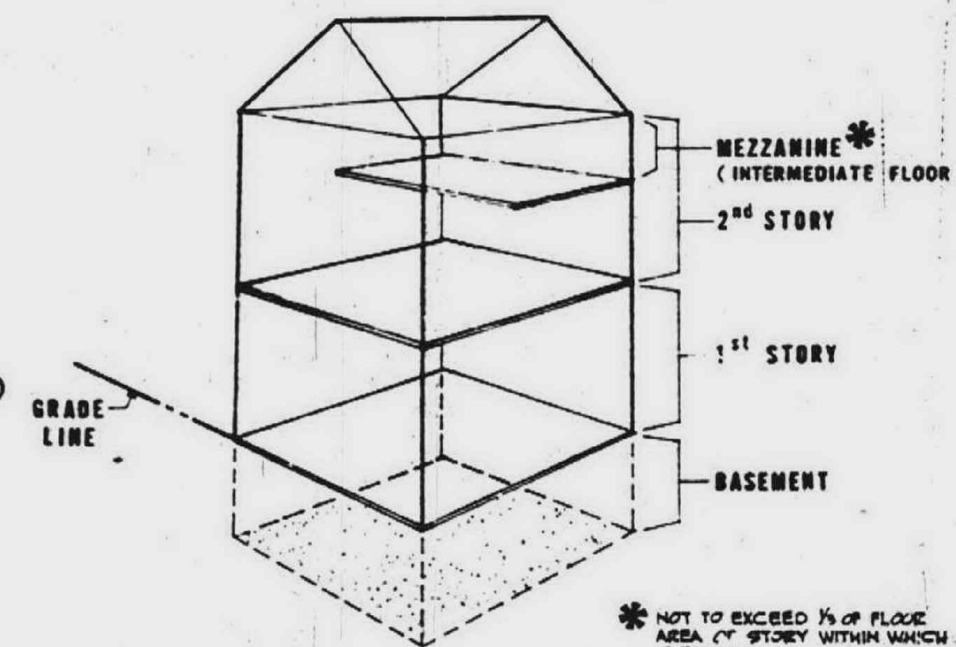
Lot, Double Frontage: Is any interior lot having frontages on two more or less parallel streets as distinguished from a corner lot. In the case of a row of double frontage lots, all sides of said lots adjacent to streets shall be considered frontage, and front yards shall be provided as required. (See sketch following page 6).

Lot, Interior: Is any lot other than a corner lot.

Lot Lines: The lines bounding a lot as defined herein.

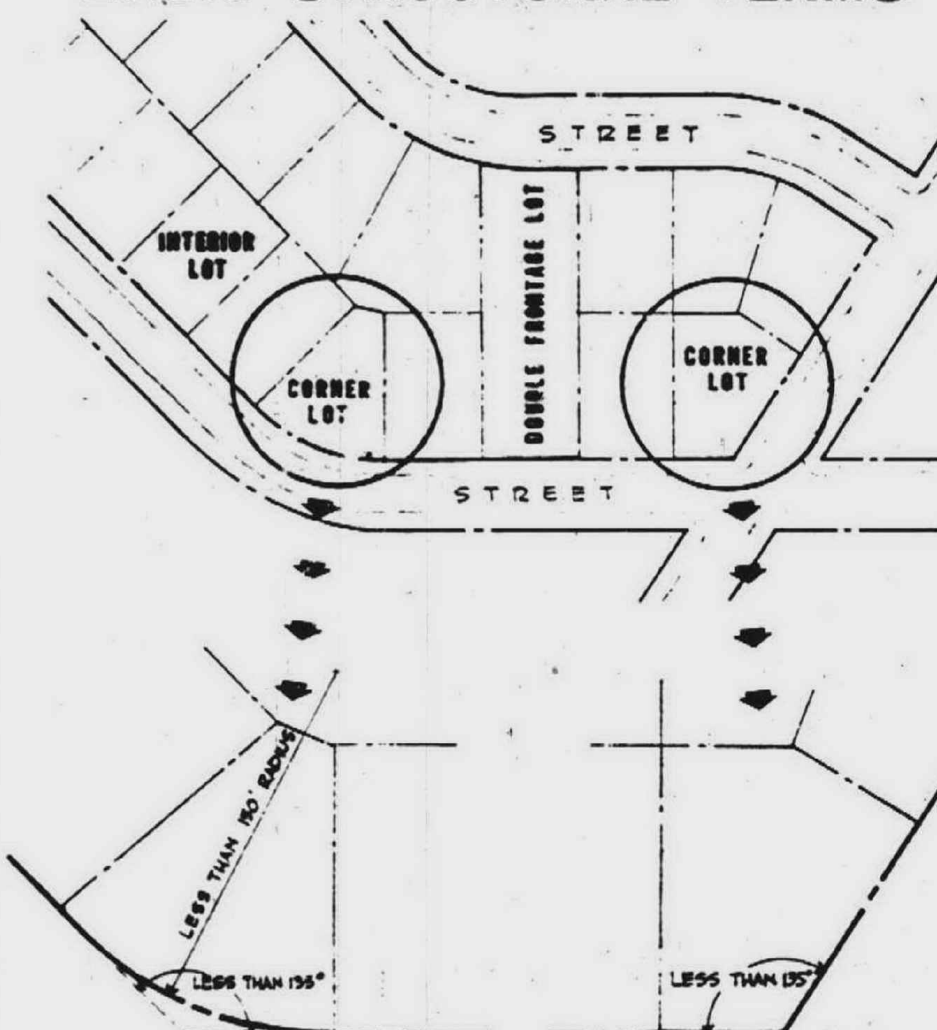
(a) **Front Lot-Line:** In the case of an interior lot, is that line separating said lot from the street. In the case of a corner lot, or double-frontage lot, is that line separating said lot from that street which is designated as the front street.

(b) **Rear Lot-Line:** Is that lot line opposite the front lot-line. In the case of a



- FLOOR AREA (TO BE MEASURED AS MINIMUM ALLOWABLE)
- FLOOR AREA (NOT MEASURED AS MINIMUM ALLOWABLE)

BASIC STRUCTURAL TERMS



DOUBLE FRONTAGE, INTERIOR & CORNER LOTS

lot pointed at the rear, the rear lot-line shall be an imaginary line parallel to the front lot-line, not less than ten (10) feet long lying farthest from the front lot-line and wholly within the lot.

(c) **Side Lot-Line:** Is any lot line other than the front lot-line or rear lot-line. A side lot-line separating a lot from a street is a side-street lot-line. A side lot line separating a lot from another lot or lots is an interior side lot-line.

Lot of Record: Is a parcel of land, the dimensions of which are shown on a recorded plat on file with the County Register of Deeds at the time of adoption of this Ordinance or in common use by Municipal or County Officials and which actually exists as so shown, or any part of such parcel held in a record ownership separate from that of the remainder thereof.

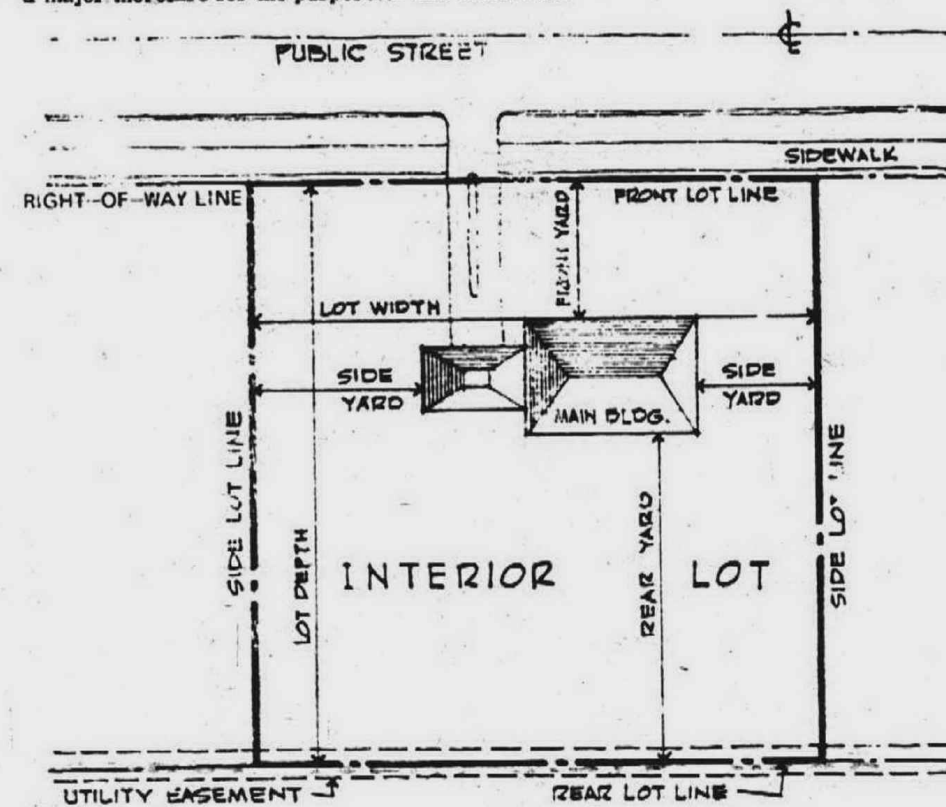
Lot Width: Is the horizontal distance between the side lot-lines measured at the two points where the building or setback line intersects the side lot-lines, except in the case of lots which diminish in width from front to rear, the lot width shall be measured at a distance of fifty (50) feet back from the front lot-line.

Main Building: Is a building in which is conducted the principal use of the lot upon which it is situated.

Main Use: Is the principal use to which the premises are devoted.

Major Thoroughfare: Is an arterial street which is intended to serve as a large

volume trafficway for both the immediate Municipal area and the region beyond, and may be designated as a major thoroughfare, parkway, freeway, expressway, or equivalent term to identify those streets comprising the basic structure of the street plan. Any street indicated as a major thoroughfare in the Thoroughfare Plan shall be considered a major thoroughfare for the purpose of this Ordinance.



LOT AREA = TOTAL HORIZONTAL AREA

LOT COVERAGE = PERCENT OF LOT OCCUPIED BY BUILDING

LOTS & AREAS

Master Plan: Is the comprehensive plan including graphic and written proposals indicating the general location for streets, parks, schools, public buildings and all physical development of the Municipality, and includes any unit or part of such plan, and any amendment to such plan or parts thereof.

Mezzanine: Is an intermediate floor in any story occupying not to exceed one-third (1/3) of the floor-area of such story.

Mobile Home: A detached single-family dwelling unit with all of the following characteristics:

1. Designed for long-term occupancy, and containing sleeping accommodations, a flush toilet, a tub or shower bath, and kitchen facilities, with plumbing and electrical connections provided for attachment to outside systems.
2. Designed to be transported after fabrication on its own wheels, or flat bed or other trailers or detachable wheels.
3. Arriving at the site where it is to be occupied as a dwelling complete, including major appliances and furniture, and ready for occupancy except for minor and incidental unpacking and assembly operations, location on foundation supports, connection to utilities and the like.

Mobile-Home Park: A parcel of land under single ownership, improved and licensed for the placement of mobile homes for non-transient use.

Municipality: The word "municipality" shall mean the City of Plymouth.

Nonconforming Building: Is a building or portion thereof, existing at the effective date of this Ordinance, or amendments thereto, and that does not conform to the provisions of this Ordinance in the district in which it is located.

Nonconforming Use: Is a use which lawfully occupied a building or land at the effective date of this Ordinance, or amendments thereto, and that does not conform to the use regulations of the district in which it is located.

Nursing or Convalescent Home: Is a structure with sleeping rooms where persons are housed or lodged and furnished with meals and nursing care for hire.

Nursery, Plant Material: Is a space, building or structure, or combination thereof, for the storage of live trees, shrubs, or plants offered for sale on the premises including products used for gardening or landscaping. The definition of nursery within the meaning of this Ordinance does not include any space, building or structure used for the sale of fruits, vegetables, or Christmas trees.

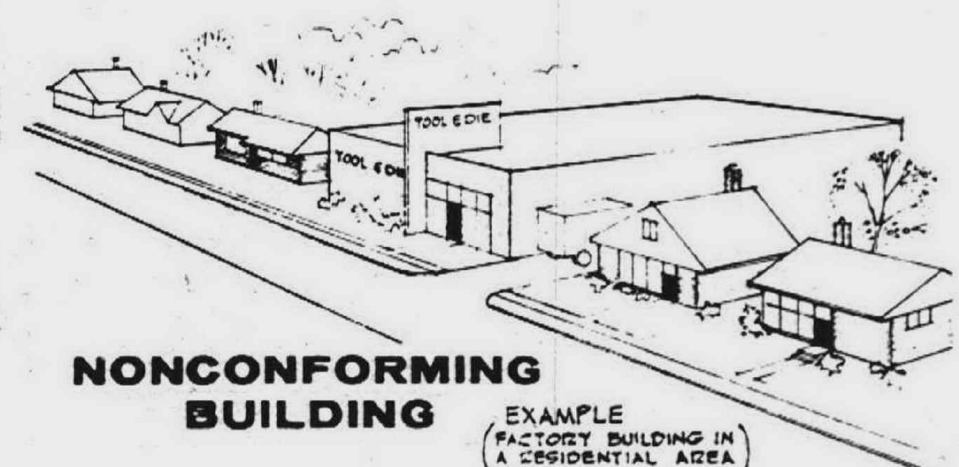
Off-Street Parking Lot: Is a facility providing vehicular parking-space along with adequate drives and aisles, for maneuvering, so as to provide access for entrance and exit for the parking of more than two (2) vehicles.

Parking Space: Is hereby determined to be an area as required by this Ordinance which shall be exclusive of drives, aisles or entrances giving access thereto, and shall be fully accessible for the storage or parking of permitted vehicles.

Public Utility: Is any person, firm or corporation, municipal department, board or commission duly authorized to furnish and furnishing under state or municipal regulations to the public, gas, steam, electricity, sewage disposal, communication, transportation or water.

Setback: The distance required to obtain front, side or rear yard open space provisions of this Ordinance.

Sign: Is the use of any words, numerals, figures, devices, designs, or trade-



NONCONFORMING BUILDING

EXAMPLE
FACTORY BUILDING IN A RESIDENTIAL AREA



EXAMPLE
RESIDENCE CONVERTED TO COMMERCIAL USE

NONCONFORMING USE

marks by which anything is made known, such as are used to show an individual firm, profession or business, and are visible to the general public.

Sign-Accessory: A sign which is accessory to the principal use of the premises.

Sign-Nonaccessory: A sign which is not accessory to the principal use of the premises.

Stable, Private: A stable for the keeping of horses for the use of the residents of

the principal use and shall not include the keeping of horses for others, or for commercial boarding, and with a capacity for not more than two horses; provided, however, that the capacity of a private stable may be increased if the lot whereon such stable is located contains at least one (1) acre of land for each additional horse stabled thereon.

Stable, Public: A stable other than a private stable, with a capacity for more than two horses, and carried on within an unplatted tract of land of not less than forty (40) acres.

Story: Is that part of a building, except a mezzanine as defined herein, included between the surface of one floor and the surface of the next floor, or if there is no floor above, then the ceiling next above. A story thus defined shall not be counted as a story when more than fifty (50) percent, by cubic content, is below the height level of the adjoining ground.

Story, Half: Is an uppermost story lying under a sloping roof, the usable floor area of which, at a height of four feet above the floor does not exceed two-thirds (2/3) of the floor area in the story directly below, and the height above at least two hundred (200) square feet of floor space is seven feet six inches (7'-6").

Street: A right-of-way dedicated to public use which provides vehicular and pedestrian access to adjacent properties whether designated as a street, highway, thoroughfare, parkway, road, avenue, lane, or however otherwise designated.

Structure: Is anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground, with the exception of fences, walls or pavement.

Temporary Use or Building: Is a use or building permitted by the Board of Appeals to exist during periods of construction of the main building or use, or for special events or as otherwise permitted in this Ordinance.

Usable Floor Area: (For the purpose of computing parking) is that area used for or intended to be used for the sale of merchandise or services or for use to serve patrons, clients, or customers, including areas occupied by fixtures and equipment used for display or sale of merchandise. Such floor area which is used or intended to be used principally for the storage or processing of merchandise, or for utilities shall be excluded from this computation of "usable floor area." Measurement of the gross horizontal areas of the several floors of the building, measured from the interior faces of the exterior walls.

Use: Is the purpose for which land or a building is arranged, designed or intended, or for which land or a building is or may be occupied.

Yards: The open spaces on the same lot with a main building, unoccupied and unobstructed from the ground upward except as otherwise provided in this Ordinance, and as defined herein.

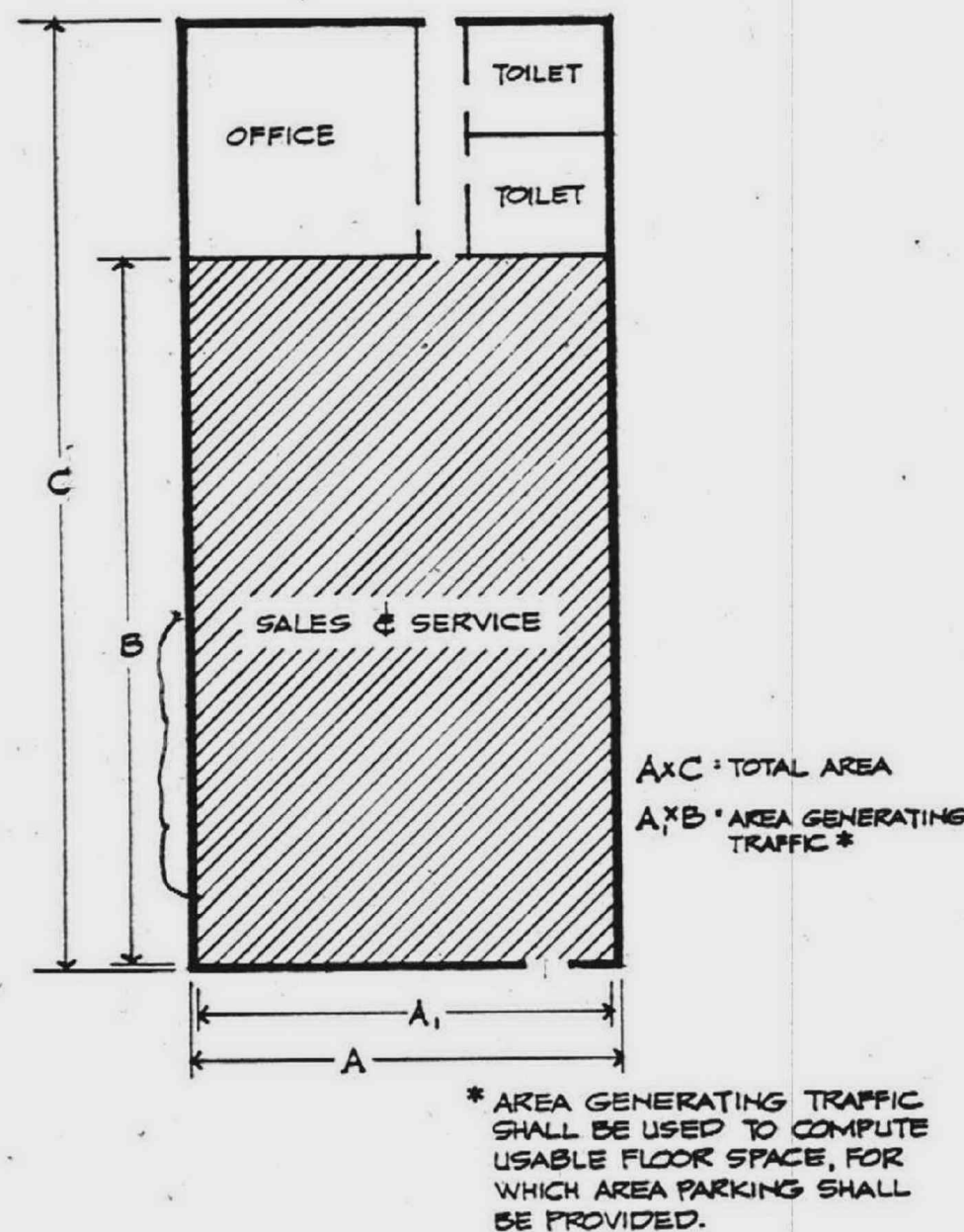
(a) **Front Yard:** Is an open space extending the full width of the lot, the depth of which is the minimum horizontal distance between the front lot-line and the nearest line of the main building.

(b) **Rear Yard:** Is an open space extending the full width of the lot the depth of which is the minimum horizontal distance between the rear lot-line and the nearest line of the main building.

(c) **Side Yard:** Is an open space between a main building and the side lot-line, extending from the front yard to the rear yard, the width of which is the horizontal distance from the nearest point of the side lot-line to the nearest point of the main building.

Zoning Exceptions and Variances:

(a) **Exception:** An exception is a use permitted only after review of an application for a building permit by the Zoning Board of Appeals or Planning Com-



USABLE FLOOR AREA

mission other than the Administrative Official (Building Inspector), such review being necessary because the provisions of this Ordinance covering conditions, precedent or subsequent, are not precise enough to all applications without interpretation, and such review is required by the ordinance.

(b) Variance: Is a modification of the literal provisions of the Zoning Ordinance granted when strict enforcement of the Zoning Ordinance would cause undue hardship owing to circumstances unique to the individual property on which the variance is granted.

The crucial points of variance are: (a) undue hardship, (b) unique circumstances, and (c) applying to property. A variance is not justified unless all three elements are present in the case.

The "exception" differs from the "variance" in several respects. An exception does not require "undue hardship" in order to be allowable. The exceptions that are found in this Ordinance appear as "special approval" or review by Planning Commission, or Zoning Board of Appeals. These land uses could not be conveniently allocated to one zone or another, or the effects of such uses could not be definitely foreseen as of a given time. The general characteristics of these uses include one or more of the following:

- they require large areas
- they are infrequent
- they sometimes create an unusual amount of traffic
- they are sometimes obnoxious or hazardous
- they are required for public safety and convenience.

ARTICLE III - ZONING DISTRICTS, MAPS AND REQUIREMENTS

SECTION 300. ZONING DISTRICTS:

For the purposes of this Ordinance, the Municipality is hereby divided into the following zoning districts:

RESIDENTIAL DISTRICTS

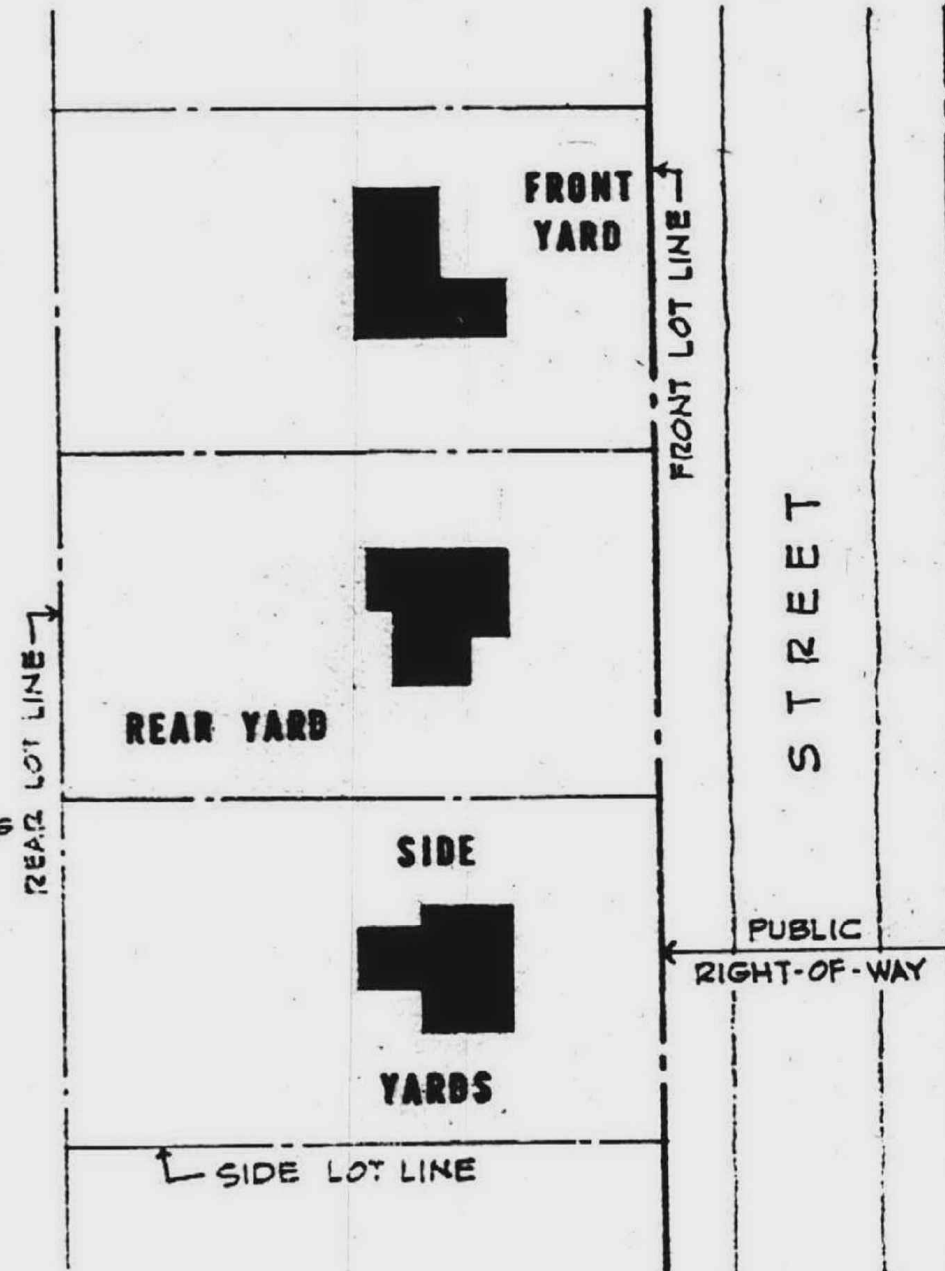
- R-1 One-Family Residential District
- RT-1 Two-Family Residential District
- RM-1 Multiple-Family Residential District
- RM-2 Multiple-Family Residential District

NONRESIDENTIAL DISTRICTS

- O-1 Office District
- O-2 Office District
- B-1 Local Business District
- B-2 Central Business District
- B-3 General Business District
- I-1 Light Industrial District
- I-2 Heavy Industrial District
- P-1 Vehicular Parking District

SECTION 301. ZONING MAPS:

Each area shall be set forth on a map containing such information as may be acceptable to the City Commission and showing by appropriate means the various districts into which the area is divided, which maps shall be entitled "Zoning Maps of the City of Plymouth," and shall bear the date adopted or amended and it shall be the duty of the Mayor and the Clerk to authenticate such records by placing their official signatures thereon. All such maps with all explanatory matter thereon, are hereby made a part of this



YARDS

Ordinance and shall be as much a part of this Ordinance as if the matters and information set forth thereon were all fully described herein.

SECTION 302. DISTRICT BOUNDARIES:

Where uncertainty exists with respect to the boundaries of any of the Districts established in this Ordinance as shown on the Zoning Map, the following rules shall be applied:

- Where district boundaries are indicated as approximately following the center line of streets or highways, street lines or highway right-of-way lines, such center lines, street lines, or highway right-of-way lines shall be construed to be said boundaries.
- Where district boundaries are so indicated that they are approximately parallel to the center lines of streets, or the center lines of right-of-way lines of highways, such district boundaries shall be construed as being parallel thereto and at such distances therefrom as indicated on the Zoning Map. If no such distance is given, such dimension shall be determined by the use of the scale shown on said Zoning Map.
- Where district boundaries are so indicated that they approximately follow the lot lines such lot lines shall be construed to be said boundaries.
- Where the boundary of a district follows a stream, lake or other body of water, said boundary line shall be deemed to be located midway between opposite shores.
- Where the boundary of a district follows a subdivision boundary line, such boundary line shall be construed to be said district boundary line.
- Where unzoned property may exist, or where, due to the scale, lack of detail or illegibility of the Zoning Map accompanying this Ordinance, there is any uncertainty, contradiction, or conflict as to the intended location of any district boundaries shown thereon, interpretation concerning the exact location of district boundary lines shall be determined, upon written application, or upon its own motion, by the Board of Appeals.

SECTION 303. ZONING OF VACATED AREAS:

Whenever any street, alley or other public way, within the Municipality shall be vacated, such street, alley or other public way or portion thereof, shall automatically be classified in the same zone district as the property to which it attaches.

SECTION 304. ZONING OF ANNEXED AREAS:

Whenever any area is annexed to the City of Plymouth one of the following conditions will apply:

"Territory which may hereafter be annexed to the City of Plymouth shall remain as zoned previous to annexation until the required amendments to this ordinance have

been adopted."

SECTION 305. DISTRICT REQUIREMENTS

All buildings and uses in any district shall be subject to the provisions of: ARTICLE XIV, "SCHEDULE OF REGULATIONS" (limiting the height and bulk of buildings, the minimum size of lot permitted by land use, and maximum density permitted); ARTICLE XV, "GENERAL PROVISIONS;" and ARTICLE XVI, "GENERAL EXCEPTIONS."

ARTICLE IV - R-1 ONE-FAMILY RESIDENTIAL DISTRICT

PREAMBLE:

The residential district is designed to provide for one-family dwelling sites and residentially related uses in keeping with the master plan of residential development in the City of Plymouth. The preservation of natural terrain and wooded areas is reflected in the controls set forth in this Ordinance.

SECTION 400. PRINCIPAL USES PERMITTED:

In a One-Family Residential District (R-1) no building or land shall be used and no building shall be erected except for one or more of the following specified uses, unless otherwise provided in this Ordinance.

- One-family detached dwellings.
- Publicly owned and operated libraries, parks, parkways, and recreational facilities.
- Accessory buildings and uses, customarily incident to any of the above permitted uses.

SECTION 401. USES SUBJECT TO SPECIAL CONDITIONS:

The following uses shall be permitted, subject to the conditions hereinafter imposed for each use and subject further to the review and approval of the Planning Commission:

- Utility and public-service buildings and uses (without storage yards) when operating requirements necessitate the locating of said facilities within the district in order to serve the immediate vicinity. Further, no building and/or structure shall be located in any required front or side yard.
- Private recreational areas, and institutional recreation centers when not operated for profit, non-profit swimming-club pool, all subject to the following conditions:
 - As a condition to the original granting of such permit and the operation of such non-profit swimming-pool club, as a part of said application, the applicant shall obtain from one-hundred (100) percent of the freeholders residing or owning property, within a one-hundred and fifty (150)-foot radius, immediately adjoining any property line of the site herein proposed for development; a written statement or waiver addressed to the City Commission recommending that such approval be granted. Also, approval from fifty-one (51) percent of the homeowners within one thousand (1,000) feet shall be received in writing.

b. In those instances where the proposed site is not to be situated on a lot or lots of record, the proposed site shall have one property line abutting a major thoroughfare (see Major Thoroughfare Plan), and the site shall be so planned as to provide ingress and egress directly on to said major thoroughfare.

c. Front, side and rear yards shall be at least seventy-five (75) feet wide,

except on those sides adjacent to non-residential districts, and shall be landscaped in trees, shrubs, grass and terrace areas. All such landscaping shall be maintained in a healthy condition. There shall be no parking or structures permitted in these yards, except for required entrance drives and those walls and/or fences used to obscure the use from abutting residential districts.

d. Buildings erected on the premises shall not exceed one (1) story or four-teen (14) feet in height.

e. Whenever a swimming pool is constructed under this Ordinance, said pool area shall be provided with a protective fence, six (6) feet in height, and entry shall be provided by means of a controlled gate or turnstyle.

f. Off-street parking shall be provided so as to accommodate at least one-fourth (1/4) of the member families and/or individual members. By-Laws of the organization shall be provided to the Planning Commission in order to establish the membership involved in computing parking requirements.

g. All storm and sanitary-sewer plans shall be provided and shall be reviewed and approved by the City Engineer prior to the issuance of a building permit.

h. The off-street parking and general-site layout and its relationship to all adjacent lot-lines shall be reviewed by the Planning Commission, who may impose any reasonable restrictions or requirements so as to insure that contiguous residential areas will be adequately protected.

3. Nursery schools, day nurseries and child-care centers (not including dormitories); provided that for each child so cared for there is provided and maintained a minimum of one hundred (100) square feet of outdoor play area. Such play space shall have a total minimum area of at least one thousand (1,000) square feet, and shall be fenced or screened from any adjoining land with planting. Any use permitted herein shall not be permitted in the interior of any residential block, and shall be located adjacent to a business district.

4. Colleges, universities and other such institutions of higher learning, public and private, offering courses in general technical, or religious education and not operated for profit, all subject to the following conditions:

- Any use permitted herein shall be developed only on sites of at least forty (40) acres an area, and shall not be permitted on any portion of a recorded subdivision plat.
- All ingress to and egress from said site shall be directly onto a major thoroughfare.

c. No building other than a structure for residential purposes shall be closer than seventy-five (75) feet to any property line.

5. Churches and other facilities normally incidental thereto, subject to the following conditions:

- The site shall be so located as to provide for ingress and egress from said site directly onto a thoroughfare having an existing or planned street designated as a Collector Street or Major Thoroughfare in the Major Thoroughfare Plan.
- The principal buildings on the site shall be set back from abutting properties zoned for residential use not less than fifteen (15) feet.

c. Buildings of greater than the maximum height allowed in ARTICLE XIV may be allowed, provided front, side and rear yards are increased above the minimum requirements by one (1) foot for each foot of building that exceeds the maximum height allowed.

6. Public, parochial and private elementary, intermediate and/or secondary schools offering courses in general education, not operated for profit.

7. Municipal office buildings when in character with the neighborhood.

8. Accessory buildings and uses customarily incident to any of the above permitted uses.

SECTION 402. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, the minimum size of lot permitted by land use, and maximum density permitted.

ARTICLE V - RT-1 TWO-FAMILY RESIDENTIAL DISTRICTS

PREAMBLE:

This district is designed to provide sites for two-family dwelling structures, and related uses, which will generally serve as zones of transition between the nonresidential districts and the lower One-Family Residential Districts.

SECTION 500. PRINCIPAL USES PERMITTED:

In a Two-Family Residential District, no building or land shall be used and no building shall be erected except for one or more of the following specified uses, unless otherwise provided in this Ordinance:

- All principal uses permitted and as regulated in the One-Family Residential District.
- Two-family dwellings.
- A home occupation may be conducted in a dwelling provided no goods are publicly displayed or sold on the premises.
- Accessory buildings and uses, customarily incident to any of the above permitted uses.

SECTION 501. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, the minimum size of lot permitted by land use, and maximum density permitted.

ARTICLE VI - RM-1 AND RM-2 MULTIPLE-FAMILY RESIDENTIAL DISTRICTS

PREAMBLE:

The RM-1 AND RM-2 MULTIPLE-FAMILY RESIDENTIAL DISTRICTS are designed to provide sites for multiple-family dwelling structures, and related uses, which will generally serve as zones of transition between the non-residential districts and the lower density One-Family Residential Districts. The Multiple-Family Districts are further provided to serve the limited needs for the apartment-type of unit in an otherwise low density, single-family community.

SECTION 600. PRINCIPAL USES PERMITTED:

In a Multiple-Family District no building or land, except as otherwise provided in this Ordinance, shall be erected or used except for one or more of the following specified purposes and shall be permitted subject to the review and approval of the site plan by the Planning Commission. Such review of the site plan is required to find proper relationships between the following development features as they relate to traffic safety and, further, to minimize the possibility of any adverse effects upon adjacent properties: service roads, driveways, parking areas; accessory building and uses; open space:

- All principal uses permitted in the RT-1 Two-Family Residential Districts with the lot area, yards, and floor-area requirements equal to at least the requirements of the immediately abutting residential district.
- Multiple-family dwellings.
- Funeral homes (mortuaries).
- Accessory buildings and uses customarily incident to any of the above permitted uses.

SECTION 601. USES SUBJECT TO SPECIAL CONDITIONS:

The following uses shall be permitted subject to the conditions hereinafter imposed for each use and subject further to the review and approval of the Planning Commission.

1. General hospitals, except those for criminals and those solely for the treatment of persons who are mentally ill or have contagious disease, not to exceed four (4) stories when the following conditions are met:

- All such hospitals shall be developed only on sites consisting of at least five (5) acres in area, and shall not be permitted on a lot or lots of record.
- The proposed site shall have at least one (1) property line abutting a major thoroughfare.

c. The minimum distance of any main or accessory building from bounding lot lines or streets shall be at least one hundred (100) feet for front, rear, and side yards for all two (2)-story structures. For every story above two (2), the minimum yard distance shall be increased by at least twenty (20) feet.

d. Ambulance and delivery areas shall be obscured from all residential view with an obscuring wall or fence six (6) feet in height. Ingress and egress to the site shall be directly from a major thoroughfare.

e. All ingress and egress to the off-street parking area, for guests, employees, staff, as well as any other uses of the facilities, shall be directly from a major thoroughfare.

2. Convalescent homes, not to exceed a height of two (2) stories, when the following conditions are met:

- The site shall be so developed as to create a land to building ratio on the lot or parcel whereby for each one (1) bed in the convalescent home there shall be provided not less than eight hundred (800) square feet of open space. The eight hundred (800) square feet of land area per bed shall provide for landscape setting, off-street parking, service drives, loading space, yard requirements, employee facilities, and any space required for accessory uses. The eight hundred (800)-square-foot requirement is over and above the building coverage area.
- No building shall be closer than forty (40) feet from any property line.

3. Housing for the elderly, when the following conditions are met:

- All housing for the elderly shall be provided as a planned development and shall provide for the following:
 - Cottage-type dwellings and/or apartment-type dwelling units.
 - Common services containing, but not limited to, central dining rooms, recreational rooms and central lounge, and workshops.

b. Each dwelling unit shall consist of at least two hundred and fifty (250) square feet of floor area.

c. The minimum requirements of the SCHEDULE OF REGULATIONS for the District in which such use is located shall control lot coverage, yard setbacks and other site aspects.

4. Non-Profit clubs, providing that no residential facilities of any kind be a part of the premises, ingress and egress to the site shall be directly from a major thoroughfare.

5. Offices, when such use is not in conflict with the over-all residential character of the area, with the traffic generated by such office not in excess of that normally created by multiple-family uses.

a. Ingress and egress to the site shall be provided directly onto a major thoroughfare.

b. The minimum side yard shall be twenty-five (25) feet when the abutting use is residential.

6. Accessory buildings and uses customarily incident to any of the above uses.

SECTION 602. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, the minimum size of lot permitted by land use, and the maximum density permitted.

ARTICLE VII - 0-1 AND 0-2 OFFICE DISTRICTS

PREAMBLE:

The 0-1 AND 0-2 OFFICE DISTRICTS are designed to accommodate office buildings and uses and basic personal services and are, as a use district, intended to serve the function of land-use transition between the Commercial Districts and the adjacent Residential Districts.

SECTION 700. PRINCIPAL USES PERMITTED:

In an Office District no building or land shall be used and no building shall be erected except for one or more of the following specified uses, unless otherwise provided in this Ordinance:

1. Office buildings for any of the following occupations: executive, administrative and professional.
2. Medical and dental offices, including clinics, except veterinary.
3. Banks, post offices, or other governmental office-buildings.
4. Funeral homes (mortuaries).
5. Churches.
6. Private clubs or lodge halls.
7. Municipal buildings, and public-utility offices, but not including storage yards, transformer stations, exchanges, or substations.
8. Other uses similar to the above uses.
9. Accessory buildings and uses customarily incident to any of the above permitted uses.

SECTION 701. REQUIRED CONDITIONS:

1. No interior display shall be visible from the exterior of the building, and the total area devoted to display, including both the objects displayed and the floor space set aside for persons observing the displayed objects, shall not exceed twenty-five (25) percent of the useable floor area of either the first or second story, or in the basement.
2. The outdoor storage of goods or materials shall be prohibited irrespective of whether or not they are for sale.
3. Warehousing or indoor storage of goods or materials, beyond that normally incident to the above permitted uses, shall be prohibited.

SECTION 702. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting height and bulk of buildings and minimum size of lot by permitted land-use.

ARTICLE VIII - B-1 LOCAL BUSINESS DISTRICT

PREAMBLE:

The B-1 LOCAL BUSINESS DISTRICT is designed solely for the convenience-shopping of persons residing in adjacent residential areas, to permit only such uses as are necessary to satisfy those limited basic-shopping and/or service needs which by their very nature are not related to the shopping pattern of the Central Business District or the General Business District.

SECTION 800. PRINCIPAL USES PERMITTED:

1. Any use permitted and as regulated in the 0-2 Office Building Districts.
2. Any generally recognized retail business which supplies commodities on the premises, for persons residing in adjacent residential areas such as: groceries, meats, dairy products, baked goods or other foods, drugs, dry goods and notions or hardware.
3. Any personal service establishment which performs services on the premises for persons residing in adjacent residential areas, such as: shoe repair, dry-cleaning shops, tailor shops, beauty parlors, barber shops, banks and savings and loan offices, or any service establishment of an office-showroom or workshop nature of an electrician, decorator, dressmaker, tailor, shoemaker, baker, printer, upholsterer, or an establishment doing radio, television or home-appliance repair, photographic reproduction, and similar establishments that require a retail adjunct and of no more objectionable character than the aforementioned subject to the provisions: That no more than five (5) persons shall be employed at any time in the fabrication, repair and other processing of goods.
4. Restaurants, or other places serving food except those having the character of a "drive-in" so called.
5. Professional offices of doctors, lawyers, dentists, chiropractors, osteopaths, architects, engineers, and similar or allied professions.
6. Other uses similar to the above and subject to the following restrictions:
 - a. All business establishments shall be retail or service establishments dealing directly with consumers. All goods produced on the premises shall be sold at retail on premises where produced.
 - b. All business, servicing or processing except off-street parking or loading, shall be conducted within completely enclosed buildings.
7. Accessory structures, uses and signs customarily incident to the above permitted uses and subject to all requirements of this Ordinance.

SECTION 801. REQUIRED CONDITIONS:

Since this district is for the convenience-shopping of persons residing in adjacent residential areas, permitted uses shall not include business in the character of a drive-in or open-front stores nor shall it include one (1) and two (2)-family dwellings, except existing dwellings so used.

SECTION 802. USES SUBJECT TO SPECIAL CONDITIONS:

The following uses may be permitted subject to the conditions hereinafter imposed for each use and subject further to the review and approval of the Planning Commission:

1. Automobile service-station for sale of gasoline, oil, and minor accessories only, and subject to the following:
 - a. The curb cuts for ingress and egress to a service station shall not be permitted at such locations that will tend to create traffic hazards in the streets immediately adjacent thereto. Entrances shall be no less than twenty-five (25) feet from a street intersection (measured from the roadway) right-of-way or from adjacent residential districts.
 - b. The minimum lot-area shall be ten thousand (10,000) square feet, and so arranged that ample space is available for motor vehicles which are required to wait.
 - c. There shall be provided, on those sides abutting or adjacent to a residential district, a completely obscuring wall or fence with a minimum height of four feet six inches (4'-6"). The height of the wall or fence shall be measured from the surface of the ground.
 - d. All lighting shall be shielded from adjacent residential districts or uses and from abutting streets.

- e. All restroom doors shall be shielded from adjoining residential property.
 2. Publicly owned buildings, public-utility buildings, telephone-exchange buildings, electric-transformer stations and substations, and gas-regulator stations with service yards but without storage yards. Water and sewage pumping stations.
 3. Accessory buildings and uses customarily incident to any of the above uses.
- SECTION 803. AREA AND BULK REQUIREMENTS:
- See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, and the minimum size of lot by permitted land-use.

ARTICLE IX - B-2 CENTRAL BUSINESS DISTRICT

PREAMBLE:

The B-2 CENTRAL BUSINESS DISTRICT is designed to provide for office buildings and the great variety of large retail stores and related activities which occupy the prime retail-frontage by serving the comparison, convenience and service needs of the entire municipal area as well as a substantial area of the adjacent and surrounding residential developments beyond the municipal limits. The district regulations are designed to promote convenient pedestrian shopping and the stability of retail development by encouraging a continuous retail-frontage and by prohibiting automotive-related services and non-retail uses which tend to break up such continuity.

SECTION 900. PRINCIPAL USES PERMITTED:

In a Central Business District, no building or land shall be used and no building shall be erected except for one or more of the following specified uses, unless otherwise provided in this Ordinance:

1. Any generally recognized retail business which supplies commodities on the premises within a completely enclosed building, such as, but not limited to: foods, drugs, liquor, furniture, clothing, dry goods, notions, or hardware.
2. Any personal service establishment which performs services on the premises within a completely enclosed building, such as, but not limited to: repair shops (watches, radio, television, shoe, and etc.), tailor shops, beauty parlors, barber shops, interior decorators, photographers and dry cleaners.
3. Restaurants and taverns where the patrons are served while seated within a building occupied by such establishment, and wherein said establishment does not extend as an integral part of, or accessory thereto, any service of a drive-in or open-front store.
4. Theaters or assembly halls when completely enclosed.
5. Offices and office buildings of an executive, administrative or professional nature.
6. Banks, with drive-in facilities permitted when said drive-in facilities are incidental to the principal function.
7. Municipal buildings and governmental offices.
8. Offices and showrooms of plumbers, electricians, decorator or similar trades, in connection with which not more than twenty-five (25) percent of the floor area of the building or part of the building occupied by said establishment is used for making, assembling, remodeling, repairing, altering, finishing, or refinishing its products or merchandise, and provided that: The ground-floor premises facing upon, and visible from any abutting street shall be used only for entrances, offices, or display. All storage of materials on any land shall be within the confines of the building or part thereof occupied by said establishment.
9. Business schools, or private schools operated for profit. Examples of private schools permitted herein include, but are not limited to, the following: dance schools, music and voice schools, and art studios.

10. Newspaper offices and printing plants.
11. Storage facilities when incident to and physically connected with any principal use permitted, provided that such facility be within the confines of the building or part thereof occupied by said establishment.
12. Other uses which are similar to the above and subject to the following restrictions:
 - a. All business establishments shall be retail or service establishments dealing directly with consumers. All goods produced on the premises shall be sold at retail from premises where produced.
 - b. All business, servicing, or processing except for off-street parking or loading, shall be conducted within completely enclosed buildings.
 - c. Outdoor storage of commodities shall be expressly prohibited.
13. Accessory structures customarily incident to the above permitted uses.

SECTION 901. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, and the minimum size of lot permitted.

ARTICLE X - B-3 GENERAL BUSINESS DISTRICT

PREAMBLE:

The B-3 GENERAL BUSINESS DISTRICTS are designed to furnish areas served typically by the Central Business District with a variety of automotive services and goods incompatible with the uses and with the pedestrian movement in such Central Business District. The General Business Districts are characterized by more diversified business-types and are often located so as to serve the passerby traffic.

SECTION 1000. PRINCIPAL USES PERMITTED:

In a General Business District, no building or land shall be used and no building shall be erected except for one or more of the following specified uses unless otherwise provided in this Ordinance:

1. Any retail business or service establishment permitted in a B-2 Central Business District as a principal use, permitted.
2. New-automobile sales or showroom and any accessory parking or outdoor sales area subject to the conditions under SECTION 1001 Subsection 1, exclusive of paint, bump and undercoating shop.
3. Bus-passenger stations.
4. Funeral homes.
5. Highspeed automobile car wash, when completely enclosed in a building.
6. Private clubs or lodge halls.
7. Governmental offices or other governmental uses; public-utility offices, exchanges, transformer stations, pump stations, and service yards, but not including outdoor storage.
8. Clinics.
9. Retail cold-storage establishments.
10. Self-service laundry and dry-cleaning establishments.
11. Bowling alleys, indoor archery range, indoor tennis courts or similar forms of indoor commercial recreation.
12. Pool or billiard parlor or club.
13. Storage of materials or goods to be sold at retail provided such storage is within a building or is enclosed as not to be visible to the public from any abutting non-industrial district or public street.
14. Other uses which are similar to the above uses.
15. Accessory structures customarily incident to the above permitted uses.

SECTION 1001. USES SUBJECT TO SPECIAL CONDITIONS:

The following uses shall be permitted subject to the conditions herein imposed

for each use and subject further to the review and approval of the Planning Commission:

1. Outdoor sales-space for exclusive sale of second-hand automobiles or house trailer subject to the following:
 - a. Ingress and egress to the outdoor sales-area shall be at least sixty (60) feet from a street intersection (measured from the road right-of-way) or from an adjacent residential district.
 - b. No major repair or major refinishing shall be done on the lot.
2. Motel, or Hotel subject to the following:
 - a. Provided that it can be demonstrated that ingress and egress do not conflict with adjacent business uses.
 - b. Each unit shall contain not less than two hundred and fifty (250) square feet of floor area.
3. Business in the character of a drive-in, so called, or so-called open-front store subject to the following:
 - a. A setback of at least sixty (60) feet from the street right-of-way line of any existing or Major Thoroughfare Plan street must be maintained.
 - b. Ingress and egress points shall be located at least sixty (60) feet from a street intersection (measured from the road right-of-way) or from an adjacent residential district.
4. Commercially used outdoor recreational space for children's amusement parks, miniature golf courses, subject to the following:
 - a. Children's amusement park must be fenced on all sides with a four (4)-foot wall or fence.
 - b. Adequate parking shall be provided off the road right-of-way and shall be fenced with a four-foot six-inch (4'-6") wall or fence where adjacent to the use.
5. Automobile repair station for sale of gasoline, oil, and minor accessories only, and subject to the following:
 - a. The curb cuts for ingress and egress to a service station shall not be permitted at such locations that will tend to create traffic hazards in the streets immediately adjacent thereto. Entrances shall be no less than twenty-five (25) feet from a street intersection (measured from the road right-of-way) or from an adjacent residential district.
 - b. The minimum lot-area shall be ten thousand (10,000) square feet, and so arranged that ample space is available for motor vehicles which are required to wait.
 - c. Major engine and body repair, steam-cleaning and undercoating when conducted on the site shall be within a completely enclosed building. The storage of wrecked automobiles on the site shall be obscured from public view. No automobile or vehicle of any kind, shall be stored in the open for a period exceeding one (1) week.
 - d. All restroom doors shall be shielded from adjacent streets and residential districts.
6. Veterinary hospital or clinics, provided all activities are conducted within a totally enclosed main building and provided further that all adjacent property is zoned 0-1, 0-2, B-1, B-2, B-3, I-1, or I-2.

SECTION 1002. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings and minimum size of lot by permitted land-use.

ARTICLE XI - I-1 LIGHT INDUSTRIAL DISTRICTS

PREAMBLE:

The I-1 LIGHT INDUSTRIAL DISTRICTS are designed so as to primarily accommodate wholesale activities, warehouses, and industrial operations whose external, physical effects are restricted to the area of the district and in no manner affect in a detrimental way any of the surrounding districts.

SECTION 1100. PRINCIPAL USES PERMITTED:

In an Industrial District, no land or building shall be used and no building shall be erected except for one or more of the following specified uses, unless otherwise provided in this Ordinance:

1. Any of the following uses when conducted wholly within a completely enclosed building, or within a designated area enclosed on all sides with a six (6)-foot fence or solid wall. Said fence or wall shall be completely obscuring on those sides where abutting or adjacent to districts zoned or used for residential purposes.
 - a. Warehousing and wholesale establishments, and trucking facilities.
 - b. The manufacture, compounding, processing, packaging, or treatment of such products as, but not limited to: bakery goods, candy, cosmetics, pharmaceuticals, toiletries, food products, hardware and cutlery; tool, die, gauge, and machine shops.
 - c. The manufacture, compounding, assembling, or treatment of articles or merchandise from previously prepared materials such as, but not limited to: bone, canvas, cellophane, cloth, cork, feathers, felt, fibre, fur, glass, hair, horn, leather, paper, plastics, precious or semi-precious metals or stones, sheet metal (excluding large stampings such as automobile fenders or bodies); shell, textiles, tobacco, wax, wire, wood (excluding saw and planing mills), and yarns.
 - d. The manufacture of pottery and figurines or other similar ceramic products using only previously pulverized clay, and kilns fired only by electricity or gas.
 - e. Manufacture of musical instruments, toys, novelties, and metal or rubber stamps, or other small molded-rubber products.
 - f. Manufacture or assembly of electrical appliances, electronic instruments and devices, radios and phonographs.
 - g. Laboratories - experimental, film, or testing.
 - h. Manufacturing and repair of electric or neon signs, light sheet-metal products, including heating and ventilating equipment, cornices, eaves and the like.
 - i. Warehouse, storage and transfer and electric and gas service-buildings and yards. Water supply and sewage-disposal plants. Water and gas-tank holders. Railroad transfer and storage tracks. Heating and electric-power generating plants, and all necessary uses. Railroad rights-of-way and freight terminals.
 - j. Storage facilities for building materials, sand, gravel, stone, lumber, open storage of contractor's equipment and supplies, provided such is enclosed within a building or within an obscuring wall or fence on those sides abutting all Residential, Business or Office Districts, and on any front yard abutting a public thoroughfare. In any I-1 District the extent of such fence or wall may be determined by the Board of Appeals on the basis of usage. Such fence or wall shall not be less than six (6) feet in height, and may, depending on land usage, be required to be eight (8) feet in height.
2. All public utilities, including buildings, necessary structures, storage yards and other related uses.
3. Accessory buildings and uses customarily incident to any of the above permitted uses.
4. Other uses of a similar character subject to such conditions, requirements and safeguards as set forth in SECTION 1102, and 1103.

SECTION 1101. USES SUBJECT TO SPECIAL CONDITIONS:

The following uses shall be permitted subject to the conditions hereinafter imposed for each use and subject further to the review and approval of the Planning Commission.

1. Restaurants or other places serving food or beverage except those having the character of a drive-in so called, automobile service-stations, newsstands and tobacco shops, which in the opinion of the Planning Commission are intended to serve the convenience-needs of persons working in the I-1 District, subject to the regulations applicable to such uses.
2. Auto-repair station and undercoating shops when completely enclosed.
3. Lumber and planing mills when completely enclosed and when located in the interior of the district so that no property line shall form the exterior boundary of the I-1 District.
4. Commercial kennels when within a completely enclosed building and when located in the interior of the I-1 District so that no property line shall form the exterior boundary of the I-1 District.
5. Incineration of garbage or refuse when conducted within an approved and enclosed incinerator plant.
6. Metal plating, buffing and polishing, subject to appropriate measures to control the type of process to prevent noxious result and/or nuisances.
7. Other uses, which in the determination of the Board of Appeals are of a similar character to the above uses, and subject to the requirements set forth in SECTION 1102 AND 1103.
8. New-automobile sales or showroom and any accessory parking or outdoor sales area subject to the conditions under SECTION 1001, Subsection 1 a. Paint, bump and undercoating shop also be permitted as accessory uses.
9. The bulk-storage of petroleum or chemical products subject to all applicable state and local requirements regarding such materials and provided such areas are within an obscuring wall or fence on those sides abutting all Residential, Business Districts and on any yard abutting a public thoroughfare. The extent of such fence or wall may be determined by the Board of Appeals, and shall not be less than six (6) feet in height, and may be required to be eight (8) feet in height depending upon the determination of the Zoning Board of Appeals relative to the nature of the storage area.

SECTION 1102. REQUIRED CONDITIONS:

Any use established in the I-1 District after the effective date of this Ordinance shall be operated so as to comply with the performance standards set forth hereinafter in ARTICLE XV, "GENERAL PROVISIONS."

SECTION 1103. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings and the minimum size of lot by permitted land-use.

ARTICLE XII - I-2 HEAVY INDUSTRIAL DISTRICTS

PREAMBLE:

THE I-2 HEAVY INDUSTRIAL DISTRICT is designed primarily for manufacturing, assembling, and fabrication activities including large-scale or specialized industrial operations, whose external physical effects will be felt to some degree by surrounding districts.

SECTION 1200. PRINCIPAL USES PERMITTED:

1. Any principal use first permitted in an I-1 District.
2. Any production, processing, cleaning, servicing, testing, repair, or storage of materials, goods, or products which shall conform with the performance standards set forth in ARTICLE XV, "GENERAL PROVISIONS" (except such uses as specifically excluded from the City of Plymouth in accordance with the provisions of SECTION 1201) and which shall not be injurious or offensive to the occupants of adjacent premises by reason of the emission or creation of noise, vibration, smoke, dust or other particulate matter, toxic and noxious materials, odors, fire or explosive hazards, or glare or heat.
3. Any of the following uses provided that they shall be located not less than eight hundred (800) feet distant from any residential district, and three hundred (300) feet distant from any other district, and when authorized by the Planning Commission.
 - a. Blast furnaces, steel furnaces, blooming or rolling mills.
 - b. Manufacture of corrosive acid or alkali, cement, lime, gypsum or Plaster of Paris.
 - c. Smelting of copper, iron or zinc ore.
4. Junk yards and places so called for the dismantling, wrecking and disposing of the junk and/or refuse material of agricultural and automotive vehicles may be granted. Permits or licenses for one-year periods upon authorized inspection and approval of the Building Inspector, whose approval shall be based on the Performance Standards set forth in ARTICLE XV of this Ordinance, provided such use is not closer than three hundred (300) feet from the border of any I-2 District.
5. Nonaccessory signs shall be permitted in accordance with the requirements set forth in SECTION 1510.
6. Temporary buildings and uses for construction purposes for a period of one (1) year or less.
7. Accessory uses.

SECTION 1201. USES PROHIBITED:

No activities involving the storage, utilization or manufacture of materials or products which decompose by detonation shall be permitted within the City of Plymouth except such as are approved by the Fire Department and are so licensed.

SECTION 1202. REQUIRED CONDITIONS:

Any use established in the I-2 District after the effective date of this Ordinance shall be operated so as to comply with the performance standards set forth hereinafter in ARTICLE XV, "GENERAL PROVISIONS."

SECTION 1203. AREA AND BULK REQUIREMENTS:

See ARTICLE XIV, "SCHEDULE OF REGULATIONS" limiting the height and bulk of buildings, and the minimum size of lot by permitted land-use.

ARTICLE XIII - P-1 VEHICULAR PARKING DISTRICTS

PREAMBLE:

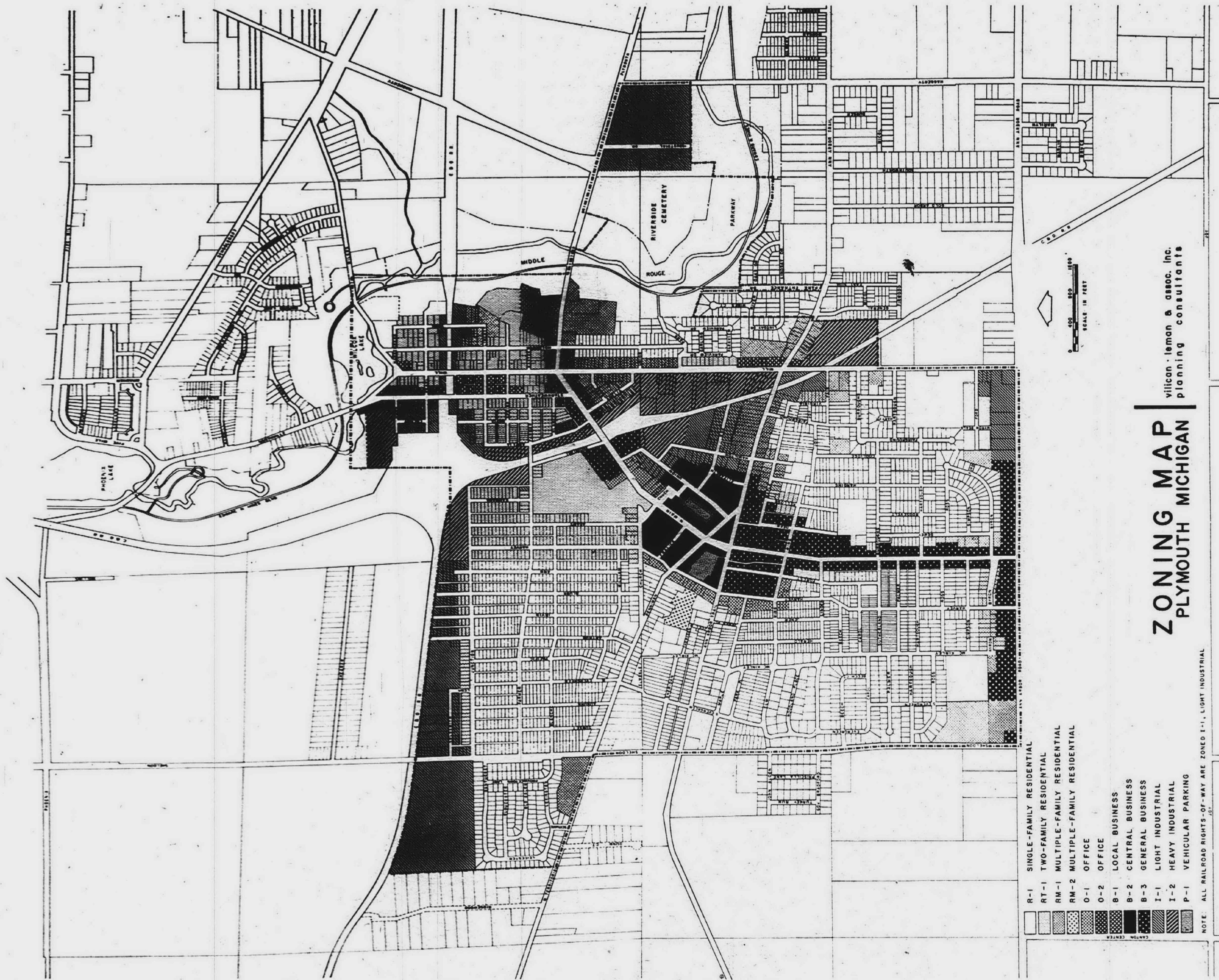
This District is designed to accommodate off-street parking for those nonresidential uses which are not able to provide adequate space within their own district boundaries.

SECTION 1300. USES PERMITTED:

Premises in the Vehicular Parking District shall be used only for an off-street vehicular parking area and shall be developed and maintained subject to such regulations as are hereinafter provided.

SECTION 1301. LIMITATION OF USE:

1. The parking area shall be accessory to, and for the use in connection with one or more business or industrial establishments, or in connection with one or more existing professional or institutional office-buildings or institutions.
2. The parking area shall be used solely for parking of private passenger vehicles,



for periods of less than one (1) day.

3. No commercial repair work or service of any kind, or sale or display thereof, shall be conducted in such parking area.
4. No signs of any kind, other than signs designating entrances, exits and conditions of use, shall be maintained on such parking areas.
5. No building other than those for shelter of attendants shall be erected upon premises and they shall not exceed fourteen (14) feet in height.
6. Such parking lots shall be contiguous to a O-1, O-1, B-2, B-3, I-1, or I-2 District. Parking areas may be approved when adjacent to said districts, or on the end of a block where such areas front on a street which is perpendicular to that street servicing the district. There may be a private driveway or public street or public alley between such P-1 District and such O-1, O-2, B-1, B-2, B-3, I-1 or I-2 Districts.
7. Applications for P-1 District rezoning shall be made to the Planning Commission by submitting a layout of the area requested showing the intended parking plan.

SECTION 1302. PARKING LAYOUT, ENTRANCE AND EXIT:

Off-street parking lots shall be laid out, constructed, and maintained in accordance with the following standards and regulations:

1. Plans for the layout of off-street parking facilities shall be in accord with the following minimum requirements:

Parking Pattern	Maneuvering Lane Width	Parking Space Width	Parking Space Length	Total Width Of One Tier Of Spaces Plus Maneuvering Lane	Total Width Of Two Tiers Of Spaces Plus Maneuvering Lane
0° (Parallel parking)	12 ft.	8 ft.	22 ft.	23 ft.	28 ft.
30° to 55°	12 ft.	8 ft. 6 in.	20 ft.	32 ft.	52 ft.
54° to 74°	15 ft.	8 ft. 6 in.	20 ft.	36 ft. 6 in.	58 ft.
75° to 90°	20 ft.	9 ft.	20 ft.	40 ft.	60 ft.

(See sketches on following page.)

2. All maneuvering-lane widths shall permit one-way traffic movement, with the exception of the 90° pattern where two-way movement may be permitted.
3. All spaces shall be provided with adequate access by means of maneuvering lanes. Backing directly onto a street shall be prohibited.
4. Adequate ingress and egress to the parking lot by means of clearly limited and defined drives shall be provided for all vehicles.
5. Each entrance and exit to and from such parking lot shall be at least twenty (20) feet distant from any adjacent property located in any residential district.

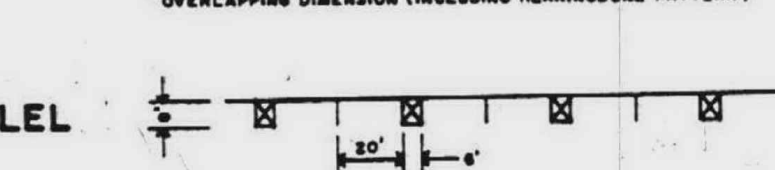
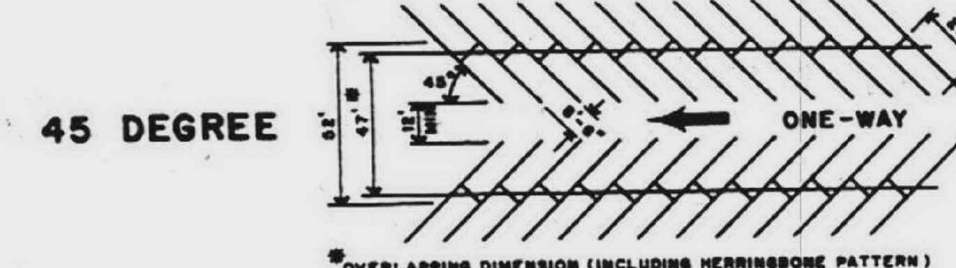
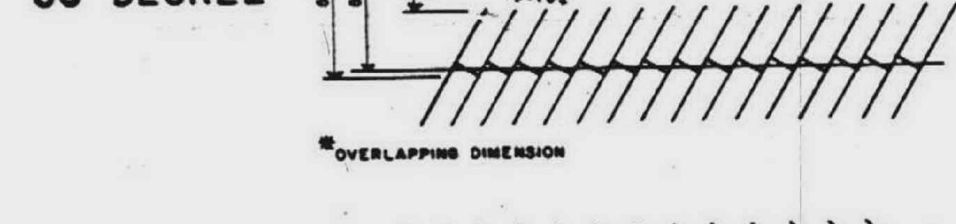
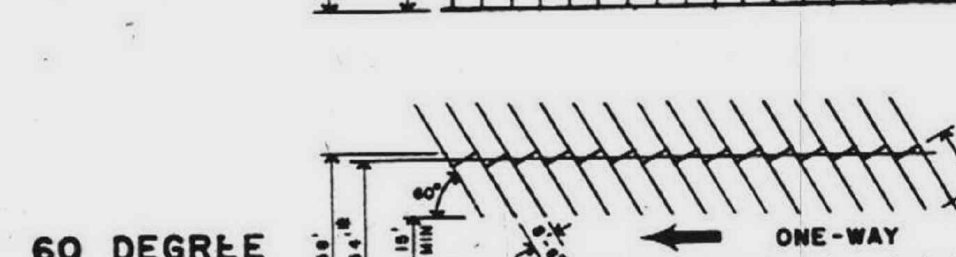
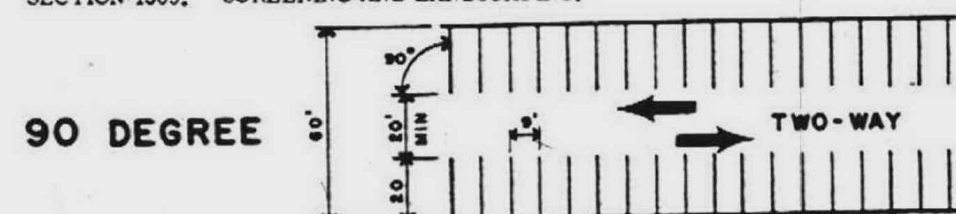
SECTION 1303. SIDE YARDS:

Where the P-1 District is contiguous to side lot-lines of premises within a residentially zoned district, the required wall shall be located on the property line.

SECTION 1304. FRONT YARDS:

Where the P-1 District is contiguous to a residentially zoned district which has a common frontage on the same block with residential structures, or wherein no residential structures have been yet erected, there shall be a setback equal to the required residential setback for said residential district, or a minimum of twenty-five (25) feet, or whichever is the greater. The required wall shall be located on this minimum setback line.

SECTION 1305. SCREENING AND LANDSCAPING:



PARKING LAYOUTS

The parking area shall be provided with a continuous and obscuring wood or masonry wall or fence four feet six inches (4' - 6") in height measured from the surface of the parking area. This wall or fence shall be provided on all sides where the next zoning district is designated as a residential district. Whenever such wall is required, and where land exists between said wall and boundaries of the P-1 District it shall be kept free from refuse and debris and shall be landscaped with deciduous shrubs, evergreen material and ornamental trees. Ornamental trees shall be planted at thirty (30)-foot intervals, six (6) feet from wall. The ground area shall be planted and kept in lawn. All such landscaping and planting shall be maintained in a healthy, growing condition, neat and orderly in appearance.

All planting plans shall be in accordance with the provisions of the preceding paragraph and in accordance with SECTION 1509, and 1512, of this Ordinance.

SECTION 1306. SURFACING OF PARKING AREA:

The entire parking area, including parking spaces and maneuvering lanes, required under this SECTION, shall have asphaltic or concrete surfacing in accordance with specifications approved by the City Engineer. Such facilities shall be so provided with underground drains so as to dispose of all surface water in the parking area. The parking area shall be surfaced within six (6) months of the date of rezoning for P-1 Vehicular Parking-use if the parking area is to serve an existing use or uses.

SECTION 1307. LIGHTING:

All lighting used to illuminate a P-1 District off-street parking area shall not exceed twenty (20) feet in over-all height above ground level and shall be so installed as to be confined within and directed on the parking area only.

SECTION 1308. APPROVAL AND MODIFICATIONS:

1. The Board of Appeals, upon application by the property owner of the parking area, may modify the yard and wall requirement where, in unusual circumstances, no good purpose would be served by compliance with the requirements of the ARTICLE.
2. In all cases where a wall extends to an alley which is a means of ingress and egress to a parking area, it shall be permissible to end the wall not more than ten (10) feet from such alley line in order to permit a wider means of access to the parking area.
3. In addition to the above requirements, such parking area shall comply with such further requirements or conditions as may be prescribed by the Planning Commission for the protection of the residential district abutting such parcel or parcels in which the parking area is to be located.

ARTICLE XIV - SCHEDULE OF REGULATIONS

Plymouth

SECTION 1400. LIMITING HEIGHT, BULK, DENSITY, AND AREA BY LAND USE

USE DISTRICT	MINIMUM LOT SIZE PER DWELLING UNIT (SQ. FT.)	MAX. HEIGHT OF STRUCTURE (FT.)	MINIMUM YARD SETBACK (PER LOT IN FEET)			MINIMUM FLOOR AREA PER UNIT (SQ. FT.)	MAX. % OF LOT AREA COVERED BY ALL BUILDINGS	MAXIMUM FLOOR AREA RATIO (PER LOT)
			FRONT	REAR	SIDE			
R-1 Single Family Resid.	7,200	25	25	25	25	950	30%	-
R-1.5 Two-Family Resid.	5,000	25	25	25	25	780	30%	-
RM-1 Multiple-Family Resid.	(a)	25	25	25	25	(a)	30%	0.5
RM-2 Multiple-Family Resid.	(b)	25	25	25	25	(b)	30%	1.5
O-1 Office	(c)	25	25	25	25	(c)	30%	1.0
O-2 Office	(d)	25	25	25	25	(d)	30%	1.5
B-1 Local Business	(e)	25	25	25	25	(e)	30%	1.0
B-2 General Business	(f)	25	25	25	25	(f)	30%	4.0
B-3 General Business	(g)	25	25	25	25	(g)	30%	1.8
L-1 Light	(h)	25	25	25	25	(h)	30%	-
L-2 Heavy	(i)	25	25	25	25	(i)	30%	-

FOOTNOTES:

- (a) The side yard abutting upon a street shall not be less than eight (8) feet when there is a common rear yard. In case of a rear yard abutting a side yard of an adjacent lot, the side abutting a street shall not be less than the required front yard of that district.
- (b) The height of any main building or accessory buildings may exceed the maximum permitted height by one (1) foot for each additional one (1) foot by which the width of each yard exceeds the minimum yard requirement.
- (c) The total number of rooms in a multiple-dwelling structure of two (2) stories or less shall not be more than the area of the parcel, in square feet divided by nine hundred (900). The total number of rooms in a multiple dwelling of over two (2) stories shall not be more than the area of the parcel, in square feet, divided by five hundred (500). Not more than ten percent (10%) of the units on any given parcel may be of an efficiency-apartment type. For the purpose of computing rooms, the following shall control:

Efficiency-Apartment Unit	one (1) room	Plans presented showing 1, 2, or 3-bedroom
One (1)-Bedroom Unit	two (2) rooms	units and including a den, library, or
Two (2)-Bedroom Unit	three (3) rooms	other extra room shall count such extra
Three (3)-Bedroom Unit	four (4) rooms	rooms as a bedroom for the purpose of
Four (4)-Bedroom Unit	five (5) rooms	computing density.

The area used for computing density shall be the total site-area exclusive of any dedicated public right-of-way of either interior or bordering streets.

- (d) In RM-2 Districts the minimum front and rear yards shall be equal to the height of the building, except that where a front lot-line abuts a street, one-half the width of the right-of-way of said street may be considered as front-yard setback, but in no instance shall any front or rear yard setback be less than twenty-five (25) feet. In all RM-1 and RM-2 Multiple-Family Residence Districts, the minimum amount of useable open-space or recreation area per dwelling unit (exclusive of a required front yard, parking areas or driveways) shall be equal to 150 square feet of lot area per bedroom. A balcony or roof sun-deck of 50 square feet or greater may be counted toward meeting the minimum amount of open space per dwelling unit. In all RM-1 and RM-2 Multiple Residence Districts, the minimum distance between any two (2) buildings, shall be regulated according to the length and height of such buildings; however, in no instance shall this distance be less than thirty (30) feet. The formula regulating the re-

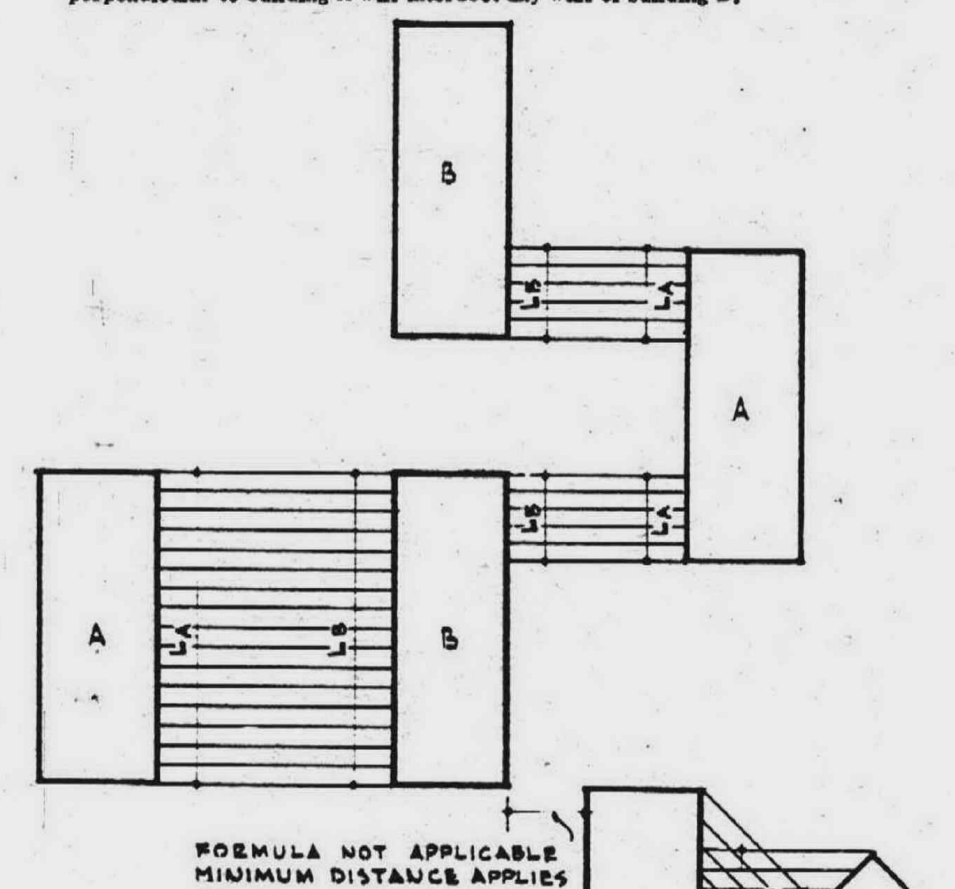
quired minimum distance between two (2) buildings is as follows:

$$S = \frac{LA + LB + 2(HA + HB)}{6}$$

S = Required minimum horizontal distance between any wall of building A and any wall of building B or the vertical prolongation of either.

LA = Total length of building A.

The total length of building A is the length of that portion or portions of a wall or walls of building A from which, when viewed directly from above, lines drawn perpendicular to building A will intersect any wall of building B.



MIN. DISTANCE BETWEEN BUILDINGS

$$= \frac{LA + LB + 2(HA + HB)}{6}$$

DISTANCE SPACING FOR MULTIPLE DWELLINGS

LB = The total length of building B.

The total length of building B is the length of that portion or portions of a wall or walls of building B from which, when viewed directly from above, lines drawn perpendicular to building B will intersect any wall of building A.

HA = Height of building A.

The height of building A at any given level is the height above natural grade level of any portion or portions of a wall or walls along the length of building A. Natural grade-level shall be the mean level of the ground immediately adjoining the portion or portions of a wall or walls along the total length of the building.

HB = Height of building B.

The height of building B at any given level is the height above natural grade level of any portion or portions of a wall or walls along the length of building B. Natural grade-level shall be the mean level of the ground immediately adjoining the portion or portions of the wall or walls along the total length of the building.

- (e) Any side or rear yard for a principal use or a special use permitted in this district other than one-family, two-family and multiple-family dwellings shall not be less than the height of the structure at the side or rear lot-line.
- (f) For each story in excess of two (2) stories, a side yard of 2-1/2 feet for each additional story shall be provided, in addition to the minimum ten (10)-foot requirement. The distance between buildings on the same lot shall be regulated by the building-distance formula specified in paragraph (d) of this section.
- (g) In a block on one side of a street thirty (30%) per cent or more occupied, the depth of the front yard shall not be less than, and need not be more than, the average depth of front yards of existing buildings.
- (h) No side yards are required along the interior side lot-lines, except as otherwise specified in the Building Code. On the exterior side yard which borders on a Residential District, there shall be provided a setback of not less than ten (10) feet on the side or residential street. If walls of structures facing interior lot lines contain windows or other openings, side yards of not less than ten (10) feet shall be provided. The setback shall be measured from the nearest side of the existing and/or proposed right-of-way lines, whichever is greater.
- (i) A four-foot, six-inch (4'-6") obscuring wall or fence, or a ten (10)-foot wide

greenbelt, shall be provided on those sides of the property abutting land zoned for residential use. The greenbelt planting-plan shall be reviewed and approved by the Building Inspector in conformity with the requirements of SECTION 1509.

(j) One half (1/2) the width of alleys at the rear of the lot may be considered in computing rear-yard setbacks.

(k) Parking shall be permitted in a required front yard.

(l) A four-foot, six-inch (4'-6") obscuring wall or fence and a twenty (20)-foot wide greenbelt shall be provided on those sides of the property abutting land zoned for residential use. The planting plan shall be reviewed and approved by the Building Inspector in conformity with SECTION 1509.

(m) Planned developments involving one (1) acre or more shall be subject to the approval of the City Commission after having received the review and recommendation of the Planning Commission regarding modification to height and bulk restrictions of this ARTICLE; it being the intent hereof to allow for greater height where adequate site relationship to abutting zones or uses can be maintained.

(n) Off-street loading space shall be provided in the rear yard in the ratio of at least one space per each establishment and shall be provided in addition to any required off-street parking area. Off-street loading space shall further meet the requirements of SECTION 1506, ARTICLE XV, "GENERAL PROVISIONS."

SECTION 1401. AVERAGED LOT SIZES:

The intent of this section is to permit the subdivider or developer to vary his lot sizes and lot widths so as to average the minimum size of lot per unit as required in SECTION 1400, "SCHEDULE OF REGULATIONS", for the One-Family Residential District. If this option is selected, the following conditions shall be met:

1. In meeting the average minimum lot size the subdivision shall be so designed as not to create lots of widths of less than fifty-five (55) feet in an R-1 District.
2. All computations showing lot area and the average area resulting through this technique shall be indicated on the print of the preliminary plat.

ARTICLE XV - GENERAL PROVISIONS

SECTION 1500. CONFLICTING REGULATIONS:

Whenever any provision of this Ordinance imposes more stringent requirements, regulations, restrictions or limitations than are imposed or required by the provisions of any other law or ordinance, then the provisions of this Ordinance shall govern. Whenever the provisions of any other law or ordinance impose more stringent requirements than are imposed or required by this Ordinance, then the provisions of such law or ordinance shall govern.

SECTION 1501. SCOPE:

No building or structure, or part thereof, shall hereafter be erected, constructed or altered and maintained, and no new use or change shall be made or maintained of any building, structure or land, or part thereof, except in conformity with the provisions of this Ordinance.

SECTION 1502. NONCONFORMING LOTS, NONCONFORMING USES OF LAND, NONCONFORMING STRUCTURES, AND NONCONFORMING USES OF STRUCTURES AND PREMISES:

1. Intent
Within the districts established by this Ordinance or amendments that may later be adopted there exists lots, structures, and uses of land and structures which were lawful before this Ordinance was passed or amended, but which would be prohibited, regulated, or restricted under the terms of this Ordinance or future amendment.

It is the intent of this Ordinance to permit these nonconformities to continue until they are removed, but not to encourage their survival. Such uses are declared by this Ordinance to be incompatible with permitted uses in the districts involved. It is further the intent of this Ordinance that nonconformities shall not be enlarged upon, expanded or extended, nor be used as grounds for adding other structures or uses prohibited elsewhere in the same district.

A nonconforming use of a structure, a nonconforming use of land, or a nonconforming use of a structure and land shall not be extended or enlarged after passage of this Ordinance by attachment on a building or premises of additional signs intended to be seen from off the premises, or by the addition of other uses of a nature which would be prohibited generally in the district involved. To avoid undue hardship, nothing in this Ordinance shall be deemed to require a change in the plans, construction, or designated use of any building on which actual construction was lawfully begun prior to the effective date of adoption of amendment of this Ordinance and upon which actual building construction has been diligently carried on. Actual construction is hereby defined to include the placing of construction materials in permanent position and fastened in a permanent manner; except that where demolition or removal of an existing building has been substantially begun preparatory by rebuilding, such demolition or removal shall be deemed to be actual construction, provided that work shall be diligently carried on until completion of the building involved.

2. Nonconforming Lots

In any district in which single-family dwellings are permitted, notwithstanding limitations imposed by other provisions of this Ordinance, a single-family dwelling and customary accessory buildings may be erected on any single lot of record at the effective date of adoption or amendment of this Ordinance. This provision shall apply even though such lot fails to meet the requirements for area or width, or both, that are generally applicable in the district; provided that yard dimensions and other requirements not involving area or width, or both, of the lot shall conform to the regulations for the district in which such lot is located. Variance to yard requirements shall be obtained through approval of the Board of Appeals.

3. Nonconforming Uses of Land

Where, at the effective date of adoption or amendment of this Ordinance, lawful use of land exists that is made no longer permissible under the terms of this Ordinance as enacted or amended, such use may be continued, so long as it remains otherwise lawful, subject to the following provisions:

- a. No such nonconforming use shall be enlarged or increased, nor extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of this Ordinance.
- b. No such nonconforming use shall be moved in whole or in part to any other portion of the lot or parcel occupied by such use at the effective date of adoption or amendment of this Ordinance.
- c. If such nonconforming use of land ceases for any reason for a period of more than ninety (90) days, any subsequent use of such land shall conform to the regulations specified by this Ordinance for the district in which such land is located.

4. Nonconforming Structures

Where a lawful structure exists at the effective date of adoption or amendment of this Ordinance that could not be built under the terms of this Ordinance by reason of restrictions on area, lot coverage, height, yards, or other character-

istics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:

a. No such structure may be enlarged or altered in a way which increases its nonconformity.

b. Should such structure be destroyed by any means to an extent of more than fifty (50) percent of its replacement cost at time of destruction, it shall not be reconstructed except in conformity with the provisions of this Ordinance.

c. Should such structure be moved for any reason for any distance whatever, it shall thereafter conform to the regulations for the district in which it is located after it is moved.

5. Nonconforming Uses of Structures and Land

If a lawful use of a structure, or of structure and land in combination, exists at the effective date of adoption or amendment of this Ordinance, that would not be allowed in the district under the terms of this Ordinance, the lawful use may be continued so long as it remains otherwise lawful, subject to the following provisions:

a. No existing structure devoted to a use not permitted by this Ordinance in the district in which it is located shall be enlarged, extended, constructed, reconstructed, moved or structurally altered except in changing the use of the structure to a use permitted in the district in which it is located.

b. Any nonconforming use may be extended throughout any parts of a building which were manifestly arranged or designed for such use, and which existed at the time of adoption or amendment of this Ordinance, but no such use shall be extended to occupy land outside such building.

c. If no structural alterations are made, any nonconforming use of a structure, or structure and premises, may be changed to another nonconforming use provided that the Board of Appeals, either by general rule or by making findings in the specific case shall find that the proposed use is equally appropriate or more appropriate to the district than the existing nonconforming use. In permitting such change, the Board of Appeals may require appropriate conditions and safeguards in accord with the purpose and intent of this Ordinance.

d. Any structure, or structure and land in combination, in or on which a nonconforming use is superseded by a permitted use, shall thereafter conform to the regulations for the district in which such structure is located, and the nonconforming use may not thereafter be resumed.

e. When a nonconforming use of a structure, or structure and premises in combination, is discontinued or ceases to exist for six (6) consecutive months or for eighteen (18) months during any three (3)-year period, the structure or structure and premises in combination, shall not thereafter be used except in conformance with the regulations of the district in which it is located. Structures occupied by seasonal uses shall be excepted from this provision.

f. Where nonconforming-use status applies to a structure and premises in combination, removal or destruction of the structure shall eliminate the nonconforming status of the land.

6. Repairs and Maintenance

On any building devoted in whole or in part to any nonconforming use, work may be done in any period of twelve (12) consecutive months on ordinary repairs, or on repair or replacement of non-bearing walls, fixtures, wiring or plumbing to an extent not exceeding fifty (50) percent of the assessed value of

the building, provided that the cubic content of the building as it existed at the time of passage or amendment of this Ordinance shall not be increased. Nothing in this Ordinance shall be deemed to prevent the strengthening or restoring to a safe condition of any building or part thereof declared to be unsafe by an official charged with protecting the public safety, upon order of such official.

7. Uses Under Exception Provisions Not Nonconforming Uses

Any use for which a general exception or special approval is permitted as provided in this Ordinance shall not be deemed a nonconforming use, but shall without further action be deemed a conforming use in such district.

8. Change of Tenancy or Ownership

There may be a change of tenancy, ownership or management of any existing nonconforming uses of land, structures and premises provided there is no change in the nature or character of such nonconforming uses except in conformity with the provisions of this Ordinance.

SECTION 1503. ACCESSORY BUILDINGS;

Accessory buildings, except as otherwise permitted in this Ordinance shall be subject to the following regulations:

1. Where the accessory building is structurally attached to a main building, it shall be subject to, and must conform to, all yard regulations of this Ordinance, applicable to main buildings.

2. Accessory buildings shall not be erected in any required yard except a rear yard.

3. An accessory building may occupy not more than twenty-five (25) percent of a required rear yard, plus twenty (20) percent of any nonrequired rear yard, provided that in no instance shall the accessory building exceed one-half (1/2) the ground-floor area of the main building.

4. No detached accessory building shall be located closer than twelve (12) feet to any main building nor shall it be located closer than three (3) feet to any side or rear lot-line. In those instances where the rear lot-line is coterminous with an alley right-of-way, the accessory building shall be no closer than one (1) foot to such rear lot-line. In no instance shall an accessory structure be located within a dedicated easement right-of-way.

5. No detached accessory building in a R-1, RT-1, RM-1, RM-2, O-1, O-2, or P-1 District shall exceed one (1) story of fifteen (15) feet in height. Accessory buildings in all other districts may be constructed to equal the permitted maximum height of structures in said Districts, subject to Board of Appeals review and approval.

6. When an accessory building is located on a corner lot, the side lot-line of which is substantially a continuation of the front lot-line of the lot to its rear, said building shall not project beyond the front yard line required on the lot in rear of such corner lot. When an accessory building is located on a corner lot the side lot-line of which is substantially a continuation of the side lot-line of the lot to its rear, said building shall not project beyond the side yard line of the lot in the rear of such corner lot.

7. When an accessory building, in any Residence, Business, or Office District, is intended for other than the storage of private motor vehicles, the accessory use shall be subject to the approval of the Board of Appeals.

SECTION 1504. OFF-STREET PARKING REQUIREMENTS:

There shall be provided in all districts at the time of erection or enlargement of any main building or structure, automobile off-street parking space with adequate access

to all spaces. The number of off-street parking spaces, in conjunction with all land or building uses shall be provided, prior to the issuance of a certificate of occupancy, as hereinafter prescribed.

1. Off-street parking for other than residential use shall be either on the same lot or within three hundred (300) feet of the building it is intended to serve, measured by public right-of-way from the nearest point of the building to the nearest point of the off-street parking lot. Ownership shall be shown of all lots or parcels intended for use as parking by the applicant.

2. Residential off-street parking spaces shall consist of parking strips, driveways, garage, or combination thereof and shall be located on the premises they are intended to serve, and subject to the provisions of SECTION 1503, of this Ordinance.

3. Unless otherwise provided herein, off-street parking shall not be permitted in any required or nonrequired front yard, except for use of the driveway.

4. Any area once designated as required off-street parking shall never be changed to any other use unless and until equal facilities are provided elsewhere.

5. Off-street parking existing at the effective date of this Ordinance in connection with the operation of an existing building or use shall not be reduced to an amount less than hereinafter required for a similar new building or use.

6. Two or more buildings or uses may collectively provide the required off-street parking in which case the required number of parking spaces shall not be less than the sum of the requirements for the several individual uses computed separately.

7. In the instance of dual function of off-street parking spaces where operating hours of buildings do not overlap, the Zoning Board of Appeals may grant an exception.

8. The storage of merchandise, motor vehicles for sale, trucks, or the repair of vehicles is prohibited.

9. For those uses not specifically mentioned, the requirements for off-street parking facilities shall be in accord with a use which is similar in type.

10. When units or measurements determining the number of required parking spaces result in the requirement of a fractional space, any fraction up to but not including one-half (1/2) shall be disregarded and fractions one-half (1/2) or more shall require one parking space.

11. The minimum number of off-street parking spaces by type of use shall be determined in accordance with the following schedule:

USE	NUMBER OF MINIMUM PARKING SPACES PER UNIT OF MEASURE
1. RESIDENTIAL	
a. Housing for the Elderly.	-One (1) for each four (4) units; should units revert to general occupancy, then one and one-half (1 1/2) spaces per unit.
b. Residential, One-Family and Two-Family	-Two (2) for each dwelling unit.
c. Residential, Multiple-Family.	One (1) for each dwelling unit plus 1/2 space per bedroom.
d. Trailer court.	Two (2) for each trailer site.
2. INSTITUTIONAL	
a. Churches or temples.	-One (1) for each three (3) seats or six (6) feet of pews in the main unit of worship.
b. Hospitals & Sanatoriums	-One (1) for each one (1) bed
c. Homes for the aged and convalescent homes.	-One (1) for each three (3) beds.
d. Elementary and junior high schools.	-One (1) for each one (1) teacher, employee or administrator.
e. Fraternity or sorority.	-One (1) for each five (5) permitted active members.
f. High school.	-One (1) for each one (1) teacher, employee, or administrator and one (1) for each ten (10) students.
g. Private clubs, or lodges.	-One (1) for each three (3) persons allowed within the maximum occupancy load as established by the fire marshal.
h. Stadium and sports arena or similar outdoor place of assembly.	-One (1) for each three (3) seats or six (6) feet of benches.
i. Theaters and auditoriums, multi-purpose rooms.	-One (1) for each three (3) persons allowed within the maximum occupancy load as established by the fire marshal.
3. COMMERCIAL	
A. Auto wash.	-One (1) for each one (1) employee. In addition, reservoir parking spaces equal in number to 5 times the maximum capacity of the auto wash for automobiles awaiting entrance to the auto wash shall be provided. Maximum capacity of the auto wash for the purpose of determining the required reservoir parking shall mean the greatest number possible of automobiles undergoing some phase of washing at the same time, which shall be determined by dividing the length of feet of each wash line by twenty.
b. Beauty parlor or barber shops.	-Three (3) spaces for each chair.
c. Bowling alleys	-Five (5) for each bowling lane.
d. Dance halls, roller rinks, exhibition halls, and assembly halls without fixed seats.	-One (1) for each three (3) persons allowed within the maximum occupancy load as established by the fire marshal.
e. Establishments for sale	-One (1) for each three (3) persons

and consumption, on the premises, of beverages, food or refreshment.

f. Furniture and appliance, household-equipment-repair shops, showroom of a plumber, decorator, electrician or similar trade, shoe repair and other similar uses.

g. Gasoline service stations.

h. Laundromats and coin-operated dry cleaners.

i. Miniature Golf Course.

j. Mortuary establishments.

k. Motel or Hotel.

l. Motor vehicle sales and service establishments.

m. Pool hall or club.

n. Retail stores except as otherwise specified herein.

4. OFFICES

a. Banks.

b. Business offices or professional offices, except as indicated in the following item (c).

c. Professional offices or doctors, dentists or similar professions.

5. INDUSTRIAL

a. Industrial or research establishments.

b. Wholesale and Warehouse establishments.

SECTION 1505. OFF-STREET PARKING SPACE LAYOUT, STANDARDS, CONSTRUCTION AND MAINTENANCE:

Whenever the off-street parking requirements in SECTION 1504, above require the building of an off-street parking facility, or where P-1 Vehicular Parking Districts are provided, such off-street parking lots shall be laid out, constructed and maintained in accordance with the following standards and regulations:

1. No parking lot shall be constructed unless and until a permit therefore is issued by the Building Inspector. Applications for a permit shall be submitted to the Building Department in such form as may be determined by the Building Inspector and shall be accompanied with two (2) sets of plans for the development and construction of the parking lot showing the provisions of this section will be fully complied with.

2. Adequate ingress and egress to the parking lot shall be provided and approved by the City Engineer and the Chief of Police, who shall have full power to regulate and determine the places of ingress and egress so that traffic on the streets and highways of the City shall be controlled, regulated and co-ordinated and to require the installation and maintenance of suitable barriers to insure the safety of pedestrians passing any such parking lot, in order to provide for the greatest possible public safety and welfare. Such necessary directional signs and controls as are required by the Chief of Police shall be established and maintained by the owner or lessee of the parking lot.

All drives and parking areas shall be surfaced in manner equivalent to that which is provided for the parking areas under SECTION 1306.

3. All spaces shall be provided adequate access by means of maneuvering lanes.

4. All drives shall be surfaced in a manner equivalent to that which is provided for the parking areas under ARTICLE XIII, SECTION 1306. Screening and Landscaping and lighting shall be provided in keeping with the requirements of SECTION 1305, and 1307, of ARTICLE XIII of this Ordinance. Plans for the layout of parking lot shall show a total dimension across two (2) tiers of spaces and one (1) aisle (maneuvering lane) of at least the standards as required in SECTION 1302, ARTICLE XIII of this Ordinance.

5. Off-street parking areas shall be provided with a continuous and completely obscuring wall in accordance with the specifications of SECTION 1512, on all sides where the next zoning district is designated as a residential district.

SECTION 1506. OFF-STREET LOADING AND UNLOADING:

allowed within the maximum occupancy load as established by the fire marshal.

-One (1) for each eight hundred (800) square feet of useable floor area.

(For that floor area used in processing, one (1) additional space shall be provided for each two (2) persons employed therein.)

-Two (2) for each lubrication stall, rack, or pit; and one (1) for each gasoline pump.

-One (1) for each two (2) machines.

-One (1) space per hole plus three (3) spaces for employees.

-One (1) for each fifty (50) square feet of assembly room useable floor space, parlors, and slumber rooms.

-One (1) for each rental unit, plus two (2) additional spaces for management and/or service personnel.

-One (1) for each two hundred (200) square feet of useable floor area of sales room and one (1) for each auto-service stall in the service room.

-One (1) for each three (3) persons allowed within the maximum occupancy load as established by the fire marshal.

-One (1) for each one hundred and fifty (150) square feet of useable floor area.

-Six (6) for each teller cage or window.

-One (1) for each three hundred (300) square feet of useable floor area.

-One (1) for each one hundred (100) square feet of useable floor area in waiting room, and one (1) for each examining room, dental chair

or similar-use area.

-One (1) space on site for every two (2) employees in the largest working shift. Space on site shall also be provided for all construction workers during periods of plant construction.

-One (1) for every one (1) employee in largest working shift, or one (1) for every seventeen hundred (1,700) square feet of useable floor space or whichever is greater.

On the same premises with every building, structure or part thereof, involving the receipt or distribution of vehicles or materials or merchandise, there shall be provided and maintained on the lot, adequate space for standing, loading, and unloading in order to avoid undue interference with public use of dedicated streets or alleys. Such space shall be provided as follows:

1. All spaces in O-1, O-2, B-1, B-2, and B-3 Districts shall be provided in the ratio required in ARTICLE XIV, under minimum rear yard.

2. All spaces shall be laid out in the dimension of at least ten by fifty (10' x 50') feet, or five hundred (500) square feet in area, with a clearance of at least fourteen (14) feet in height. Loading dock approaches shall be provided with a pavement having an asphaltic or Portland cement binder so as to provide a permanent durable and dustless surface. All spaces in I Districts shall be provided in the following ratio of spaces to useable floor area.

GROSS FLOOR AREA (IN SQUARE FEET)	LOADING AND UNLOADING SPACES REQUIRED IN TERMS OF SQUARE FEET OF USABLE FLOOR AREA
-----------------------------------	--

0 - 1,400
1,401 - 20,000
20,001 - 100,000

100,001 - 500,000

SECTION 1507. USES NOT OTHERWISE INCLUDED WITHIN A SPECIFIC USE DISTRICT:

Because the uses hereinafter referred to possess unique characteristics making it impractical to include them in a specific use district classification, they shall be permitted by the Board of Appeals under the conditions specified, and after public hearing. In every case, the uses hereinafter referred to shall be specifically prohibited from an R-1, RT-1, RM-1, or RM-2 Districts.

These uses require special consideration since they service an area larger than the City and require sizable land areas, creating problems of control with reference to abutting-use districts. Reference to those uses falling specifically within the intent of this section is as follows:

1. Outdoor Theaters

Because outdoor theaters possess the unique characteristic of being used only after darkness and since they develop a concentration of vehicular traffic in terms of ingress and egress from their parking area, they shall be permitted only in I-1 or I-2 Districts. Outdoor theaters shall further be subject to the following conditions:

a. The proposed internal design shall receive approval from the Building Inspector and the City Engineer as to adequacy of drainage, lighting and other technical aspects.

b. Points of ingress and egress shall be available to the outdoor theater from abutting major thoroughfares and shall not be available from any residential street.

c. All vehicles, waiting or standing to enter the facility, shall be provided off-street waiting space. No vehicle shall be permitted to wait of stand within a dedicated right-of-way.

2. Commercial Television and Radio Towers and Public Utility Microwaves, and Public Utility T.V. Transmitting Towers. Radio and television towers, public utility microwaves and public utility T.V. transmitting towers, and their attendant facilities shall be permitted in Multiple-Family Residential Districts provided said use shall be located centrally on a continuous parcel of not less than one (1) time the height of the tower measured from the base of said tower to all points on each property line. The site shall in no instance be used for the storage of vehicles or any material not required for the principal use. Outdoor storage of any kind shall be expressly prohibited.

3. Commercial Race Tracks (including midget auto and karting tracks) Because commercial race tracks develop a concentration of vehicular traffic in terms of ingress and egress from their parking areas and cause noise levels which may project beyond the property so used, they shall be permitted in the I Districts when located adjacent to a major thoroughfare and shall be located on a parcel of land which is abutting land zoned for industrial purposes on all sides of the parcel in question, and shall be subject further to the following conditions and such other controls as the Planning Commission deems necessary to promote health, safety and general welfare in the City.

a. All parking shall be provided as off-street parking within the boundaries of the development.

b. All access to the parking areas shall be provided from a major thoroughfare.

c. All sides of the development not abutting a major thoroughfare shall be provided with a twenty (20)-foot greenbelt planting and fence or wall so as to obscure from view all activities within the development. Said planting shall be in accord with SECTION 1509.

4. Mobile Home Parks

Mobile Home Parks shall only be permitted within the I-1 Districts wherein the parcel being proposed for said mobile home park is not isolated or surrounded on more than three (3) abutting sides by the I-1 District, provided further that the mobile-home-park site shall be located along the I-1 District edge wherein such district abuts a Multiple-Family District and the mobile-home-park site shall have one entire side abutting the Multiple-Family District. Mobile home parks shall further be subject to the following requirements and conditions:

a. Where such I-1 District abuts a Residential District, said mobile home area must then provide a twenty (20)-foot greenbelt between the abutting Residential District and the District in which mobile home park is located; and must further provide for a twenty (20)-foot greenbelt between itself and any abutting "I" District. The greenbelt shall be located within the mobile-home-park site and shall provide a continuous year-around obscuring screen.

b. An open area shall be provided on each mobile-home lot, to insure privacy, adequate natural light and ventilation to each mobile home and to provide sufficient area for outdoor uses essential to the mobile home. All lots shall contain a minimum area of at least three thousand (3,000) square feet. All such mobile home-lot areas shall be computed exclusive of service drives, facilities and recreation space.

c. The sum of the side yards at the entry side and non-entry side of a mobile-home stand shall be not less than twenty (20) feet; provided, however, there shall be a

side yard of not less than fifteen (15) feet at the entry side of the mobile home stand and a side yard of not less than five (5) feet at the non-entry side of the mobile-home stand. There shall be a rear yard of not less than five (5) feet at the rear end of the stand and a front yard of not less than ten (10) feet at the front end of the mobile-home stand. For irregularly shaped side yards, the sum is determined as the sum of the average width of each side yard, provided that the required minimums above are maintained at all points in the side yard.

d. No mobile home shall be located closer than fifty (50) feet to the right-of-way line of a public thoroughfare, or twenty (20) feet to the mobile-home-park property line.

e. The mobile-home-park shall have access only to a major thoroughfare by directly abutting thereon.

f. Prior to public hearings on the proposed mobile home park, notification shall be given by the applicant by registered mail, return receipt requested, of the proposal for said mobile home park and the date, time and place of public hearing to all parties living within one thousand (1,000) feet of the proposed mobile home park.

g. All mobile-home-park developments shall further comply with Act 243 of Public Acts of the State of Michigan, 1959, as amended and any codes or ordinances of the City of Plymouth.

h. The parking of a mobile home not owned by a resident of the City for periods exceeding twenty-four (24) hours on lands not approved for mobile homes shall be expressly prohibited, except that the City Police Department may extend temporary permits allowing the parking of such a mobile home in a rear yard on private property, not to exceed a period of two (2) weeks. All mobile homes owned by residents of the City and stored on their individual lots shall be allowed for periods exceeding twenty-four (24) hours with no permit required, and shall be stored only within the confines of the rear yard and shall further respect the requirements applicable to Accessory Buildings, SECTION 1503, insofar as distances from principal structures, lot lines, and easements are concerned. For the purpose of this Ordinance the area occupied by the stored mobile home shall be computed as lot coverage, and shall not exceed the maximum coverage permitted under SECTION 1400, SCHEDULE OF REGULATIONS. All mobile homes parked or stored on lands not approved for mobile home parks shall not be connected to sanitary facilities and shall not be occupied.

i. No building or structure hereafter erected or altered in a mobile home park shall exceed one (1) story or fourteen (14) feet.

j. The mobile home park shall be subject further to the review and approval of the City Commission.

SECTION 1508. PERFORMANCE STANDARDS:

No use otherwise allowed shall be permitted within any district which does not conform to the following standards of use, occupancy, and operation, which standards are hereby established as the minimum requirements to be maintained within said area:

1. Smoke

It shall be unlawful for any person, firm or corporation to permit the emission of any smoke from any source whatever to a density greater than that density described as No. 1 of the Ringelmann Chart; provided that the following exceptions shall be permitted: smoke, the shade or appearance of which is equal to but not darker than No. 2 of the Ringelmann Chart for a period, or periods, aggregating

four minutes in any thirty (30) minutes.

Method of Measurement: For the purpose of grading the density of smoke, the Ringelmann Chart, as now published and used by the United States Bureau of Mines, which is hereby made a part of this Ordinance, shall be the standard. However, the Unbrascop readings of smoke densities may be used when correlated with Ringelmann's Chart.

2. Dust, Dirt and Fly Ash

No person, firm or corporation shall operate or cause to be operated, maintained or cause to be maintained, any process for any purpose, or furnace or combustion device for the burning of coal or other natural or synthetic fuels, without maintaining and operating, while using said process or furnace or combustion device, recognized and approved equipment, means, method, device or contrivance to reduce the quantity of gasborne or airborne solids of fumes emitted into the open air, which is operated in conjunction with said process, furnace, or combustion device so that the quantity of gasborne or airborne solids shall not exceed 0.20 grains per cubic foot of the carrying medium at a temperature of 500 degrees Fahrenheit. Method of Measurement: For the purpose of determining the adequacy of such devices these conditions are to be conformed to when the percentage of excess air in the stack does not exceed 50 percent at full load. The foregoing requirement shall be measured by the A.S.M.E. Test Code for dust-separating apparatus. All other forms of dust, dirt and fly ash shall be completely eliminated insofar as escape or emission into the open air is concerned. The Building Inspector may require such additional data as is deemed necessary to show that adequate and approved provisions for the prevention and elimination of dust, dirt and fly ash have been made.

3. Open Storage

The open storage of any industrial equipment, vehicles and all materials including wastes, shall be screened from public view, from a public street and from adjoining properties by an enclosure consisting of a fence or wall not less than six (6) feet in height, and may, depending on land usage, be required to be eight (8) feet in height.

Whenever such open storage is adjacent to a residential zone in either a front, side or rear lot-line relationship, whether immediately abutting or across a right-of-way from such zone, there shall be provided an obscuring masonry wall or wood fence of at least six (6) feet in height.

4. Glare and Radioactive Materials

Glare from any process (such as or similar to arc welding, or acetylene torch cutting) which emits harmful ultraviolet rays shall be performed in such a manner as not to be seen from any point beyond the property line, and as not to create a public nuisance or hazard along lot lines. Radioactive materials and wastes, and including electromagnetic radiation such as x-ray machine operation, shall not be emitted to exceed quantities established as safe by the U.S. Bureau of Standards, when measured at the property line.

5. Fire and Explosive Hazards

a. In the I-1 and I-2 Districts the storage, utilization or manufacture of materials or products ranging from incombustible to moderate burning, as determined by the Fire Marshal, is permitted, subject to compliance with all other performance standards above mentioned.

b. The storage, utilization, or manufacture of materials, goods, or products ranging from free or active burning to intense burning, as determined by the Fire Marshal, is permitted subject to compliance with all other yard require-

ments and performance standards previously mentioned, and providing that the following conditions are met:

(1) Said materials or products shall be stored, utilized, or produced within completely enclosed buildings or structures having incombustible exterior walls, which meet the requirements of the Building Code of the City of Plymouth.

(2) All such buildings or structures shall be set back at least forty (40) feet from lot lines, or in lieu thereof, all such buildings or structures shall be protected throughout by an automatic sprinkler system complying with installation standards prescribed by the National Fire Protection Association.

(3) The storage and handling of flammable liquids, liquefied petroleum, gases, and explosives shall comply with the State Rules and Regulations as established by Public Act No. 207 of 1941, as amended.

6. Noise

Objectionable sounds, including those of an intermittent nature, shall be controlled so as not to become a nuisance to adjacent uses.

7. Odors

Creation of offensive odors shall be prohibited.

8. Wastes

a. No waste shall be discharged in the public sewer system which is dangerous to the public health and safety. The following standards shall apply at the point wastes are discharged into the public sewer.

b. Acidity of alkalinity shall be neutralized within an average PH range of between 5-1/2 to 7-1/2 as a daily average on the volumetric basis, with a temporary variation of PH 4.50 to 10.0.

c. Wastes shall contain no cyanides. Wastes shall contain no chlorinate solvents in excess of .1 p.p.m.; no fluorides shall be in excess of 10 p.p.m.; and shall contain no more than 5 p.p.m. of hydrogen sulphide and shall contain not more than 10 p.p.m. of sulphur dioxide and nitrates; and shall contain not more than 25 p.p.m. of chromates.

d. Wastes shall not contain any insoluble substance in excess of 10,000 p.p.m. or exceed a daily average of 500 p.p.m. or fail to pass a number-eight standard sieve or have a dimension greater than 1/2 inch.

e. Wastes shall not have chlorine demand greater than 15 p.p.m.

f. Wastes shall not contain phenols in excess of .05 p.p.m.

g. Wastes shall not contain any grease or oil or any oily substance in excess of 100 p.p.m. or exceed a daily average of 25 p.p.m.

SECTION 1509. PLANT MATERIALS:

Whenever in this Ordinance a greenbelt or planting is required, it shall be planted within six (6) months from the date of issuance of a certificate of occupancy and shall thereafter be reasonably maintained with permanent plant materials to provide a screen to abutting properties. Suitable materials equal in characteristics to the plant materials listed with the spacing as required shall be provided.

1. Plant material spacing.

a. Plant materials shall not be placed closer than four (4) feet from the fence line or property line.

b. Where plant materials are planted in two (2) or more rows plantings shall be staggered in rows.

c. Evergreen trees shall be planted not more than thirty (30) feet on centers.

d. Narrow evergreens shall be planted not more than six (6) feet on centers.

e. Deciduous trees shall be planted not more than thirty (30) feet on centers.

f. Tree-like shrubs shall be planted not more than ten (10) feet on centers.

g. Large deciduous shrubs shall be planted not more than four (4) feet on centers.

Minimum Size

2. Suggested plant materials

a. Evergreen trees Five (5) feet in height

- (1) Juniper
- (2) Hemlock
- (3) Fir
- (4) Pine
- (5) Spruce
- (6) Douglas-Fir

b. Narrow Evergreens Three (3) feet in height

- (1) Column Hinoki Cypress
- (2) Blue Columnar Chinese Juniper
- (3) Pyramidal Red-Cedar
- (4) Swiss Stone Pine
- (5) Pyramidal White Pine
- (6) Irish Yew
- (7) Douglas Arbor-Vitae
- (8) Columnar Giant Arbor-Vitae

c. Tree-like Shrubs Six (6) feet in height

- (1) Flowering Crabs
- (2) Russian Olives
- (3) Mountain-Ash
- (4) Dogwood
- (5) Redbud
- (6) Rose of Sharon
- (7) Hornbeam
- (8) Hawthorn
- (9) Magnolia

d. Large Deciduous Shrubs Four (4) feet in height

- (1) Honeysuckle
- (2) Viburnum
- (3) Mock-Orange
- (4) Forsythia
- (5) Lilac
- (6) Ninebark
- (7) Cotoneaster
- (8) Hazelnuts
- (9) Evonymus
- (10) Privet
- (11) Buckthorn
- (12) Sumac

e. Large Deciduous Trees Eight (8) feet in height

- (1) Oaks
- (2) Hard Maples
- (3) Hackberry
- (4) Planetree (Sycamore)
- (5) Birch

- (6) Beech
- (7) Ginkgo
- (8) Honeylocust
- (9) Sweet-Gum
- (10) Hop Hornbeam
- (11) Linden

3. Trees not permitted

- a. Box Elder
- b. Soft Maples (Red-Silver)
- c. Elms
- d. Poplars
- e. Willows
- f. Horse Chestnut (nut-bearing)
- g. Tree of Heaven
- h. Catalpa

SECTION 1510. SIGNS:

1. Any publicly displayed sign, symbol or notice on a premise to indicate the name of the occupant, or to advertise the business there transacted, shall be regulated as follows:

USE DISTRICT REQUIREMENTS

R-1, RT-1, RM-1 and RM-2 Districts

-For each dwelling unit, one name plate not exceeding two (2) square feet in area, indicating name of occupant or in the case of a home occupation, the name of the service provided.

-For structures other than dwelling units, one (1) identification sign not exceeding ten (10) square feet, except a church bulletin board, not exceeding eighteen (18) square feet.

-For rental and/or management offices in a multiple housing development, one (1) identification sign not exceeding six (6) square feet.

-No sign shall project beyond or overhang the wall, or any permanent architectural feature, by more than one (1) foot, and shall not project above or beyond the highest point of the roof or parapet.

-Freestanding advertising signs or advertising pylons shall not be over twenty (20) feet in height and shall not be placed closer than one hundred (100) feet to adjacent residential district.

-No sign shall project beyond or

0-1 and 0-2 Districts.

overhang the wall, or any permanent architectural feature, by more than eighteen (18) inches, and shall not project above or beyond the highest point of the roof or parapet.

-Only one (1) sign shall be permitted for each office unit occupying building.

-No sign shall project beyond or overhang the wall, or any permanent architectural feature by more than eighteen (18) inches and shall not project above or beyond the highest roof or parapet.

I-1 and I-2 Districts

2. The following conditions shall apply to all signs and billboards erected in any use district.

a. Signs shall pertain to the sale, rental, or use of the premises on which located, or to goods sold or activities conducted thereon, and if illuminated, shall not be of the flashing, moving or intermittent type.

b. Except for freestanding pylons, billboards and residential name-plates, all signs shall be displayed flat against the wall of the building, or parallel to the wall of the building.

c. The Board of Appeals may, upon application by the property owner, modify the area of sign permitted where, in unusual circumstances, no good purpose would be served by compliance with the requirements of this Section. Signs or billboards advertising developments or subdivisions, shall be located on the property to which they apply in accordance with a permit issued by the Board of Appeals not to exceed one (1) year, subject to renewal upon application.

d. All directional signs required for the purpose of orientation, when established by the City, County, State, or Federal governments, shall be permitted in all use districts.

e. Illumination of signs shall be directed or shaded downward so as not to interfere with vision of persons on the adjacent highway or adjacent property owners.

f. No signs or billboards shall be located on any street corner which would obscure the vision of drivers using said streets, or conflict with traffic control signals at the intersection of any street.

g. Signs used for advertising land or buildings for rent, lease, and/or for sale shall be permitted when located on the land or building intended to be rented, leased and/or sold. Said signs shall not exceed a dimension of six (6) square feet.

h. No sign or billboard shall be erected or altered until approved by the Building Inspector and a permit issued.

i. Freestanding billboard not to exceed three hundred (300) square feet in area shall be permitted so long as they meet all of the requirements of ARTICLE XIV, "SCHEDULE OF REGULATIONS" of this Ordinance.

j. Signs and billboards shall be expressly prohibited from all public rights-of-way and dedicated public easements.

k. Temporary signs, non-illuminated, not to exceed 32 square feet in size. Temporary signs for political advertising, may not be erected more than 30 days before an election. Temporary signs for other public events sanctioned by the City Commission may not be erected more than two (2) weeks prior to the event. The above-mentioned signs may be placed in a B-1, B-2, B-3, I-1, or I-2 zoned

area with the consent of the property owner or lessee. Such temporary signs shall not exceed five (5) in number for any one candidate or public event. The location of such sign shall be registered with the building department and a cash deposit of ten (\$10.00) dollars for each sign, shall be paid to the City Treasurer to guarantee the removal of said signs not later than 72 hours after the election or other public event.

SECTION 1511. EXTERIOR LIGHTING:

All lighting for parking areas or for the external illumination of buildings and uses shall be directed away from and shall be shielded from adjacent residential districts and shall also be so arranged as to not adversely affect driver-visibility on adjacent thoroughfares.

SECTION 1512. GREENBELTS AND WALLS:

1. For those Use Districts and uses listed below there shall be provided and maintained on those sides abutting or adjacent to a residential district an obscuring wall or greenbelt equal or exceeding the dimensions specified below:

USE DIMENSIONS

a. P-1 Vehicular Parking District. -See SECTION 1305.

b. Off-Street Parking Area (Other than P-1 Districts). -4' - 6" high wall.

c. O-1, O-2, B-1, B-2, and B-3 Districts. -4' - 6" high wall.

d. I-1 and I-2 Districts. -4' - 6" high wall or a 4' - 6" high chain-link-type fence and a 20' wide greenbelt planted in accordance with the minimum requirements of SECTION 1509.

e. Nursery Schools, f. Utility Buildings, Stations and/or Substations. -4' - 6" high wall. -6' - 0" high wall.

2. Required walls shall be located on the lot line except where underground utilities interfere and except in instances where this Ordinance requires conformance with front-yard setback lines in abutting Residential Districts. Required walls may, upon approval of the Board of Appeals, be located on the opposite side of an alley right-of-way from a nonresidential zone that abuts a residential zone when mutually agreeable to affected property owners. The continuity of the required wall on a given block will be a major consideration of the Board of Appeals in reviewing such a request.

3. Such walls and screening barrier shall have no openings for vehicular traffic or other purposes, except as provided in ARTICLE XIII and except such openings as may be approved by the Chief of Police and the Building Inspector. All walls herein required shall be constructed of materials approved by the City Engineer to be weather and rust-resistant. Masonry walls shall be erected on a concrete foundation which shall have a minimum depth of forty-two (42) inches below a grade approved by the City Engineer and shall not be less than four (4) inches wider than the wall to be erected. Walls or screening barriers constructed of other approved materials shall be supported on concrete or rust-resistant metal posts located

not more than ten (10) feet apart and having a minimum outside dimension of two and one-half (2-1/2) inches, set in a concrete foundation not less than eight (8) inches in diameter and thirty-six (36) inches in depth below a grade approved by the City Engineer.

Masonry walls may be constructed with openings above thirty-two (32) inches above grade provided such openings are not larger than sixty-four (64) square inches and do not comprise more than one-third (1/3) of the total area of that part of the wall located more than thirty-two (32) inches above grade.

Walls constructed of materials other than masonry shall have the bottom of said wall not less than one (1) inch nor more than three (3) inches above grade.

4. The Board of Appeals may waive or modify the foregoing requirements where cause can be shown that no good purpose would be served.

SECTION 1513. RESIDENTIAL ENTRANCEWAY:

In R-1, RT-1 and R-M Districts, so-called entranceway structures, including but not limited to walls, columns, and gates, marking entrances to single-family subdivisions or multiple housing projects may be permitted and may be located in a required yard, except as provided in SECTION 1514, Corner Clearance, provided that such entranceway structures shall comply to all codes and ordinances of the City of Plymouth shall be approved by the Building Inspector and a permit issued.

SECTION 1514. CORNER CLEARANCE:

No fence, wall, shrubbery, sign, or other obstruction to vision above a height of three (3) feet from the established street grades shall be permitted within the triangular area formed at the intersection of any street right-of-way lines by a straight line drawn between said right-of-way lines at a distance along each line of twenty-five (25) feet from their point of intersection.

SECTION 1515. SITE PLAN REVIEW (ALL DISTRICTS):

1. A site plan shall be submitted to the Planning Commission for approval of:

a. Any use or development for which the submission of a site plan is required by any provision of this Ordinance.

b. Any development, except One-Family Residential, for which off-street parking areas are provided as required in SECTION 1504, OFF-STREET PARKING REQUIREMENTS.

c. Any use in an RM-1, RM-2, O-1, O-2, B-1, B-2, B-3, I-1, I-2 or P-1 District lying contiguous to, or across a street from, a single-family residential district or RT-1 district.

d. Site-plan approval shall not be requested for any use or development in an "I-1" or "I-2" District except where such use or development is to take place within two hundred (200) feet of the zoning district boundary of any owner other than the owner of the property to be used or developed, or where it is proposed that a driveway intersect a public street within two hundred (200) feet, of an intersection of two or more public streets.

e. Any use which lies contiguous to a major thoroughfare.

f. All residentially related uses permitted in one-family districts such as, but not limited to: churches, schools, and public facilities.

2. Every site plan submitted to the Planning Commission, shall contain such information and be in such form as the Planning Commission may prescribe in its rules. No site plan shall be approved until same has been reviewed by the City Engineer, Chief of Police, Fire Chief, and the Building Inspector for compliance with the standards of the respective departments.

3. In the process of reviewing the site plan the Planning Commission shall consider:

a. One-Family Residential development on the basis of a subdivision.

- b. The location and design of driveways providing vehicular ingress to and egress from the site, in relation to streets giving access to the site, and in relation to pedestrian traffic.
- c. The traffic circulation features within the site and location of automobile parking areas; and may make such requirements with respect to any matters as will assure:
1. Safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets.
 2. Satisfactory and harmonious relations between the development on the site and the existing and prospective development of contiguous land and adjacent neighborhoods.
- d. The Planning Commission may further require landscaping, fences, and walls in pursuance of these objectives and same shall be provided and maintained as a condition of the establishment and the continued maintenance of any use to which they are appurtenant.
- e. In those instances wherein the Planning Commission finds that an excessive number of ingress and/or egress points may occur with relation to major or secondary thoroughfares, thereby diminishing the carrying capacity of the thoroughfare, they may require marginal access drives as follows:
1. In approving the site plan the Planning Commission may recommend marginal access drives. For a narrow frontage, which will require a single outlet, the Planning Commission may recommend that money in escrow be placed with the City so as to provide for a marginal service drive equal in length to the frontage of the property involved. Occupancy permits shall not be issued until the improvement is physically provided or monies have been deposited with the City Treasurer.
 2. The Planning Commission shall require marginal access drives for all subdivisions having residential lots facing onto major thoroughfares. Where practical, the Planning Commission shall require side-lot or rear-lot relationships to major thoroughfares.

ARTICLE XVI - GENERAL EXCEPTIONS

SECTION 1600. AREA, HEIGHT AND USE EXCEPTIONS:

The regulations in this Ordinance shall be subject to the following interpretations and exceptions:

1. Essential Services

Essential services shall be permitted as authorized and regulated by law and other ordinances of the City; it being the intention hereof to exempt such essential services from the application of this Ordinance.

2. Voting Place

The provisions of this Ordinance shall not be so construed as to interfere with the temporary use of any property as a voting place in connection with a municipal or other public election.

3. Height Limit

The height limitations of this Ordinance shall not apply to farm buildings, chimneys, church spires, flag poles, public monuments or wireless transmission towers; provided, however, that the Board of Appeals may specify a height limit for any such structure when such structure requires authorization as a use permitted on special conditions or under SECTION 1508 of this Ordinance.

4. Lot Area

Any lot existing and of record at the time this Ordinance became effective may

be used for any principal use, other than uses permitted on special approval for which special lot area requirements are specified in this Ordinance, permitted in the district in which such lot is located whether or not such lot complies with the lot area requirements of this Ordinance: provided that all requirements other than lot area requirements prescribed in this Ordinance are complied with; and provided that not more than one dwelling unit shall occupy any lot except in conformance with the provisions of this Ordinance for required lot area for each dwelling unit.

5. Lots Adjoining Alleys

In calculating the area of a lot that adjoins an alley or lane, for the purpose of applying lot area requirements of this Ordinance, one-half (1/2) the width of such alley abutting the lot shall be considered as part of such lot.

6. Multiple Dwelling Side Yard

For the purpose of side yard regulations, a two-family, a terrace, a row house, or a multiple-dwelling shall be considered as one (1) building occupying one (1) lot.

7. Projections Into Yards

Outside stairways, fire escapes, fire towers, porches, platforms, balconies, boiler flues and other projections shall be considered as part of the yard or courts or unoccupied spaces; provided, however, that this provision shall not apply to one (1) fireplace or one (1) chimney projecting not more than twelve (12) inches into side-yard space, and not more than eight (8) feet in length, nor to platforms, terraces or steps below the first-floor level, or to unenclosed porches or other ground-level projections not over one (1) story in height which may extend into a front or rear yard not more than twelve (12) feet or into a side yard not more than eight (8) feet, but not nearer than three (3) feet from a side or rear boundary, nor to cornices not exceeding sixteen (16) inches in width including the gutter.

8. Residential Yard Fences

Fences or walls in residential districts may be constructed within a required rear or side yard, or along said property line as provided by the City of Plymouth Fence Ordinance.

ARTICLE XVII - ADMINISTRATION AND ENFORCEMENT

SECTION 1700. ENFORCEMENT:

The provisions of this Ordinance shall be administered and enforced by the Building Inspector, or by such deputies of his department as the Building Inspector may delegate to enforce the provisions of this Ordinance.

SECTION 1701. DUTIES OF BUILDING INSPECTOR:

The Building Inspector shall have the authority to grant zoning compliance and occupancy permits, to make inspections of buildings or premises necessary to carry out his duties in the enforcement of this Ordinance. It shall be unlawful for the Building Inspector to approve any plans or issue any permits or certificates of occupancy for any excavation or construction until he has inspected such plans in detail and found them to conform with this Ordinance.

The Building Inspector and/or such other officers or departments as shall be designated by the City Manager, shall record in duplicate, one (1) copy of which shall be filed with the City Clerk, all nonconforming uses existing at the effective date of this Ordinance for the purpose of carrying out the provisions of SECTION 1502.

The Building Inspector is under no circumstances permitted to make changes in this Ordinance nor to vary the terms of this Ordinance in carrying out his duties as

Building Inspector.

The Building Inspector shall not refuse to issue a permit when conditions imposed by this Ordinance are complied with by the applicant despite violations of contracts, such covenants or private agreements which may occur upon the granting of said permit.

SECTION 1702. PLOT PLAN:

The Building Inspector shall require that all applications for building permits shall be accompanied by plans and specifications including a plot plan, in duplicate, drawn to scale, showing the following:

1. The actual shape, location, and dimensions of the lot.
 2. The shape, size, and location of all buildings or other structures to be erected, altered or moved on the lot and of any building or other structures already on the lot.
 3. The existing and intended use of the lot and of all such structures upon it including, in residential areas, the number of dwelling units the building is intended to accommodate.
 4. Such other information concerning the lot or adjoining lots as may be essential for determining whether the provisions of this Ordinance are being observed.
- One (1) copy of the plans shall be returned to the applicant by the Building Inspector, after he shall have marked such copy either as approved or disapproved. The second copy shall be retained in the office of the Building Inspector.

SECTION 1703. PERMITS:

The following shall apply in the issuance of any permit:

1. Permits Not to be Issued
No building permit shall be issued for the erection, alteration, or use of any building or structure or part thereof, or for the use of any land, which is not in accordance with all provisions of this Ordinance.
2. Permits for New Use of Land
No land heretofore vacant shall hereafter be used or an existing use of land be hereafter changed to a use of a different class or type unless a certificate of occupancy is first obtained for the new or different use.
3. Permits for New Use of Building
No building or structure, or part thereof, shall be changed to or occupied by a use of a different class or type unless a certificate of occupancy is first obtained for the new or different use.
4. Permits Required
No building or structure, or part thereof, shall be hereafter erected, altered, moved, or repaired unless a building permit shall have been first issued for such work. The terms "altered," and "repaired" shall include any changes in structural parts, stairways, type of construction, type, class or kind of occupancy, light or ventilation, means of egress and ingress, or other changes affecting or regulated by the City Building Code, Housing Law of Michigan, or this Ordinance, except for minor repairs or changes not involving any of the aforesaid features.

SECTION 1704. CERTIFICATE OF OCCUPANCY:

No land, building, structure, or part thereof, shall be occupied by or for any use unless and until a certificate of occupancy shall have been issued for such new use. The following shall apply in the issuance of any certificate:

1. Certificates Not to be Issued
No certificates of occupancy pursuant to the Building Code of the City of Plymouth shall be issued for any building, structure or part thereof or for the use of any land, which is not in accordance with all the provisions of this Ordinance.
2. Certificates Required
No building or structure, or parts thereof, which is hereafter erected or altered, shall be occupied or used or the same caused to be done, unless and until a certificate of occupancy shall have been issued for such building or structure.
3. Certificates Including Zoning
Certificates of occupancy as required by the Building Code for new buildings or structures, or parts thereof, or for alterations to or changes of use of existing buildings or structures, shall also constitute certificates of occupancy as required by this Ordinance.
4. Certificates for Existing Buildings
Certificates of occupancy shall be issued for existing buildings, structures, or parts thereof, or existing uses of land if, after inspection, it is found that such buildings, structures, or parts thereof, or such use of land, are in conformity with the provisions of this Ordinance. Certificates of occupancy may be issued for business buildings in B-1, B-2, and B-3 zones existing at the effective date of this Ordinance which change occupancy and which do not provide sufficient parking as required under SECTION 1504, provided there is no decrease in the number of parking spaces existing at the effective date of this Ordinance.

5. Temporary Certificates

Nothing in this Ordinance shall prevent the issuance of a temporary certificate of occupancy for a portion of a building or structure in process of erection or alteration, provided that such temporary certificate shall not be effective for a period of time in excess of six (6) months, nor more than five (5) days after the completion of the building, and provided further that such portion of the building, structure, or premises is in conformity with the provisions of this Ordinance.

6. Records of Certificates

A record of all certificates issued shall be kept on file in the office of the Building Inspector, and copies shall be furnished upon request to any person having a proprietary of tenancy interest in the property involved.

7. Certificates for Dwelling Accessory Buildings

Buildings accessory to dwellings shall not require separate certificates of occupancy but may be included in the certificate of occupancy for the dwelling when shown on the plot plan when completed at the same time as such dwellings.

8. Applications for Certificates

Application for certificates of occupancy shall be made in writing to the Building Inspector on forms furnished by the Department, and such certificates shall be issued within ten (10) days after receipt of such application if it is found that the building or structure, or part thereof, or the use of land is in accordance with the provisions of this Ordinance.

If such certificate is refused for cause, the applicant therefore shall be notified in writing of such refusal and cause thereof, within the aforesaid ten (10)-day period.

SECTION 1705. FINAL INSPECTION:

The holder of every building permit for the construction, erection, alteration, repair, or moving of any building, structure, or part thereof, shall notify the Building Inspector immediately upon the completion of the work authorized by such permit, for a final inspection.

SECTION 1706. FEES:

Fees for inspection and the issuance of permits or certificates or copies thereof, required or issued under the provisions of this Ordinance, shall be collected by the City Treasurer in advance of issuance. The amount of such fees shall be established by resolution of the City Commission and shall cover the cost of inspection and the supervision

resulting from enforcement of this Ordinance.

SECTION 1707. INTERPRETATION, PURPOSE AND CONFLICT:

In interpreting and applying the provisions of this Ordinance they shall be held to be the minimum requirements for the promotion of the public safety, health, convenience, comforts, morals, prosperity and general welfare. It is not intended by this Ordinance to interfere with or abrogate or annul any ordinance, rules, regulations or permits previously adopted or issued, and not in conflict with any of the provisions of this Ordinance, or which shall be adopted or issued pursuant to law relating to the use of buildings or premises and likewise not in conflict with this Ordinance; nor is it intended by this Ordinance to interfere with or abrogate or annul any easements, covenants or other agreements between parties, provided, however, that where this Ordinance imposes a greater restriction upon the use of buildings or premises or upon height of buildings, or requires larger open spaces or larger lot areas than are imposed or required by such Ordinance or agreements, the provisions of this Ordinance shall control.

SECTION 1708. ZONING COMMISSION:

The City Planning Commission is hereby designated as the Commission specified in Section 4, of Act 207 of the Public Acts of 1921, as amended, perform the duties of said Commission as provided in the statute in connection with the amendment of this Ordinance.

SECTION 1709. CHANGES AND AMENDMENTS:

The City Commission of Plymouth may, from time to time, on their own initiative or on recommendation from the City Planning Commission, or on petition amend, supplement or change the district boundaries or the regulations herein, provided, however, that a public hearing shall be held before any such amendment shall be passed, and provided further, that not less than fifteen (15) days notice of the time and place of such public hearing shall be given by publication in the official paper of the City, or a paper of general circulation in the City, and a hearing be granted to any person interested at the time and place specified.

If the owner of twenty (20) or more percent of the frontage in the area proposed to be altered or the owner of twenty (20) or more percent of the frontage of property abutting the area proposed to be altered, or either of such groups shall file a written protest at or before the time of the hearing in this section provided then and in such event such amendment shall not be passed except by an affirmative vote of five (5) members of the entire membership of the City Commission then holding office and qualified to vote.

If a parcel of land is owned by the entirety, by joint tenants by tenants in common or by legal and equitable owners, any one (1) of such owners may sign the protest for the parcel so owned. The term "abutting property" as used in this Section shall mean the property immediately adjoining the area proposed to be changed either in the rear or at the side thereof and also the frontage directly opposite the frontage proposed to be changed. In determining abutting property, there shall be included all the property in a common ownership used as a single unit.

SECTION 1710. FEES - PETITION FOR AMENDMENT:

Consideration of an amendment to the Zoning Ordinance may be initiated upon presentation of a petition for amendment by the owner of real estate effected. Said petition shall be accompanied by a fee, the amount of which shall be set by resolution of the City Commission and shall be used to defray the expense of publishing the required notices of public hearings, and the expenses of said public hearing. A period of not less than six (6) months is required between presentation of petitions for a change or amendments applying to a specific piece of property, where such petition was denied in the first instance.

SECTION 1711. VIOLATIONS AND PENALTIES:

Any person, persons, firm or corporation, or anyone acting in behalf of said person, persons, firm or corporation violating any of the provisions of this Ordinance shall be guilty of a misdemeanor, and upon conviction thereof shall be subject to a fine of not more than five hundred (\$500.00) dollars and the cost of prosecution or, in default of the payment thereof, by imprisonment for a period not to exceed ninety (90) days, or by both such fine and imprisonment at the discretion of the court. Each day that a violation is permitted to exist shall constitute a separate offense. The imposition of any sentence shall not exempt the offender from compliance with the requirements of this Ordinance.

SECTION 1712. PUBLIC NUISANCE PER SE:

Any building or structure which is erected, altered or converted, or any use of premises or land which is begun or changed subsequent to the time of passage of this Ordinance and in violation of any of the provisions thereof is hereby declared to be a public nuisance per se.

SECTION 1713. RIGHTS AND REMEDIES ARE CUMULATIVE:

The rights and remedies provided herein are cumulative and in addition to any other remedies provided by law.

ARTICLE XVIII - BOARD OF APPEALS

SECTION 1800. CREATION AND MEMBERSHIP:

There is hereby established a Zoning Board of Appeals which shall perform its duties and exercise its powers as provided in Section 5 of Act 207 of Public Acts of 1921, as amended and in such a way that the objectives of this Ordinance shall be observed, public safety secured, and substantial justice done. The Board shall consist of five (5) members, one (1) of whom may be a member of the Planning Commission, all appointed by the Mayor, by and with the consent of the City Commission. Appointments shall be as follows: One (1) member appointed for a period of one (1) year; two (2) members appointed for a period of two (2) years; and two (2) members appointed for a period of three (3) years respectively; thereafter, each member to hold office for a full three (3)-year term. Each member of the Board of Appeals must be a resident of the City of Plymouth for at least one (1) year prior to the date of his appointment, and shall be a qualified and registered elector of the City on such day and throughout his tenure of office. Appointed members may be removed for cause by the City Commission only after consideration of written charges and a public hearing. Any appointive vacancies in the Board of Appeals shall be filled by appointment of the Mayor, by and with the consent of the City Commission for the remainder of the unexpired term. The Board of Appeals shall annually elect its own Chairman and Vice-Chairman.

SECTION 1801. MEETINGS:

All meetings of the Board of Appeals shall be held at the call of the Chairman and at such times as such Board may determine. All hearings conducted by said Board shall be open to the public. The Board shall keep minutes of its proceedings showing the vote of each member upon each question, or if absent, or failing to vote indicating such fact; and shall also keep records of its hearings and official actions including a statement of reasons for each action taken. Three (3) members of the Board shall constitute a quorum for the conduct of its business. The Board shall have the power to subpoena and require the attendance of witnesses, administer oaths, compel testimony and the production of books, papers, files and other evidence pertinent to the matters before it.

SECTION 1802. APPEALS:

An appeal may be taken to the Board of Appeals by any person, firm or corporation, or any officer, department, board or bureau affected by a decision of the Building Inspector. Such appeal shall be taken by filing a notice of appeal, specifying the grounds

for such appeal, with the Board of Zoning Appeals on appropriate forms provided by the Building Inspector and payment of the required fee. The Building Inspector shall forthwith transmit to the Board all of the papers constituting the record upon which the action appealed from was taken.

An appeal shall stay all proceedings in furtherance of the action appealed from, unless the Building Inspector certifies to the Board of Appeals after the notice of appeal has been filed with him that by reason of facts stated in the certificate a stay would, in his opinion, cause imminent peril to life or property, in which case the proceedings shall not be stayed, otherwise than by a restraining order, which may be granted by the Board of Appeals or by a court of record on application, on notice to the Building Inspector and on due course shown.

The Board shall select a reasonable time and place for the hearing of the appeal and give due notice thereof to the parties and shall render a decision on the appeal without unreasonable delay. Any person may appear and testify at the hearing, either in person or by duly authorized agent or attorney.

The City Commission shall, from time to time, determine by resolution the fee which shall be paid to the City Treasurer at the time that notice of appeal is filed.

SECTION 1803. JURISDICTION:

The Board of Appeals shall have the following powers and it shall be its duty:

1. To hear and decide on all matters referred to it upon which it is required to pass under this Ordinance.
2. To hear and decide appeals where it is alleged there is error of law in any order, requirement, decision or determination made by the Building Inspector in the enforcement of this Ordinance.
3. In hearing and deciding appeals the Board of Appeals shall have the authority to grant such variance therefrom as may be in harmony with their general purpose and intent so that the function of this Ordinance be observed, public safety and welfare secured, and substantial justice done, including the following:
 - a. Interpret the provisions of the Ordinance in such a way as to carry out the intent and purpose of the plan, as shown upon the Zoning Map fixing the use districts, accompanying and made part of this Ordinance, where street layout actually on the ground varies from the street layout as shown on the map aforesaid.
 - b. Permit the erection and use of a building or use of premises in any use district for public utility purposes, upon recommendation of the Planning Commission.
 - c. Permit the modification of the automobile parking-space or loading-space requirements where, in the particular instance, such modification will not be inconsistent with the purpose and intent of such requirements.
 - d. Permit such modification of the height and area regulations as may be necessary to secure and appropriate improvement of a lot which is of such shape, or so located with relation to surrounding development or physical characteristics, that it cannot otherwise be appropriately improved without such modification.
 - e. Permit temporary buildings and uses for periods not to exceed two (2) years in undeveloped sections of the City and for periods not to exceed six (6) months in developed sections.

SECTION 1804. MANNER OF PROCEDURE:

Where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would involve practical difficulties or cause unnecessary hardships, within the meaning of this Ordinance, the Board of Appeals shall have power upon appeal in specific cases to authorize such variation or modification of the provisions of this

Ordinance with such conditions and safeguards as it may determine, as may be in harmony with the spirit of this Ordinance and so that public safety and welfare be secured and substantial justice done. No such variance or modification of the provisions of this Ordinance shall be granted unless it appears beyond a reasonable doubt that all the following facts and conditions exist:

- a. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property that do not apply generally to other properties or class of uses in the same district or zone.
 - b. That such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same zone and vicinity.
 - c. That the granting of such variance or modification will not be materially detrimental to the public welfare or materially injurious to the property or improvements in such zone or district in which the property is located.
 - d. That the granting of such variance will not adversely affect the purposes or objectives of the Master Plan of the City of Plymouth.
5. In consideration of all appeals and all proposed variations to this Ordinance, the Board of Appeals shall, before making any variations from the Ordinance in a specific case, first determine that the proposed variation will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property values within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City. The concurring vote of four (4) members of the Board of Appeals shall be necessary to reverse any order, requirement, decision, or determination of the Building Inspector, or to decide in favor of the applicant any matter upon which it authorized by this Ordinance to render a decision.

Nothing herein contained shall be construed to give or grant to the Board of Appeals the power or authority to alter or change the Zoning Ordinance or the Zoning Map, such power and authority being reserved for the City Commission of the City of Plymouth in the manner hereinafter provided by law.

SECTION 1805. EXERCISING POWERS:

In exercising the above powers, the Board of Appeals may reverse or affirm wholly or partly, or may modify the order, requirement, decision or determination appealed from and may make such order, requirement, decision or determination as ought to be made, and to that end shall have all the powers of the Building Inspector from whom the appeal is taken.

SECTION 1806. NOTICE:

The Board of Appeals shall make no recommendation except in a specific case and after a hearing conducted by said Board. A written notice of the time and place of such public hearing shall be mailed to the owners, at the address given in the last assessment roll, of all lots or parcels of land lying within three hundred (300) feet of the property in question. Such notices to be delivered personally or by first class mail addressed to the respective owners at the address given in the last assessment roll of the City.

SECTION 1807. MISCELLANEOUS:

No order of the Board of Appeals permitting the erection or alteration of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board of Appeals permitting a use of a building or premises shall

be valid for a period longer than one (1) year unless such use is established within such period; provides, however, that where such use permitted is dependent upon the erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

ARTICLE XIX - REPEAL OF PRIOR ORDINANCES

The Zoning Ordinance adopted by the City of Plymouth, and known as Ordinance No. 182 respectively, and all amendments thereto, are hereby repealed. The repeal of the above ordinance and its amendments does not affect or impair any act done, offense committed or right accruing, accrued or acquired or liability, penalty, forfeiture or punishment incurred prior to the time enforced, prosecuted or inflicted.

ARTICLE XX - VESTED RIGHT

It is hereby expressly declared that nothing in this Ordinance shall be held or construed to give or grant to any person, firm or corporation any vested right, license, privilege or permit.

ARTICLE XXI - SEVERENCE CLAUSE

Sections of this Ordinance shall be deemed to be severable and should any section, paragraph, or provision hereof be declared by the courts to be unconstitutional or invalid, such holdings shall not affect the validity of this Ordinance as a whole or any

part hereof, other than the part so declared to be unconstitutional or invalid.

ARTICLE XXII - EFFECTIVE DATE

Public hearing has been held herein, pursuant to the provisions of Section 4 of Act 207 of the Public Acts of 1921, as amended.

This Ordinance shall become operative and effective on the 19th day of August A.D. 1968.

Made, passed and adopted by the City Commission of the City of Plymouth, Michigan on the 29th day of July A.D. 1968.

James M. Jabara, Mayor

Eugene S. Slider, Clerk

CERTIFICATE OF CLERK

I, _____
Plymouth, Wayne County, Michigan, do hereby certify that the foregoing Ordinance was published in full on _____
circulated within said City. _____
in the _____
a newspaper

City Clerk