

School habitat projects focus on nature

BY CAROL MARSHALL  
STAFF WRITER

Just behind Field Elementary School, the sweet smell of thistle flowers was hanging thick in the humid July air. A frog surfaced in the small pond in the school's nature sanctuary, and insects chirped and clicked, signaling an impending rain.

It's just a little slice of heaven, if you ask Rick Plecha.

Plecha, a 27-year science teacher at the school, helped build the natural habitat, which is now home to four kinds of frogs and at least 14 types of birds, after students complained about the smells coming from Truesdell Drain, which runs behind the school.

"They were saying the creek smelled yucky and there was stuff in there that didn't belong there," Plecha said. They were right. Months later, in 1997, after Plecha organized a work day in conjunction with the school's parent teacher organization and Friends of the Rouge, the volunteers pulled from the creek a sofa, a bike, construction debris and a Dumpster full of garbage.

Immediately the creek began testing healthier, with less bacteria and more oxygen.

The area around the creek then became a natural setting to teach ecology, and with \$63,000 worth of grant money from private sources, Plecha built an outdoor classroom there. It was a natural, literally. Children could learn about ecology and biology, and they could learn about it in a very hands-on environment.

After the cleanup was completed, and work started on the habitat, community groups such as Boy Scouts and Girl Scouts threw in their efforts and took on projects such as wood chip trails and birdhouses



PHOTOS BY BILL BRESLER | STAFF PHOTOGRAPHER

Hoben Elementary students Liia Carpenter and Brandon Bitner helped with the new schoolyard habitat project. Hoben teacher Lynn Helinski (rear) has been one of the prime movers of the project. The Plymouth Community United Way provided \$4,000 to help fund this and other schoolyard habitats around the district.

es, and private citizens made donations, like the aeration waterfall in the frog pond.

And then Plecha began offering help to other schools in the district, finding grant money for them to do the same.

Plecha just completed work on his 10th school, Gallimore Elementary, and final plans for Workman Elementary are pending. Work at Hoben Elementary was also completed earlier this summer.

He's applied for nearly \$500,000 in grant money and has won \$173,000 for the various habitat sites at schools,

and hopes in a few years — when he's ready to retire — to start a second career as a consultant for schools around the country whose representatives wish to do the same.

In the meantime, he's enjoying the hours he spends every month helping schools to build the miniature nature sanctuaries.

"I'm passionate about teaching, and I'm passionate about the environment. This is where it's all come together for me," he said.

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There are a wide variety of birdhouses in the habitat, and many of them have been occupied.



Beth Stewart:  
Allegations are a distraction

BY TONY BRUSCATO  
STAFF WRITER

Plymouth Historical Museum executive director Beth Stewart is responding to allegations that she used the museum, of which she's been director for 17 years, for political gain in her quest to become the Republican nominee for the 20th state House seat in the Aug. 8 primary.

Citizens to Save the Museum, as well as supporters of 20th House District Republican candidate Mark Abbo of Northville Township, have criticized Stewart for using the museum's nonprofit bulk rate stamp, conducting her campaign at the museum during a book signing by former Gov. William Milliken and using the museum's newsletter as a campaign tool.

In a letter to the editor in today's *Plymouth Observer*, Stewart denied using the museum's bulk mail rate for political mailings.

"I used the bulk mail permit number, which I was informed by the Post Office in Plymouth was permissible as long as I paid the proper postage rate, which I did for each and every mailing," Stewart wrote. "I paid the same rate as every other candidate running for office."

Stewart, who earlier told the *Plymouth Observer* she paid \$75 for use of the meeting room at the Plymouth Historical Museum after a June 12 book signing by Milliken, said in her letter she paid for the use of the room by Milliken.

"I paid to rent the Museum for the Milliken event, and the meeting held after, just as anyone can," Stewart said. "It was an event open to the public, and there were other candidates in attendance that evening."

"In my role as executive director of the PHM, a position I've held for 17 years, I have always conducted myself with honor and integrity, and I would never do anything to compromise that or to jeopardize the museum's tax-exempt status."

Citizens to Save the Museum, with the only identified member being Carl Berry of Plymouth Township, has filed complaints with the Michigan Secretary of State office, complaining of Campaign Finance Act violations, and with the IRS, claiming nonprofit 501(c)(3) violations by the Plymouth Historical Museum board.

The museum board was expected to meet Wednesday night a third time with attorney David Theoms of Miller, Canfield, Paddock and Stone to discuss the alleged violations. The board has asked Stewart not to utilize her office

PLEASE SEE ALLEGATIONS, A7

7

27

06

Walker-Buzenberg to close

BY TONY BRUSCATO  
STAFF WRITER

The signs covering the front windows tell it all.

"Great \$1.5 Million Going Out of Business Sale." After 73 Years, Closing Our Store."

Walker-Buzenberg Furniture

on Main Street in Plymouth has become the city's second furniture store in about three months to close its doors because of Michigan's unstable economy.

On Tuesday, owners Eric and David Buzenberg filed papers with the city clerk's office for a

license to conduct a closing-out liquidation sale. On Wednesday afternoon, the store was closed and signs announcing the pending closure covered the windows.

PLEASE SEE CLOSE, A9

Symphony adds Canton to name

BY TONY BRUSCATO  
STAFF WRITER

With Orchestra Canton and the Celebration Youth Orchestra concerts becoming mainstays at the Village Theater at Cherry Hill, the Plymouth Symphony Society has made its mark serving the Canton community.

With that in mind, the Plymouth Symphony Society board has changed its name to

reflect the symphony's presence in both Plymouth and Canton.

"To become more inclusive in the Canton community, the board felt it appropriate that the organization reflect the presence and commitment to the long-time commitment we have to the Canton community," said Don Soenen, Society president. "So, we voted to change our name to the Plymouth Canton Symphony Society."

In fact, the PCSS has also decided to stretch its reach to both Northville and Novi, with plans to hold a number of the upcoming season concerts in the Northville High School auditorium.

"It offers an opportunity to reach into the Northville and Novi area, something we looked forward to doing for

PLEASE SEE SYMPHONY, A7

Education a top priority for House hopeful Lamar

BY TONY BRUSCATO  
STAFF WRITER

There's no doubt that if Joanne Lamar of Plymouth Township is elected as the next state representative of the 20th House District, education will be a top priority.

Lamar, a former Plymouth-Canton Community Schools trustee, is clear on where she stands when it comes to education initiatives and funding.

"I'm not sure if the changes we see this year are because of the election," Lamar said of the \$200 per pupil state foundation increase proposed for public school districts. "However, I'm hoping (Gov.) Jennifer Granholm and others will say we should be focusing on education, and not just make it an election year event, but something we will truly push for in this state."


"The new high school graduation requirements are wonderful, and maybe after a few more years we will make them more challenging, and do something else for kids to go to college," she added. "I don't know exactly where we'll get the money, but maybe we can restructure things."

One of those areas might be the K-16 Coalition proposal on the November ballot, which gives automatic annual funding increases to school districts. Lamar gives her support to the initiative.

"I think we need cost-of-living increases for schools, at the very least," Lamar said. "Our energy, salaries and health insurance costs are up, and many districts are running deficits. That's why I think they should get cost-of-living increases."

"There are ways we can save money in the state to pay for it," she added. "There's a lot of waste in the prison system. They exist on \$20,000 (per prisoner) and our children get

PLEASE SEE LAMAR, A3



Lamar

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## American Legion sale

The American Legion Auxiliary Unit 112 is having its annual Rummage and Bake Sale 10 a.m. to 4 p.m. Aug. 17-19 at the IOOF Hall, 344 Elizabeth (at Ann Arbor Trail) in Plymouth.

Anyone who would like to donate items can deliver them to the hall from 11 a.m. to 3 p.m. Aug. 15-16. Donations are tax-deductible. All proceeds will be used to benefit veterans.

## Friends of Miller Woods

The Friends of Miller Woods are looking for new members to help build an organization committed to preserving and protecting Miller Woods from future generations.

The group is planning guided tours, guest speakers, fundraising and maintenance activities and is looking for others

to join.

Dues are \$25 for an individual, \$40 for families and help pay for bi-annual newsletters, postage, etc.

For more information or to obtain an application form and recent newsletter, contact Cheryl Bord at (734) 459-7666.

## Sidewalk sales

The Plymouth Community Chamber of Commerce presents its annual "Plymouth Sidewalk Sales" July 28-30.

The event takes place 9 a.m. to 9 p.m. Friday, July 28; 9 a.m. to 6 p.m. Saturday, July 29 and noon to 5 p.m. Sunday, July 30. Plymouth's variety of unique shops and galleries will offer special discounts and bargains.

In addition, the Farmer's Market is also open 7:30 a.m. to 12:30 p.m. Saturday, July 29, in The Gathering across from Kellogg Park.

For more information, call the chamber, (734) 453-1540.

## Busch series car

The Dick Scott Automotive Group sponsors a NASCAR Charger, car #4 of the Busch racing series.

The car, along with driver Auggie Vibovich, will be on display at the Dodge dealership in Plymouth, 684 W. Ann Arbor Road, noon-3 p.m. Wednesday, Aug. 16.

For more information, call (734) 451-2110, Ext. 221.

## Blood drive

The Plymouth post office hosts a blood drive 11 a.m. to 4:30 p.m. Wednesday, Aug. 2, for the American Red Cross at the main post office on Beck Road.

Appointments can be made by calling Barb Mitchell, (734) 453-6111, but walk-ins are also welcome.

## Alice in Wonderland

The Marquis Theatre in downtown Northville hosts a summer production of the musical "Alice in Wonderland" Aug. 7 to Sept. 24.

Performances are scheduled for weekdays (Aug. 7-11 and Aug. 14-18), Monday-Friday, at 10:30 a.m. and Saturdays, (Aug. 12, 19 and 26) at 11:30 a.m., with Saturday and Sunday matinees scheduled Sept. 9-10, 16-17 and 23-24 at

2:30 p.m.

Tickets are \$8; no children under the age of 3. For school reservations, birthday parties, group rates and reserved seating for 20 or more, call (248) 349-8110.

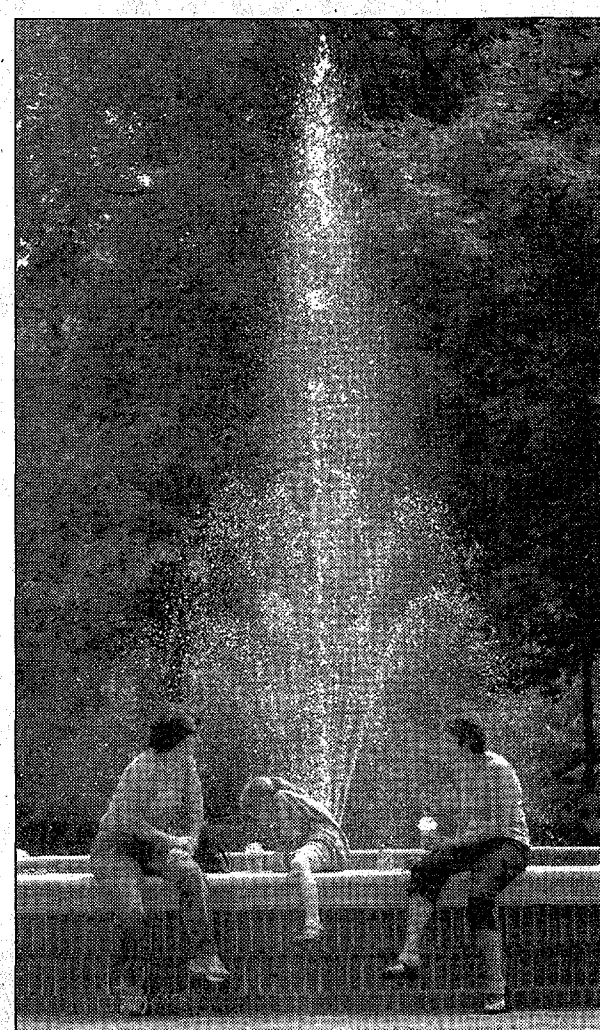
The Marquis Theatre is located at 135 E. Main in downtown Northville.

## Restaurant crawl

The Plymouth Community Chamber of Commerce hosts its seventh-annual Old Village Restaurant Crawl 5:30-8:30 p.m. Wednesday, Aug. 9.

Eight participating Old Village restaurants — Station 885, Plymouth Crossing, Hermann's Olde Town Grille, Plymouth Fish & Seafood, Grecian Café, The Caboose, Cassel's and Crawford's Kitchen — will provide samplings of their specialties. Free horse-and-carriage rides will be available for ticket-holders.

Tickets may be purchased now at Plymouth Crossing, Plymouth Fish & Seafood, Station 885 and the Plymouth Community Chamber of Commerce, 850 W. Ann Arbor Trail. The cost is \$15 per person; children 12 and under are \$5. Tickets can be purchased by phone using Visa, MasterCard or Discover through the chamber office only, (734) 453-1540.



BILL BRESLER | STAFF PHOTOGRAPHER

## Beautiful day

A beautiful morning often brings Plymouth folks to Kellogg Park. In this case, Sarah Gagzek, 8-year-old Kaley Ross and Kaley's mom Nickie Ross enjoyed the day.

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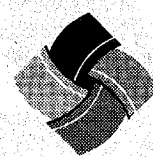
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## Physical Therapy Hands On Center UPDATE

Presented by  
**Hands On Center For Physical Therapy**  
**USE IT OR LOSE IT**

The National Institute of Aging uses the term "sarcopenia" to describe age-related muscle loss. The average 30-year-old can expect to lose about 25% of his or her muscle mass and strength by age 70 and another 25% by age 90. At the same time, bones also weaken due to a progressive decrease in the calcium content. Over the years, this leads to "osteopenia" and an increased risk of fractures. The good news is that sarcopenia and osteopenia are not inevitable consequences of the aging process itself. Those individuals who engage in resistance exercise (defined as any time the contraction of a muscle

is opposed by a force stronger than it is used to encountering) can maintain bone and muscle strength.

Those who are interested in beginning an exercise regimen to combat the effects of aging should not do so without a comprehensive assessment of your physical condition by a health professional. For additional information about today's column, call the **HANDS ON CENTER FOR PHYSICAL THERAPY** at 455-8370. We are located at 650 South Main Street in downtown Plymouth. We have easy access and parking. New patients are gladly accepted.

P.S. Resistance exercise can take the form of isometric exercise or weight lifting.



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# Commencement address

## Teacher honors family with graduation speech

"Nothing is beyond forgiveness. Forgiveness is the greatest lesson of my father's life. It is his legacy."

Ann-Nora Hiram commencing speaker  
North Hollywood High School

BY BRAD KADRICH  
STAFF WRITER

When Ann-Nora Hiram was developing the commencement address she'd deliver at the 65-years-in-the-making graduation ceremony for her father and uncle, she knew she was going to take a page out of her dad's book.

Her father, Soichiro "Pat" Hiram of Livonia, and his brother, Akira, were taken out of North Hollywood High School in the aftermath of the 1941 bombing of Pearl Harbor. The family was put into an internment camp - Hiram prefers to call them what she

believes they are, concentration camps - where it spent more than three years.

The brothers wound up with diplomas from Camp Manzanar and, in fact, went on to distinguished careers. But they never got the chance to graduate from their own school.

Until June, when officials at North Hollywood High School, taking advantage of a new California law that allows them to confer diplomas retroactively, invited the Hiram family to join the Class of 2006.

And asked Ann-Nora Hiram to be the guest speaker. "It was wonderful," she said. "I didn't spend too much time ahead of time imagining it. I just trusted it would be fantastic, and it was."

When it came time to decide what she was going to say, Hiram simply looked at the life her father led. He's never

shown anger, or the bitterness she thinks he may well have been entitled to.

Instead, he's lived a life of forgiveness, a theme she used as the basis for her speech, given before more than 700 graduates. She talked about what Japanese-Americans went through at that time in American life and, since North Hollywood's student body is above 70-percent minority, she felt like it resonated with them.

"My uncle, who is a retired teacher from the Bronx, said immediately, 'This is a really diverse student body, and I like it,'" Ann-Nora Hiram said. "I did, too."

While in California, the family had originally intended to make the four-hour trip to Manzanar, but decided against it. They did, however, stay in the Little Tokyo area of the city and visited the Japanese-American National Museum.



The Hiram family - Soichiro "Pat" Hiram, his wife, Cynthia, Ann-Nora Hiram and Akira Hiram - were special guests at North Hollywood High School's graduation ceremony for the Class of 2006. Soichiro and Akira received their diplomas more than 60 years after being taken from the school following the bombing of Pearl Harbor.

The museum had a reconstructed barracks from one of the camps, the kind Hiram's family lived in for those three-plus years. It made for an emotional trip.

"They actually salvaged one of the old buildings," Hiram said. "My uncle was really overcome. It was very stirring, everything you would expect." As was her address. She got

a tremendous amount of support from family and friends in the weeks leading up to the speech, and felt confident giving it.

During the speech, she beseeched graduates to reach up and "take back for a short time" loved ones who have been lost and who, Hiram insisted, were "looking down on us with grace and to witness this moment."

"Sometime in your lifetime someone will treat you unfairly," she told the graduates. "If you do not forgive others, you will not have as much energy to give to yourself, and others."

Hiram was sure she'd cry during the address, but she didn't. It did, however, reportedly catch her construction-worker brother a little by surprise emotionally.

"I think she did really well, and I think she was well-received," Greg Hiram said. "I think it really tracked with the (minority) students, because she talked about forgiveness."

"It was nice for me to be out in the area where my dad and my uncle grew up," he added. "And it was nice to see them get their due."

Hiram figured she'd be able to draw on the support she got from everyone, and she was right.

"When there are that many people behind you, you really go on the adrenaline," she said. "I felt like I was going to be able to deliver what I wanted. It was a very emotional day."

bkadrich@hometownlife.com | (734) 459-2700

## LAMAR

FROM PAGE A1

\$7,000. We can make some changes to streamline so that prison isn't so posh."

Lamar is one of three Democrats vying for the party's nomination in the Aug. 8 primary for the 20th House seat, which is being vacated by term-limited John Stewart (R-Plymouth Township) after six years. And, like her counterparts, eliminating the Single Business Tax will be a priority if she's elected.

"If you look at other states, they have a very structured and simple way they tax business," Lamar said. "I think as a collaborative group, we can come up with an answer on how to creatively do things differently in this state to make it enticing for business."

"We still have the mindset the Big 3 (automakers) are big in our minds," she added. "The Legislature has to look at things from a totally different, creative perspective. We need to see what will work in this state to make us a viable entity, and provide jobs for the people here. Elimination of the Single Business Tax is one of those things ... and we'll have to tackle it quickly."

With a career in health care, Lamar knows the costs are escalating, and something needs to be done before it gets too far out of control.

"We really need to support health care because it's the biggest employer in Michigan with over 700,000 employees," Lamar said. "I wouldn't want to see Medicaid cuts for health care because we need to keep the health care industry strong. "Mental health services in

the state are rather inefficient," she added. "Putting people in a subsidized situation in the community, with medication and slight supervision, would be a lot cheaper than what we pay to get people in and out of the emergency room."

Lamar looks at alternative and flexible fuels as good for Michigan's economic future, if everyone can get on the same page.

"I'm not sure everybody is working together," Lamar said. "There needs to be a collaborative team of people in energy, agriculture, education and the unions. Why can't we retrain auto workers who are out of jobs into jobs in the energy industry?"

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# Destination Theatre to present 'A Journey Through Broadway'

Destination Theatre, a new Canton musical theater company, will lift the curtain on an original musical production as it presents "A Journey Through Broadway" July 28 and 29, and Aug. 4 and 5 at the Village Theater at Cherry Hill in Canton.

Destination Theatre is a resident musical theater company at the Village Theater, Canton's performing arts facility located

## ARTS

at the corner of Cherry Hill and Ridge roads. "A Journey Through Broadway" is directed by Gina Meares who brought the American classic *Annie Get Your Gun* to the Canton stage last August.

"This summer's show is a

concept that my daughter and I have dreamed about for quite some time," said Meares. "Favorite songs from memorable Broadway shows are woven together into a seamless production. It is much more than a musical review."

This will be Destination Theatre's fourth stage production in less than a year. Board member Patrick Persons expressed excitement about

the talented singers and dancers who appeared for auditions. "Once again we have been able to assemble an amazing cast and have drawn performers from Wayne, Washtenaw and Oakland counties," said Persons. "We're especially pleased with the number of Plymouth-Canton students and graduates who are in the production. Many of our singers are home for the summer from colleges around the country where they are studying theater."

Mia Topalian, a Canton High School freshman, is equally excited about the show.

"We're singing songs from *Wicked*, *Rent*, *Hairspray*, *Chicago*, *Grease* and so many other great shows," Topalian said. "These are songs that I've always wanted to perform on stage and it is so great to be doing it right here at the Village Theater."

Show times for "A Journey Through Broadway" are 8 p.m. July 28 and 29, and Aug. 4 and 5. Tickets are \$14 for all ages, and are available by calling (734) 394-5460 or (734) 394-5300, or by visiting Summit on the Park, 46000 Summit Parkway in Canton, from 8:30 a.m.-8:30 p.m. Monday-Friday and 9 a.m.-5 p.m. Saturday and Sunday.

For more information about "A Journey Through Broadway" or Destination Theatre, visit [www.destinationtheatre.org](http://www.destinationtheatre.org), or call Patrick Persons at (734) 416-9883.



'A Journey Through Broadway,' which will play at the Village Theater, will feature songs from many popular musicals.



Destination Theatre actors prepare for the upcoming show, 'A Journey Through Broadway.'

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## Michigan Eye Doctor Helps Legally Blind to See Again

Diplomate in Low Vision Care trains Dr. Sheldon Smith to help those with macular degeneration to keep reading and driving.

By Elena Lombardi  
Freelance Writer

Livonia, Michigan - Just because you have macular degeneration or other eye diseases like diabetic retinopathy doesn't mean you must give up driving.

Ever look through a pair of field glasses or binoculars? Things look bigger and closer, and much easier to see. California Optometrist, Dr. Richard J. Shuldiner and Michigan optometrist, Dr. Sheldon Smith, use miniaturized binoculars or telescopes to help people who have lost vision from macular degeneration or other eye conditions.

"Some of my patients consider us the last stop for people who have vision loss," said Dr. Smith, a low vision optometrist who trained with Dr. Shuldiner in California.

"People don't know that there are doctors who are very experienced in low vision care." Dr. Shuldiner happens to be one of only 52 Low Vision Diplomates in the world in the American Academy of Optometry.

Macular Degeneration is the most common eye disease amongst the senior population. As many as 25% of those over 65 have some degree of degeneration. The macula is one small part of the entire retina, but it is the most sensitive and gives us sharp images. When it degenerates, macular degeneration leaves a blind spot right in the center of vision making it impossible to recognize faces, read a book



Carole Buckles with Bioptic Telescopic glasses for driving and watching baseball games.

or pass the driver's vision test.

The experts do not know what causes macular degeneration. But, it is known that UV light from the sun is a major contributing factor. Other factors are smoking, aging of course, and improper nutrition. 15 to 20% of the time it is genetic.

There are two types, wet and dry. The wet type involves leaky blood vessels and can be lasered shut. Unfortunately, it's a temporary fix since other leaks usually occur.

"Our job is to figure out everything and anything possible to keep a person functioning," says Dr. Smith. Even if it's driving.

The state of Michigan allows the use of telescopic glasses to help meet the vision requirements for driving.

Donald Paquette, 72, a former county assessor from Anaheim, California was seen last November. "I could not read the street signs soon enough when driving, and I couldn't read my saxophone music anymore."

The Doctor fit him with bioptic telescope glasses. "Amazing!" says Donald. "I can read the street signs twice as far as I did before. I can play my sax again. Happy day!"

Carole Buckles, 71, of Arcadia, California came on the advice of a friend. "I wanted to be able to keep driving and do the fun things in life." One of those fun things is baseball. "I love going to baseball games and now I can see those close plays again," she says.

Bioptic Telescopic glasses were prescribed to read signs and see traffic lights farther away. As Carole puts it, "These telescope glasses not only allow me to read signs from a farther distance, but makes driving much easier. I've also used them to watch television so I don't have to sit so close. Definitely worth the \$1975 cost. I don't know why I waited two years to do this; I should have come sooner."

"Telescopic glasses usually cost over \$2000," says Dr. Smith, "especially if we build them with an automatic sunglass."

Dr. Smith also provides special prismatic reading glasses to make the newspaper a little easier to read.

Ellen Imboden traveled from Sweden and was helped with two pairs of glasses: Special \$475 prismatic glasses that let her read newsprint, as well as bioptic telescopes to continue driving in Sweden.

Low vision devices are not always expensive. Some reading glasses cost as little as \$475 and some magnifiers under \$100. Every case is different because people have different levels of vision and different desires.

Dr. Smith has offices in Livonia, West Bloomfield, St. Clair Shores and the Lansing area. Dr. Smith can be reached at Suburban Low Vision toll free at 1-877-677-2020.

Free seminars for senior centers and retirement facilities are also available.

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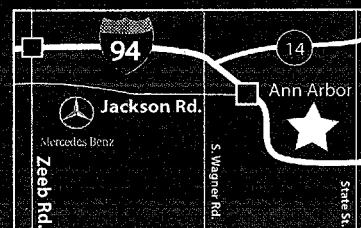
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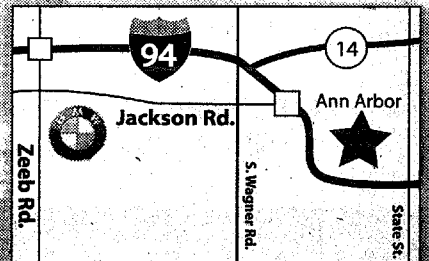
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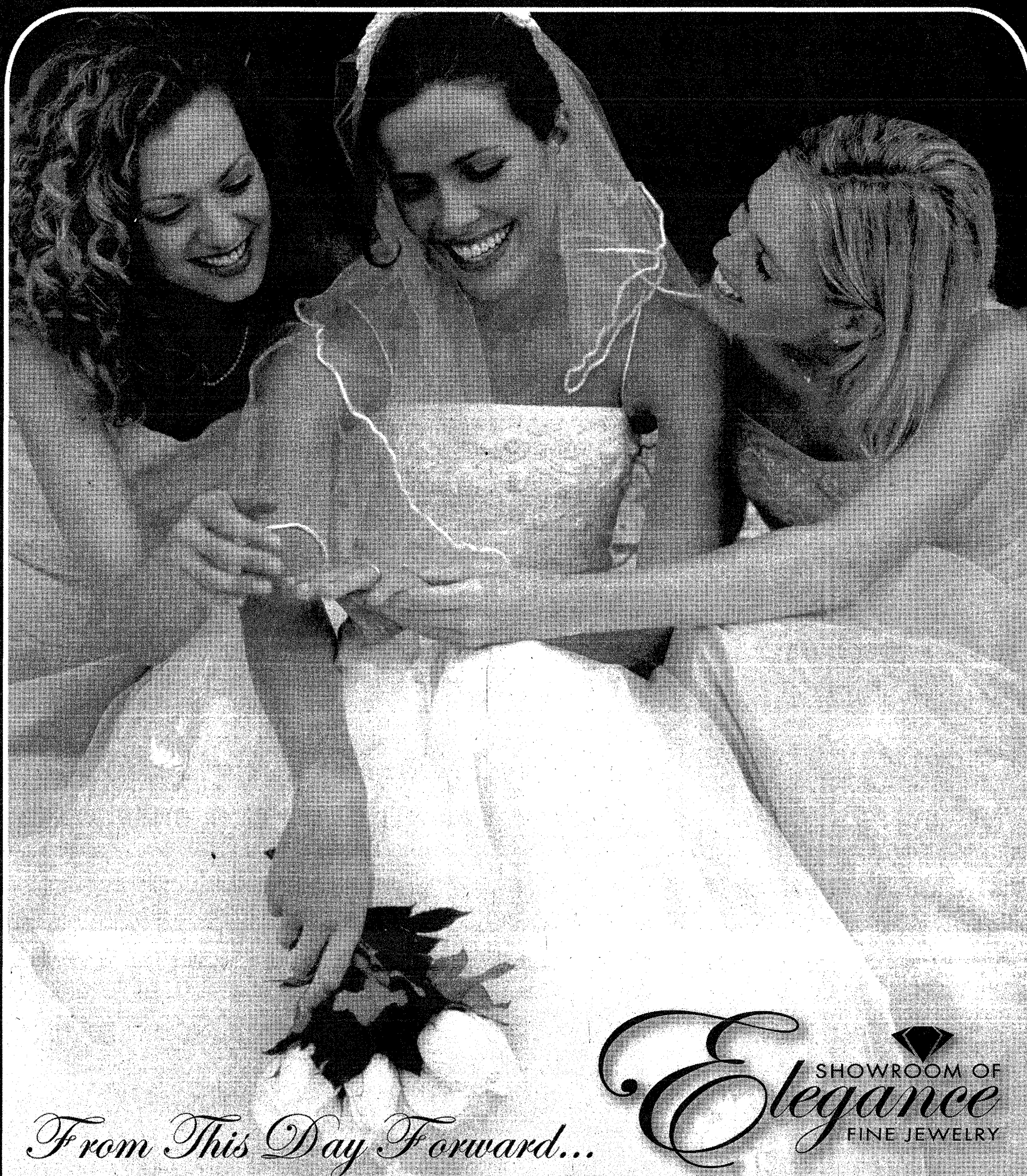
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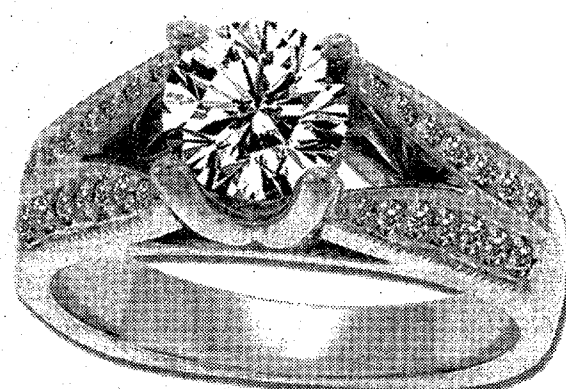
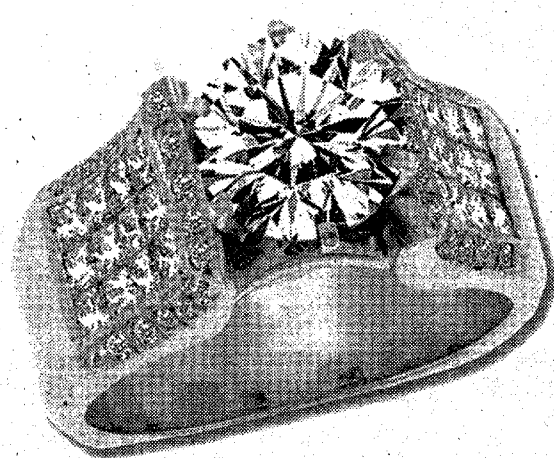
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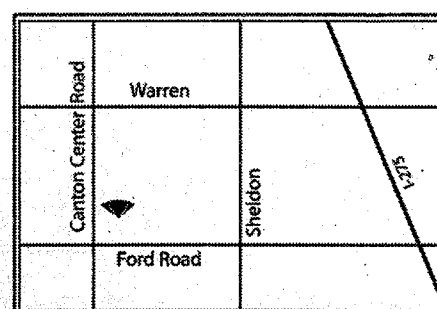
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## ALLEGATIONS

FROM PAGE A1

or any equipment at the museum until the investigation is completed.

"As a gesture of good faith, I have informed the museum board of directors that I will continue my leave of absence until the museum is free and clear from these baseless allegations," Stewart wrote.

In an interview, Stewart said the issues have been "set up to be a distraction" to her campaign, but said, "I haven't been asked by people" about the accusations during door-to-door campaigning.

"I think this is small potatoes as far as the IRS is concerned," Stewart said. "I think it will be done and over with very shortly."

Political analyst Bill Ballenger, editor and publisher of *Inside Michigan Politics*, said he believes the political fray will be a non-factor in the Aug. 8 primary.

"Technically, maybe nothing was done wrong, but you shouldn't mix up partisan political mailings with museum business," Ballenger said. "Even if it's legal, it's not a smart thing for somebody to do."

"However, with the expected low voter turnout in the primary, I don't think something like this will be the deciding factor," he added.

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## SYMPHONY

FROM PAGE A1

some time," Soenen said. "We'll use a variety of venues that will further expand the reach of the Plymouth-Canton Symphony Society."

The nonprofit Plymouth Canton Symphony Society consists of the Plymouth Symphony, Orchestra Canton, the Celebration Youth Orchestra and an educational outreach program that works with every third- and fourth-grade student in Plymouth-Canton and Wayne-Westland schools.

The Plymouth Symphony Orchestra subscription season includes five performances, of which two are scheduled for the Penn Theatre, two at Northville High School and one at the Village Theater. The annual Nutcracker Ballet, a collaboration with the Plymouth-Canton Ballet Company, will be held at Salem High School in Canton. There are also four Orchestra Canton concerts scheduled for the Village Theater, as well as the Pops concert at Laurel Manor in Livonia, which is a fundraiser.

"We're looking at potentially one or two added concerts at the Penn next year, and a summer concert in Canton," added Soenen. "We'll see how the season progresses."

Jennifer Tobin, Canton arts coordinator, said the name change will only enhance the PCSS reputation throughout the region.

"I don't think it will change what they are, but it does open it up to more partnership and ownership by the Canton community," Tobin said. "I think it makes them more of a regional concern for funding, development and state grants."

The Penn Theatre is scheduled to host a Sept. 30 opening night Plymouth Symphony concert, with another March 10. In between, there will be performances by the Plymouth Community Band, as well as

other events.

Ellen Elliott, executive director of Friends of the Penn - the nonprofit group which has a \$1.5 million restoration plan for the theater - said they've raised \$115,000, with expenses thus far totaling \$65,000.

"We started putting in some of the 400 seats back in, and we have enough money to buy the equipment we need to put the concession area back together," Elliott said. "That's crucial because that's what's going to allow us to make money."

"We won't make money off the movie ticket prices," she said. "Our prices for concessions will be lower than major theaters, but we'll still make money."

Soenen, who is part of the consortium that bought the Penn Theatre for \$1.2 million and is leasing it to the Friends for \$1 a year, said it would be beneficial for the orchestra to have a permanent home, as it did at Our Lady of Good Counsel Catholic church the past few seasons before scheduling conflicts forced the symphony to move out. However, Soenen said venues around western Wayne County will bring more exposure.

"There's certainly something to be said to have a true home for the orchestra, but we have to work with what's available," Soenen said. "Although the capacity at the Penn is somewhat limited, we're looking at collaborating with restaurants and the rest of the downtown community with before and after concert activities."

"It's a tremendous opportunity for downtown business owners, especially restaurants, to participate in activities going on at the Penn," he said. "It's good for everyone."

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# 'Helping future generations'

## Foundation scholarship program aids 31 students

BY KURT KUBAN  
STAFF WRITER

About three dozen students from the Canton and Plymouth communities will have an easier time paying for the cost of their college education this fall after earning scholarships through the Canton Community Foundation.

The foundation awarded more than \$30,000 in scholarships to area students this year.

"We are the largest scholarship provider in the Plymouth-Canton area," said Canton Community Foundation President Joan Noricks.

In addition to the foundation itself, many local businesses, organizations and charitable groups use the foundation's program to award schol-

arships, including Yazaki International, the Bittinger Team, and the Canton Chamber of Commerce.

Each year, Yazaki provides two \$2,000 scholarships, one to a female and one to a male, which the students will continue to get during their years in college, as long as they maintain certain academic standards. Noricks said this year Yazaki will write out checks totaling \$30,000. The two 2006 recipients are Naila Ashraf and Adam Davis, both of Canton.

Some of the scholarships were created in the memory of local residents who made an impact on the community during their lifetimes.

One of these, the Marvin Schulz Memorial Scholarship, which annually provides \$300,

honors a longtime volunteer at Bentley Elementary. As it happens, one of this year's scholarship recipients is Laura Schulz, who is Marvin Schulz's daughter.

Laura Schulz, 18, a recent graduate of Plymouth High, was awarded a \$500 scholarship from the Canton Community Foundation and Eastern Michigan University, the school she will attend in the fall, where she will major in nursing -- a field she decided to go into after watching her father die when she was in the 6th grade.

Schulz said the scholarship will definitely help her, just like the other recipients.

"I think it's a great program. There were a lot of kids trying for these. Obviously it's beneficial -- \$500 can pay for

something, like books. Any money helps when you are in college," she said.

The majority of the students that applied for the scholarships were graduating high school seniors, but Noricks said most of the scholarships are open to all college students, regardless of age or situation, who live in Canton or Plymouth.

According to Noricks, a review committee made up of six community members and high school counselors waded through the 125 applications that came in this year. To make the process fair, they used a scoring matrix, which awarded points for a number of factors, including family income, community activities, grade point average, ACT scores, and leadership qualities. They then

took the top 31 scorers and matched them with the scholarships.

Noricks said the process took about six weeks and included long hours and hard work -- all worth it in her opinion.

"An education costs a lot these days. It is important to support the educational endeavors of our students. It is important for our society. All of society benefits if we educate our kids. That's what motivates us and this program," Noricks said.

Since the inception of the foundation's scholarship program in 1980, \$360,000 has been awarded.

Anna Williams, 17, is the fourth person in her family to earn a scholarship through the program. The recent graduate

of Canton High was awarded a \$1,000 scholarship from the Kiwanis Club of Plymouth Canton Breakfast. She will be attending University of Michigan-Dearborn in the fall, where she will major in international studies.

"I am so thankful for this scholarship. It's really going to help out," she said.

"There are real rewards with this program. It is helping future generations. Getting a degree is very important."

For more information about the Canton Community Foundation and its many programs, please visit [www.cantonfoundation.org](http://www.cantonfoundation.org) or call (734) 495-1200.

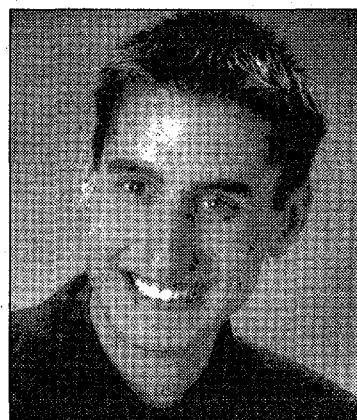
kkuban@hometownlife.com  
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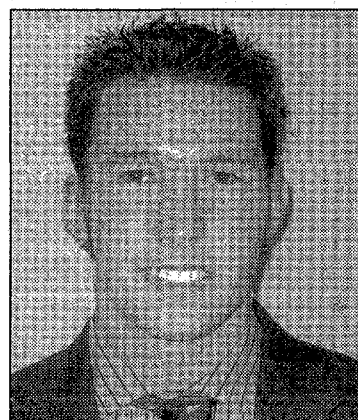
Emilee Argent, Canton  
Elizabeth Durack Memorial, \$500



Naila Ashraf, Canton  
Yazaki North America, \$2,000



Marc Ballielli, Canton  
Canton Chamber of Commerce, \$500



Richard Beedle, Canton  
Canton Community  
Foundation/Schoolcraft College  
Explorer Program, \$500



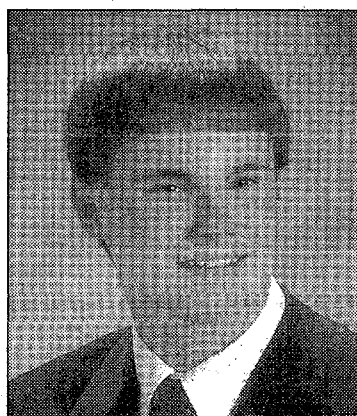
Stephanie Bird  
Mans Lumber & Millwork, \$500



Jessica Bono, Canton  
Canton Community  
Foundation/Schoolcraft College  
Foundation, \$500



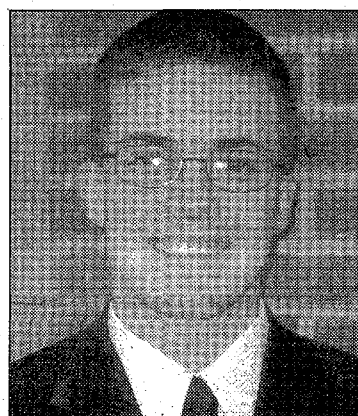
David Budzisz, Canton  
Canton Community Foundation/U-M  
Dearborn, \$500



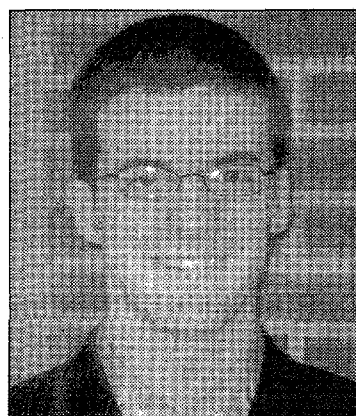
Adam Davis, Canton  
Yazaki North America, \$2,000



Matthew DuPrie, Canton  
Jack Demmer Ford, \$500



Jason Frye, Canton  
Canton Community Foundation/Youth  
Leadership, \$500



Jonathan Frye, Canton  
Canton Community  
Foundation/Eastern Michigan  
University, \$500



Elizabeth Gutowski, Canton  
Denski Family, \$500



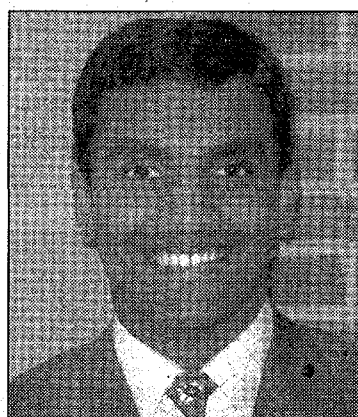
Jon Hagar, Canton  
The Bittinger Team, \$1,000



Megan Hammond, Plymouth  
Canton Community  
Foundation/Eastern Michigan  
University, \$500



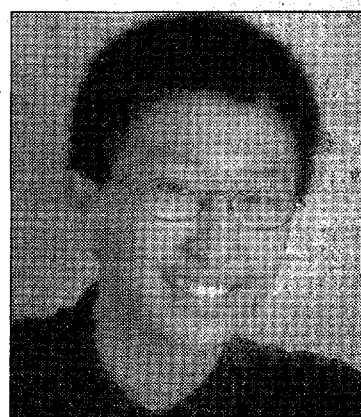
Catherine Huang, Canton  
Canton Garden Club, \$500



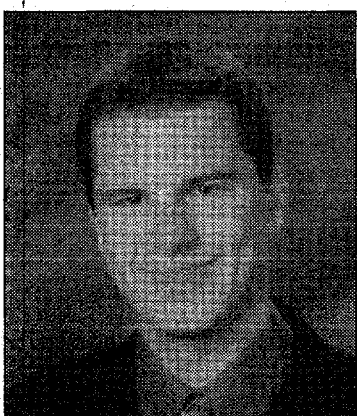
Pridvi Kandagatla, Canton  
The Bittinger Team, \$1,000



Maria Lawless, Canton  
Canton Lions Club, \$500



Victor Lee, Canton  
Marvin Schulz Memorial, \$300



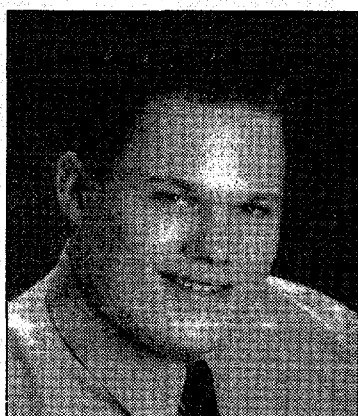
Steven Lent, Plymouth  
Canton Community  
Foundation/Lawrence Tech, \$1,000



Kimberly Mabie, Canton  
Canton Community Foundation/Harold  
Rosin Memorial, \$500



Lauren Paul, Canton  
Canton Business & Professional  
Women, \$500



Nickolas Remington, Canton  
Canton Chamber of Commerce, \$500



Anna Ross, Canton  
Meredith L. Whalen Memorial, \$500



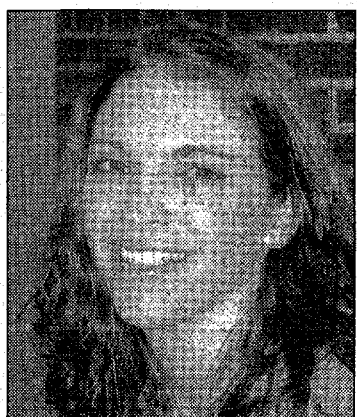
Laura Schulz, Canton  
Canton Community  
Foundation/Eastern Michigan  
University, \$500



Rachel Stoney, Plymouth  
Canton Community  
Foundation/Penelope Hope Klei, \$500



Nivedhitha Subramanian, Canton  
Canton Community Foundation/Harold  
Rosin Memorial, \$500



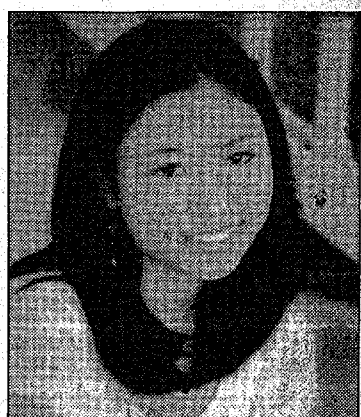
Alena Weiss, Canton  
Canton Community  
Foundation/Lawrence Tech, \$1,000



Anna Williams, Canton  
Kiwanis Club of Plymouth Canton  
Breakfast, \$1,000



Kathryn Yack, Canton  
Elizabeth Durack Memorial, \$500



Stacy Yee, Canton  
The Bittinger Team, \$1,000



# Research firm works to quiet the noise

BY CAROL MARSHALL  
STAFF WRITER

Since moving into its new Canton facility, Material Sciences Corporation has had a lot to make noise about. To be more precise, the company is making noise about not making noise.

"This is arguably one of the quietest rooms in the world," said Matthew Murphy, MSC's global director of sales and marketing, as his words fall flat in air that feels heavy due to the absolute lack of echo and outside noise, an effect of soundproofing which can be disquieting to the layperson.

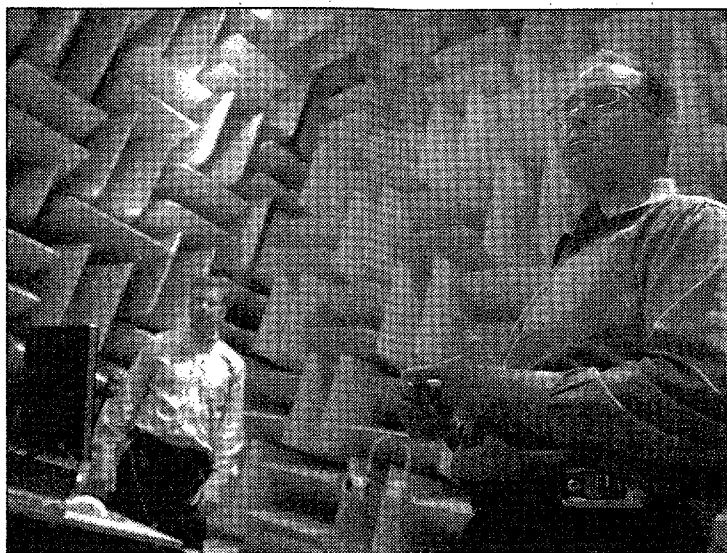
The room is located in the heart of the Application Research Center, a 65,000-square-foot, one-of-a-kind noise and vibration testing facility near Koppernick Road. MSC, along with two partner companies Link Engineering, and Bruel & Kjaer products, moved into the center in Canton in March.

MSC, the developer of Quiet Steel, has for more than 50 years worked to make cars quieter, but has also started applying Quiet Steel technology to computer hard drives and home appliances.

To do that, the facility's testing areas are designed to eliminate noise in a completely controlled environment, in order to measure how subtle noises are transmitted through automotive components.

"Noise and vibration problems are hard to resolve," said Gregory Goetchius, MSC global noise and vibration director. "It's not quite astrophysics but it's up there. We have Ph.D.s and master's degrees on our staff and every day we learn something new."

Testing is done in large chambers, including the com-



BILL BRESLER | STAFF PHOTOGRAPHER

Matt Murphy (left) and Greg Goetchius discuss how the facility's anechoic chambers work. The 'wedges' that cover the walls and ceiling absorb sound.

pany's crown jewel – the four-wheel-drive noise and vibration chassis dynamometer suite. Inside, the company can "road test" cars to see how much noise is coming from them. Cars are placed on four spinning cylinders in the floor, and can be tested at speeds up to 140 miles per hour without ever hitting the road.

"We can go wide open full throttle, by putting a car on these chassis rolls," Goetchius said. The room is designed to eliminate extraneous noise, using large anechoic (sound-absorbing) wedges to cover the walls and the ceiling, creating a bizarre looking and futuristic chamber.

"We need to eliminate all noise so that we can determine what noise is coming from the car itself," Murphy said.

But creating those kind of "open road" conditions requires heavy equipment that can produce "wind" (to keep the engine from overheating) and "speed" (by spinning the cylinders on which the tires are

placed).

So, as incredible as the testing chamber appears, what lies below is a feat of engineering in itself.

Below the testing chamber is equipment large enough to fill an average bedroom. In order to keep the operating machinery from causing vibration in the room above, it is mounted to a 250,000-pound "seismic mass" slab of concrete, which is then isolated from the rest of the floor by special footings. The floor underneath is 12-foot deep concrete, which will support the mass of the machinery and slab without cracking or shifting.

In the room where non-automotive components – like computer hard drives and dishwashers – are tested, the wedges are even built into the floor, and the room itself is separated from the rest of the building, making it quite possibly the quietest place on the planet.

Noise elimination is serious business to MSC's customers –

the largest of which are the "Big Three" automakers.

Noise and vibration shows up very high in customer satisfaction surveys, according to Goetchius, and customers equate quiet with quality.

Yet, very often noise reduction is an afterthought to car designers.

"Typically a car is 90 percent done and an engineer will ride in it and say it's too loud. Then they throw a lot of money into it, trying to get the car to be quieter," Murphy said.

But when MSC is involved from the early phases of design, the car maker can incorporate quiet right into the core design, saving weight and money in every car, and also improving quality, he added. Quiet Steel is used in approximately 40 different automotive models, manufactured in three countries.

Before moving to its Canton location, MSC didn't have a testing facility, and had to outsource much of its testing. Goetchius said. So when it made the move from Farmington Hills earlier this year, testing capabilities were behind the relocation of the business, which employs some 60 workers.

The company considered locations near Chicago, where MSC is headquartered, and near Toledo, where the company's manufacturing facility is located.

"Michigan and Canton did a very nice job of offering incentives which made it a good decision for us to be here," Goetchius said.

cmarshall@hometownlife.com  
(734) 459-2700

# Unit holds open barn

Area residents will have a rare opportunity to spend time with the officers and horses of Michigan's last full-time mounted patrol.

On Saturday, July 29, Wayne County Sheriff Warren Evans is inviting the public to an open house at his department's Mounted Unit barn, which is located on Hines Drive just west of Newburgh Road in Livonia.

The Open House will be held

from 11 a.m. to 3 p.m. People attending the free event will have an opportunity to get up close and personal with the unit's new four new mounts, which were recently purchased to replace four others who have since retired to new homes, as well as the unit's "veteran" horses. Officers will conduct hourly tactical demonstrations and show visitors how they groom and train their mounts.

## CLOSE

FROM PAGE A1

On the application, owners noted "economic conditions" as the reason for closing, and stated the business will shut down at the end of the sale.

The store is scheduled to be closed until Friday, Aug. 4, at 10 a.m., when the doors will reopen for the liquidation sale.

On Tuesday, Eric Buzenberg declined to comment on the pending closing. Neither he nor his brother, David, were available Wednesday evening. The Buzenberg brothers took over the business in 2000 after the passing of family patriarch Ed Buzenberg.

The brothers' great-uncle, Fred Walker, was a buyer for Crowley's in 1933 when he decided to strike out on his own. Walker started the family business in his mother's house, then opened the first Walker Furniture on Grand River in Detroit several months later. The store also sold refrigerators, sewing machines and carpet.

Fred Walker died in 1949, at which time his children ran the store. The building was destroyed by fire in May 1965,

and the family moved to a location on Seven Mile. Ed Buzenberg formed a partnership with Harvey Walker that year, which lasted until the elder Buzenberg bought him out in 1977. A year later, Buzenberg moved the store to Plymouth.

Walker-Buzenberg joins Laurel Furniture, which closed its doors on Ann Arbor Trail three months ago. Owner Don Wurm kept his store open until he died in March of colon cancer at age 61.

The only two furniture stores remaining in Plymouth are Village Shopkeeper on Forest Avenue, which specializes in Amish furniture, and Brass & Iron Beds on Ann Arbor Trail, also on Forest.

Plymouth Realtor Fred Hill, who once owned two businesses in downtown Plymouth over a 24-year span, remembered the days when Plymouth had five furniture stores, three variety stores and two car dealerships.

"I've been here long enough to see small town trends change," Hill said. "The furniture business seems to be going to big box stores like IKEA, Art Van and Ethan Allen."



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## OUR VIEWS

# Donation needed more thought

We're sure the Plymouth Downtown Development Authority made its \$20,000 donation to the Friends of the Penn with good intentions.

But there's a reason for the saying about the road to hell being paved with good intentions.

Obviously, that's too harsh for what the DDA did, but the donation to the grassroots effort to save the Penn Theatre was, at best, ill-conceived. The proposal was so tenuous it could only draw six of 11 votes from the DDA board.

The DDA, on a narrow 6-5 vote, approved a five-year conditional agreement to provide funding to the Friends of the Penn, which could eventually total \$100,000. Mike Wright, DDA chairman, said the subsidy of up to \$20,000 a year will be considered annually.

The problem is, the DDA didn't put any restrictions on how the Friends of the Penn, a 501(c)3 nonprofit agency, uses the money. That means the Friends can use it to pay for renovations to the theater, renovations they say are necessary to make the theater a growing concern.

The problem with that is the Friends don't actually own the building; it's owned by a group of investors who bought it for \$1.2 million and are leasing it to the Friends for \$1 a year.

We agree with city commissioners who say public tax money shouldn't be used to improve a facility belonging to a private entity. If the Friends fail in their efforts, and the building is sold, the DDA loses that investment.

There are other problems with the donation. While the DDA board doesn't need permission, per se, from the city commission to spend its money, the city commission does set the DDA budget. Commissioners are upset they weren't consulted before the donation was made.

The other problem comes in the form of a legal question. DDA officials said one of the conditions of the DDA resolution is a review by its bond counsel to determine if the expenditure is legal. Wright said "an amateur review of the public act" suggests it is, but that's a question that should have been answered before the donation was approved.

Commissioner Michele Potter said the DDA has opened the door "for any private property owner within the (downtown) district to ask for, and expect, public tax dollar assistance to make improvements to their private property, as long as they state it will benefit downtown."

Don Soenen, whose \$200,000 donation helped save the Friends of the Penn, vehemently disagrees, saying if a business "wishes to donate the use of a facility to a nonprofit that is dedicated to servicing our community, the DDA and City Commission should be going out of their way to help that nonprofit be successful."

Reviving the Penn will be a great asset for the downtown community. The level of participation in and support for the Friends of the Penn demonstrate clearly its salvation is something the community wants.

Soenen is correct: There's plenty of need attached to the program. If the city wants its donation used solely for programming and not brick and mortar, there's no doubt the Friends will adhere to those wishes.

We don't think the donation comes close to misappropriation of funds or malfeasance. But the DDA might want to think the process through a little better before making this kind of donation again. In the meantime, we're sure the parties can come to an agreement as to how the money can be used to benefit everyone.

# Concerts help set small-town ambiance

We say this pretty much every year, but every year it bears saying again.

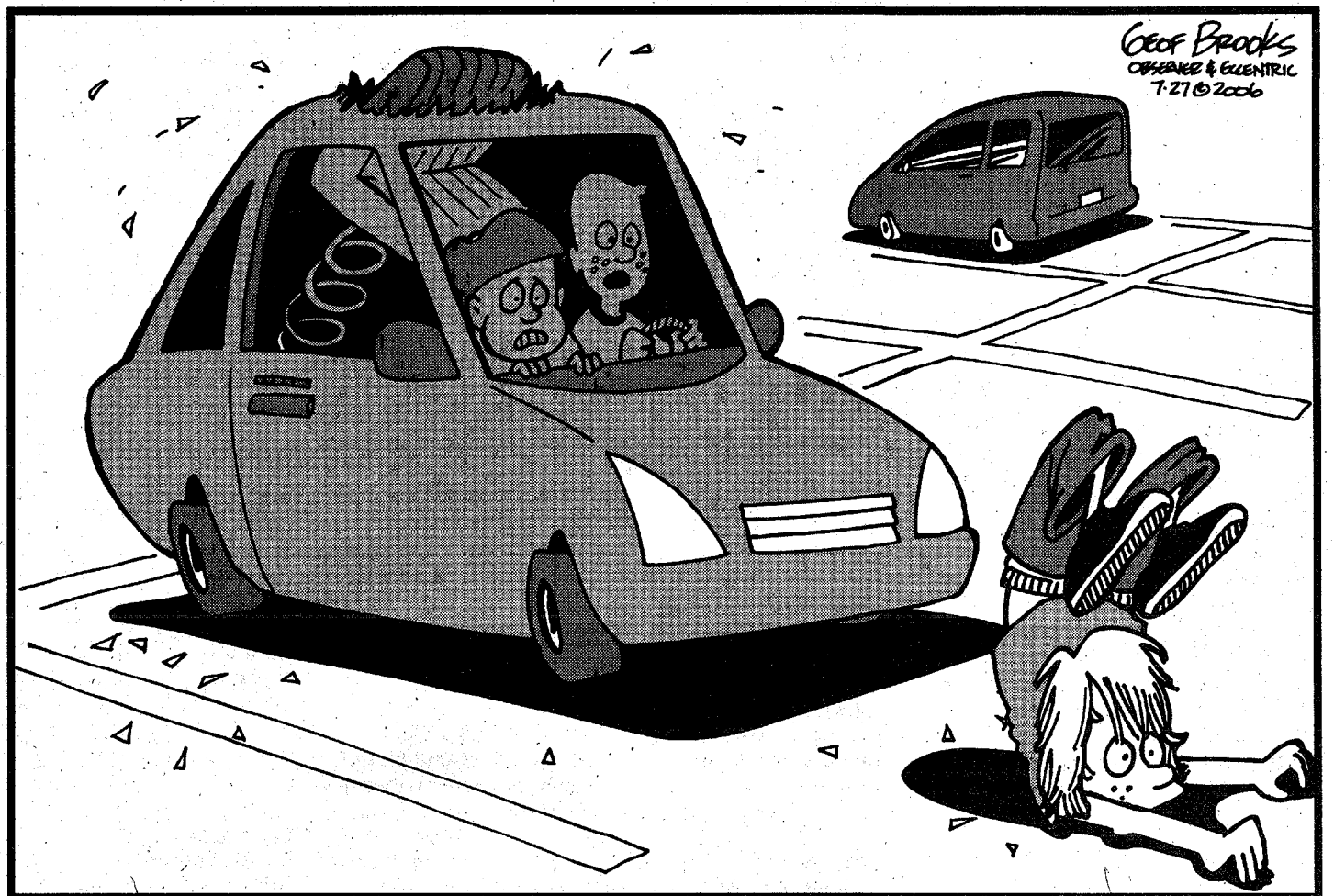
When it comes to creating a family friendly atmosphere, we'd put Plymouth up against anyone and like our chances.

Have any doubts? Stroll through Kellogg Park any given Wednesday afternoon during the summers, and watch the hundreds of moms, dads, grandmas and kids enjoying the Music in the Park summer concert series, organized so ably by the Plymouth Community Arts Council and supported so solidly by New Liberty Bank.

The entertainment is top-notch, the kids do a lot of dancing, and everyone has a good time. The PCAC does a great job of bringing in new acts every year to supplement the returning favorites. There never seems to be any trouble, and everyone enjoys a great time.

Still wondering? Stop by the same park Thursdays at 8 p.m. and listen to the Plymouth Community Band, for more than a quarter-century under the able direction of Carl Battishill. The band has been presenting its summer concert series for 45 years.

When you hear the people around here talking about the small-town ambiance this town exudes, look no farther than Kellogg Park to see one of the best reasons why.



No, AAA only wants to limit the number of kids who can ride with 16-year-old drivers. The automatic ejection seat is my dad's idea.

## LETTERS

### Responding to critics

As you may know, it has been alleged that I have improperly used my relationship with the Plymouth Historical Museum for political gain. While I believe such allegations to be false and politically motivated, it has become necessary for me to respond to them – not so much to defend myself but to defend the Museum.

In my role as Executive Director of the PHM, a position I have held for the past 17 years, I have always conducted myself with honor and integrity and I would never do anything to compromise that or to jeopardize the museum's tax-exempt status.

I have tried to run my campaign the same way and went above and beyond what was required of me by taking a leave from my position at the museum before I did any campaigning for office. This was not something I was required to do – but felt it was the right thing to do.

As for the allegations made by the so-called "Citizens to Save the Museum":

■ The allegation that I used the museum's bulk mail rate for political mailings is FALSE. I used the bulk mail permit NUMBER which I was informed by the Post Office in Plymouth was permissible as long as I paid the proper postage rate – which I did for each and every mailing. I paid the very same rate as every other candidate running for office. This can be verified at the post office with my check receipts.

■ I paid to rent the Museum for the Milliken Event and the meeting held after just as anyone can. It was an open event to the public and there were other candidates in attendance that evening.

■ I informed the museum membership in our newsletter that I was taking a leave of absence to run for office – period.

Please look at the people behind these allegations and at what their motivations are before you pass judgment. As a gesture of good faith, I have informed the Museum Board of Directors that I will continue my leave of absence until the museum is free and clear from these baseless accusations.

**Beth Stewart**

candidate for state representative  
20th District

### Commissioner is wrong

I'd like to make some comments regarding the July 20 article, "DDA offer draws ire."

Michele Potter's comments regarding the DDA grant to the Friends of the Penn are factually incorrect and indicate a lack of understanding of the relationship between the owners of the Penn Theatre and the Friends of the Penn, who operate the theatre.

The Friends of the Penn, a nonprofit, has the sole responsibility to renovate and operate the facility. The Friends of the Penn made the grant request to the DDA, not the owners of the facility. If the DDA money must be spent on operating expenses or programming instead of "brick and mortar," that's fine. There is plenty of need in all areas.

To suggest that, "This action, at a min-

imum, amounts to gross misappropriation of funds and potentially borders on malfeasance on the part of those six (DDA) members," is a bit over the top.

Commissioner Potter commented that, "What the DDA has now done is open the door for any private property owner within the (downtown) district to ask for, and expect, public tax dollar assistance to make improvements to their private property, as long as they state it will benefit downtown."

If a business wishes to donate the use of a facility to a nonprofit that is dedicated to servicing our community, the DDA and City Commission should be going out of their way to help that nonprofit be successful. Clearly, the revival of the Penn Theatre will be a tremendous asset to the downtown district.

Projects of this nature require substantial community support. In other Michigan communities, DDA's have purchased arts facilities, renovated them and provided substantial ongoing support. The DDA support of this project is minimal. To state that this "opens the door for any private owner to ask, and expect, public tax dollar assistance," and that the "improvements will go directly into the pockets of these private individuals," is ridiculous. How many businesses are offering the rent-free use of their facilities to a nonprofit for 20 years?

To add insult to injury, the Penn Theatre will pay the full complement of city taxes on the property. Instead of criticizing the DDA, the city commission should be showing leadership by offering tax abatements to help facilitate the success of the Penn Theatre.

Many people have devoted significant time, money and effort to provide a fantastic community entertainment facility in the heart of Plymouth. To suggest that the property owners, or the operators of the Penn, will personally gain from a \$20,000 grant to the nonprofit renovating and operating the facility is absurd, and an insult to all those who have opened their checkbooks to support this project.

If Commissioner Potter, or any other member of the City Commission would like to be one of "the lucky beneficiaries of a poor \$20,000 decision by the DDA," they are welcome to buyout my ownership position in the facility with a 20-year, zero return, non-tax deductible \$200,000 "investment."

It's about time the city leadership got behind this very valuable project instead of criticizing and insulting those who try to do something good for the community. Stop the grandstanding, and find a way to help make it work instead of criticizing those who are doing their best to make this a better place.

**Don Soenen**  
Plymouth

### Supports Stewart

Do you ever wonder how a small town like Plymouth can look so beautiful, so well cared for, and have as many activities as we do?

Beth Stewart is one of the people in our town who works hard to provide arts, cultural and educational activities and programs for the community, which not only improve the quality of life, but

contribute to the economic well-being of Plymouth, Plymouth Township and Canton.

While schools have limited dollars, Beth, working with teachers and administrators, was instrumental in securing sizable grants for PCEP's history programs. And each school year, thousands of elementary students learn about the history of our community and state by visiting the Plymouth Historical Museum.

Beth has the wisdom to know that we need to take care of and preserve our natural and manmade resources. She is the first to jump in, lend a hand, and not go home until the job is done. Just as we have been the recipients of Beth's hard work here in Plymouth and western Wayne County, the entire 20th House District and the State of Michigan will benefit by electing Beth Stewart as our state representative. And once in a while, her efforts help to make even impossible dreams come true.

It wasn't that long ago that Saving the Penn wasn't considered a viable idea. Beth was one of the people who jumped in first to support the Friends of the Penn.

When high schools students were looking for information to Rescue the Barn at PCEP, Beth was a valuable resource for the students. The research they gathered was one of the contributing factors that helped preserve the barn, an important piece of our history.

She knows the people who live in this community. She balances work, family and community service, and always has the energy to do more ... not just when people are looking ... and not just during an election year.

Please vote for Beth on Tuesday, Aug. 8.

**Elaine Attridge, Cindy Bartlett, Colleen Brown, Tracy Danner, Melanie Elliott, Jackson Elliott, Kathy Ann Hosten, Debra & Marcel Madonna, Ruth & Larry Martin, Dave Munson, Peter & Jan Nelson, Beth Savalox, Darrin Silvester**

## SHARE YOUR OPINIONS

We welcome your letters to the editor. Please include your name, address and phone number for verification. We ask that your letters be 400 words or less. We may edit for clarity, space and content.

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## QUOTABLE

"It's not like that whole end is cut off; folks have found a way around it on Starkweather ... People are adapting. I think you're getting a lot more locals driving through there who are aware of Old Village now, so that's a good thing."

– Paul Sincoc, city manager, on residents adapting to road construction in Old Village

**PLYMOUTH  
Observer**

PUBLISHED THURSDAY AND SUNDAY

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Our fundamental purposes are to enhance the lives of our readers, nurture the hometowns we serve and contribute to the business success of our customers.



# Bouchard is best for GOP nomination in U.S. Senate race

The Republican Party has two strong conservative candidates competing in the Aug. 8 primary to run against incumbent Democrat Sen. Debbie Stabenow in November.

Oakland County Sheriff Michael Bouchard and the Rev. Keith Butler both have solid experience and offer ideas that will appeal to conservative voters. Either would provide a good contrast and alternative to Stabenow in the fall election. But, on balance, we believe **Michael Bouchard** has a proven track record on numerous issues and a more relevant background for becoming a member of Congress. We believe he will offer Michigan voters a strong, thoughtful contest between two seasoned legislators with strong but not acrimonious differences on the important issues facing the U.S. Senate.

Butler, of Troy, is a dynamic preacher. He has government experience as a former Detroit city councilman. As founding pastor of the Word of Faith International Christian Church, Butler touts his experience as an entrepreneur. He operates a large charitable organization and a successful private school.

Of the two candidates, Butler takes a more hard-line conservative position. He says bluntly that he is no Johnny-come-lately to the Republican Party. He advocates for a strong military, a rigid position in opposition to militant Islam, a line-item budget veto for the president, a crackdown on "pork" projects, a hard line on immigration emphasizing border security first and more government investment in education. He has outlined his positions in a book, *Reviving the American Spirit*.

Sheriff Bouchard is highlighting his law enforcement background at a time when Michiganders are deeply concerned about homeland security. Bouchard has taken a leading position on homeland security in the state and is critical of reductions in

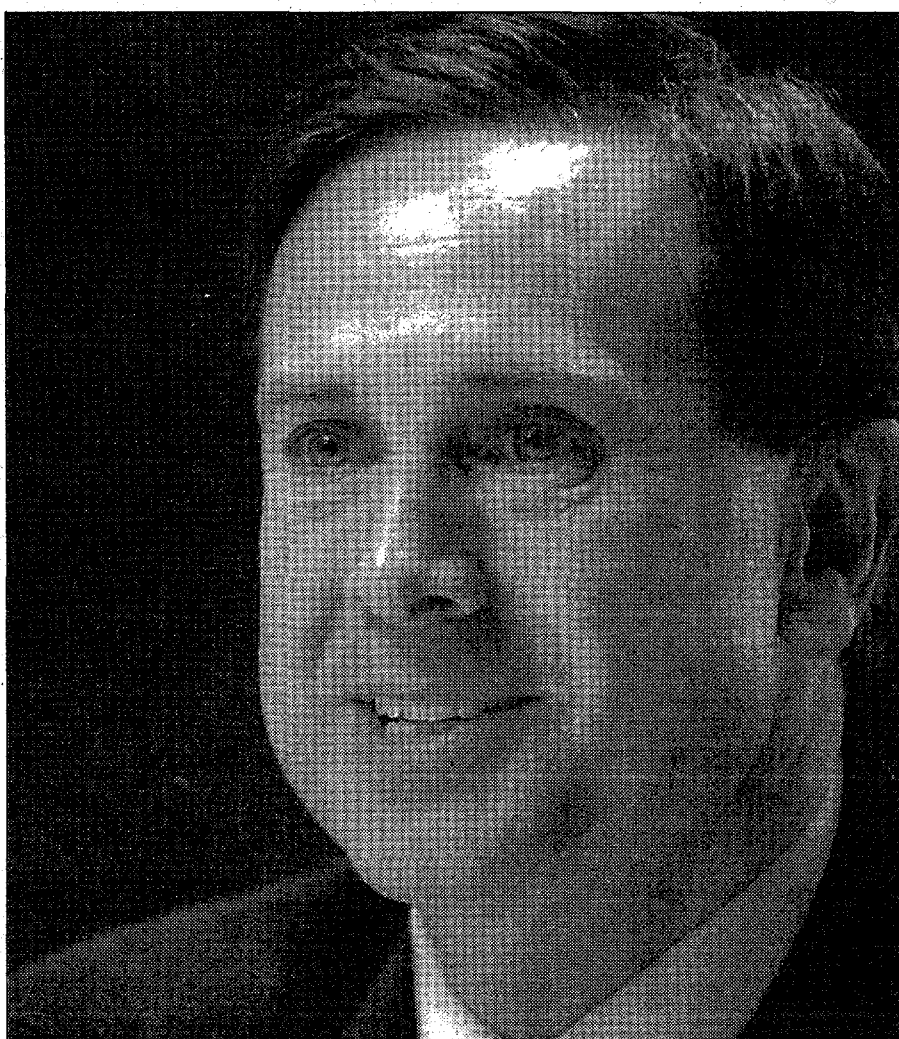
## U.S. SENATE - REPUBLICAN PARTY PRIMARY

The winner of the Republican primary Tuesday, Aug. 8, will face incumbent Sen. Debbie Stabenow, a Democrat, in the November general election. Senators serve six-year terms. The annual salary is \$165,200. All registered voters in Michigan are eligible to vote in this race. The Senate is one of two chambers of the U.S. Congress. In the Senate, each state is represented by two members. Qualifications for a U.S. senator (as outlined in the U.S. Constitution) are: must be at least 30 years old, must have been a citizen for at least the past nine years and must be (at the time of election) a resident of the state they are seeking to represent.

federal money for Michigan in light of its sensitive border position.

But, in addition, Bouchard offers a strong government background as a police officer, city council member, state legislator and, since 1999, sheriff of Michigan's second largest county. As a state senator, Bouchard was selected by his colleagues to serve in progressively more significant roles, culminating in the position of majority floor leader in 1998-99, just before his appointment as sheriff. He clearly understands the legislative process and had a reputation in the Legislature as a consensus builder.

Bouchard takes many traditional conservative positions. He is skeptical of federal involvement in education, he's pro-life, he was instrumental in passing legislation to register sex offenders and, like Butler, he believes in stronger border protections.



Michael Bouchard

BILL BRESLER | STAFF PHOTOGRAPHER

We believe, however, that in addition to working closely with his own party to develop conservative positions, Bouchard will also be able to reach across the aisle and work with Democrats on legislation that isn't bogged down in partisan bickering. He has done it in the state Legislature and he promises to do it in Congress. He reminds voters that when he was a legislator he sometimes opposed the positions of John Engler, the popular GOP governor. He said he will do the same if he

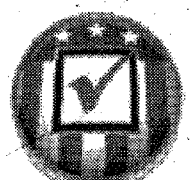
opposes positions of the current Bush administration.

Butler has taken the time to provide a detailed account of his views and should be commended for the time and thought he's invested in this campaign. We urge Bouchard to provide more detail on his positions and broaden his campaign beyond the issue of homeland security.

We strongly support the nomination of **Michael Bouchard** for the Republican nomination to the U.S. Senate.

## U.S. SENATE ENDORSEMENT

**Name:** Michael Bouchard  
**Age:** 50  
**Political experience:** Appointed Oakland County sheriff 1999, elected in 2000, re-elected in 2004; Michigan state Senate 1991-99, Michigan House of Representatives, 1990; Beverly Hills village council.  
**Education:** B.S., Michigan State University; Mid-Michigan Law Enforcement Center; National Sheriff's Institute; Darden Program for Emerging Political Leaders/University of Virginia; FBI National Executive Institute for World Law Enforcement Leaders.  
**Personal:** Born in Flint, raised in Oakland County. Married 17 years to Pam. They have three children, two sons and a daughter.  
**Community involvement:** Founder and president, Oakland County Fallen Heroes Fund; member, Oakland County Coordinating Council Against Domestic Violence; advisory board member, Birmingham Community House; Executive Board of Directors, Boy Scouts of America Clinton Valley Council; board member, Birmingham Bloomfield Cultural Council.



ELECTION  
2006

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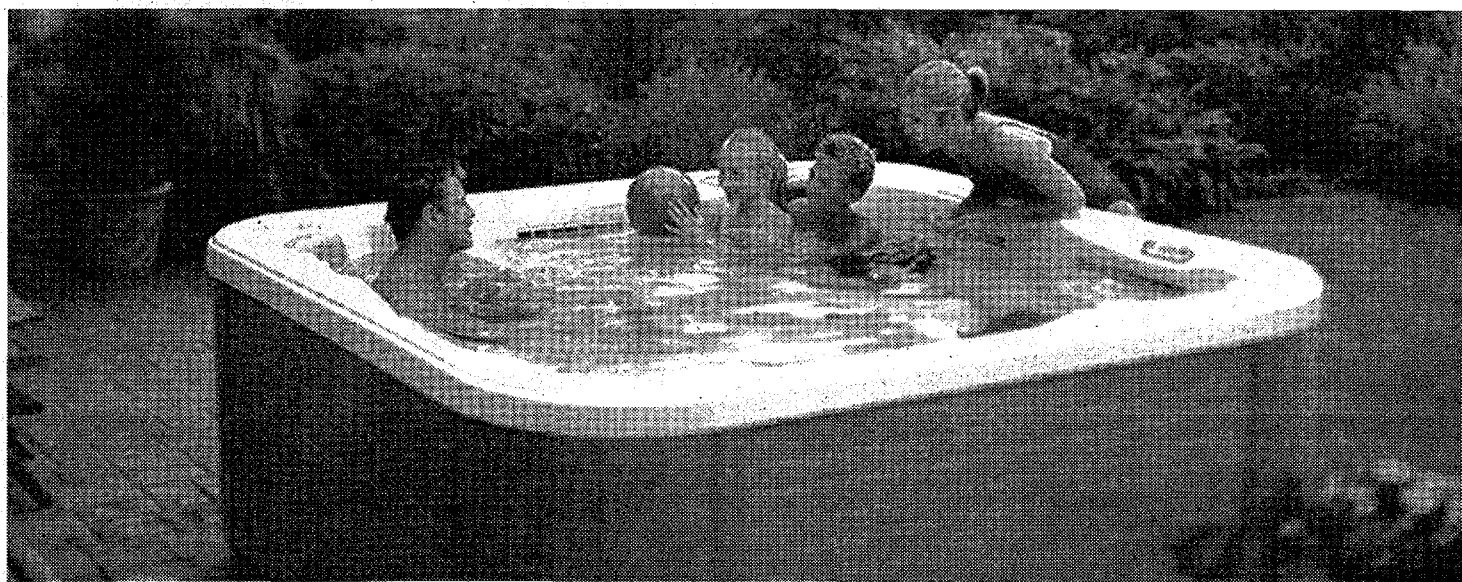
The Observer & Eccentric Newspapers along with our partners in the Gannett Michigan Newspaper/Broadcasting Group are pleased to offer an online voting guide. Go to **www.hometownlife.com** and click on Election 2006. Find the local races you are eligible to vote in along with statewide races, compare where the candidates stand on the issues and print a personalized ballot to take with you to the voting booth on primary election day, **Tuesday, August 8**

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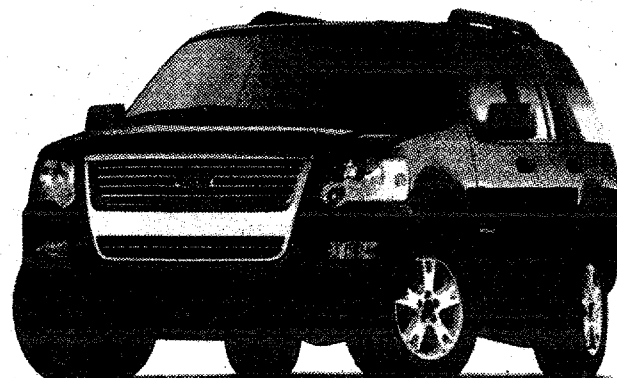


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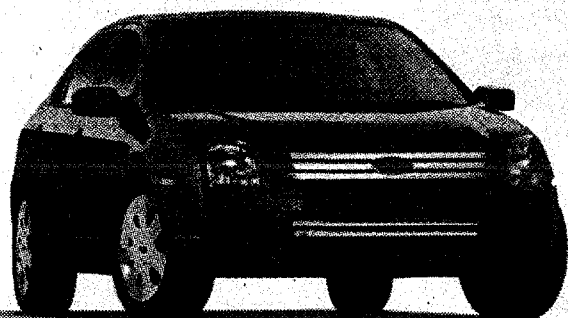


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# Private driving schools like graduated licensing

This is the second of a two-part report on teenage drivers.

BY ALEX LUNDBERG  
STAFF WRITER

It's been years since the state reimbursed school districts to train young drivers, but in that time a variety of private driving instruction schools have popped up to put teens on the road and keep up with the evolution of driver training.

According to the Michigan Secretary of State, more than 100,000 teens enter driver training programs each year.

Lee Alpern, owner of Lee Driving School in Farmington Hills, said business varies by season. Winter courses, January and February are half-full, while summer courses, March through August, are full to the point of turning students away — something he finds strange.

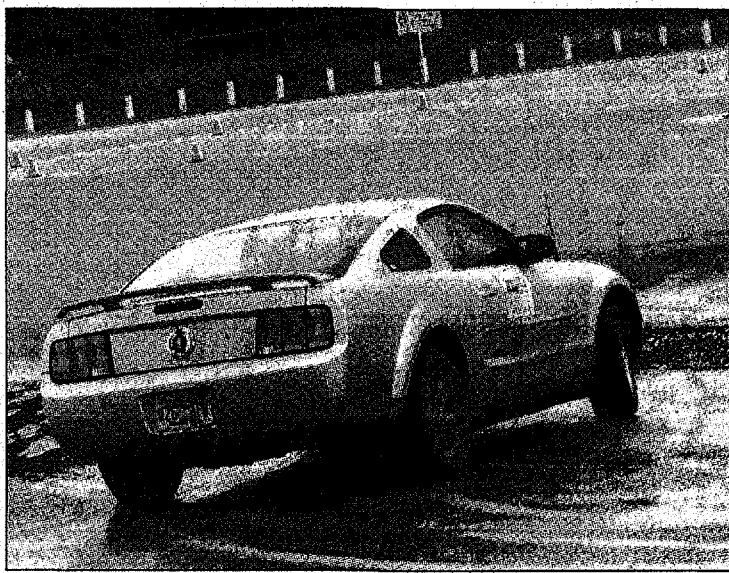
"When they're out in the snow and ice for the first time, do you want your kid in my car or yours?" he said.

Alpern has been teaching kids how to drive as a business since 1968, longer if you add the years he taught driver training at Redford's Thurston High School. He said the switch to the graduated license system, with its strictures and expanded teaching requirements, hasn't changed his operation at all.

"I still teach the same way as I did in '68," Alpern said. "We've always done freeway driving, we've always done parking, we've always done sequential training."

That said, Alpern definitely approves of the graduated system. He said the one-year wait for a license after training and the requirements of 50 hours of parental oversight are an improvement over the days where a student could get a full license in 30 days.

Mark Grenier of Livonia has been teaching driver training for Sears in Livonia, Westland and Novi for eight years. Between the



Teens in the Vehicle Handling phase of Driving Skills for Life learn how to control skidding in a vehicle equipped beneath with casters that make the car go into a spin on a road course covered with water and mud.

classroom time (30 hours), instructor driving time (six hours), parental drive time (50 hours) and the independent third-party test before licensing a new driver, things are better for everyone.

"It's a great thing," he said. "Kids have to realize that safety is the issue behind the wheel. It's worked, I know the fatality rate for 16- to 19-year-old drivers is significantly less."

He used to teach in the schools as well. He said it was a good public relations move for the districts, and people felt better about having their kids learn to drive from someone who didn't have a profit motive. But when the state stopped reimbursing schools for the work, the program was no longer cost-effective.

The demise of the school-sponsored programs created a variety of private programs.

"The curriculum we teach and the test they take are canned and distributed by the state," Grenier said. "Of course, some workers cut corners but most programs are on par. They're not that much different."

The students, he said, are about the same.

"Sometimes you get a few who don't care so much, kids who think their tuition entitles them to a license at the end of the course," Alpern said. "They say, 'I paid, I have a right.' But they don't. Not many are like that."

Parents, he said, are pretty uniform. Where some students might think they deserve a license, their parents aren't nearly as indulgent.

"Parents back you up when you say things," he said. "Their attitude is very good."

Grenier said the kids also have good attitudes. The driver's license is a rite of passage that carries instant legitimacy. And they want that — badly.

"They want the independence, they want the freedom," Grenier said. "They do well because they know if they fail they won't get their license. It's a big motivation."

Grenier says there are benefits beyond the increased focus on training and oversight.

"When you go through the levels, you do a lot of drive time with your parents," he said. "That's going to be a good way for people to reconnect with their kids."

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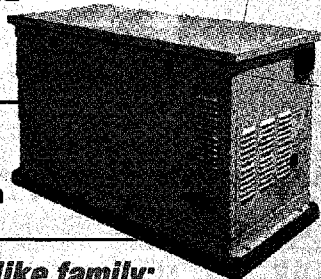
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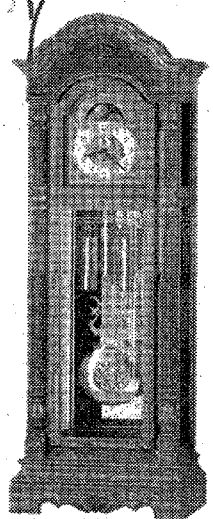
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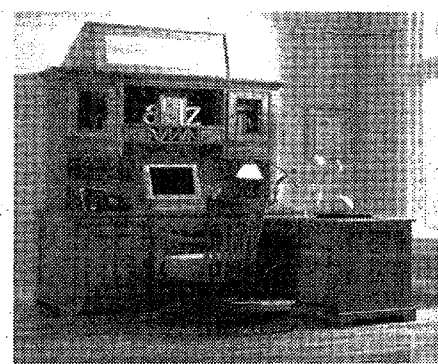
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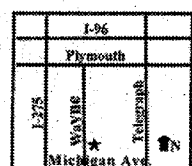
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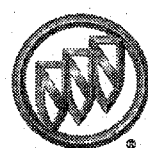
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\*Payments are for a 2006 Buick LaCrosse CX with aluminum wheels and an MSRP of \$22,840, 27 monthly payments total \$5,373, a 2007 Buick Rendezvous CX with an MSRP of \$25,710, 27 monthly payments total \$5,373, and a 2006 Buick Lucerne CX with an MSRP of \$25,990, 27 monthly payments total \$7,533. Option to purchase at lease end for an amount to be determined at lease signing. GMAC must approve lease. Take delivery by 9/5/06. Lessee pays for excess wear. Residency restrictions apply. Not available with other offers. Must show proof of current GMAC lease on Rendezvous.

\*\*Monthly payment is \$27.78 for every \$1,000 you finance. Example down payment for LaCrosse 20.4%. Not available with other offers. Take delivery by 9/5/06. See dealer for details.

†Monthly payment is \$16.67 for every \$1,000 you finance. Example down payment: Lucerne, 29.7%. Not available with other offers. Take delivery by 9/5/06. See dealer for details.

††Savings based on Bankrate, Inc. data.

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If you want to submit an item for the religion calendar, fax it to (734) 591-7279 or write: Religion Calendar, *Observer Newspapers*, 36251 Schoolcraft, Livonia, MI 48150. The deadline for an announcement to appear in the Thursday edition is noon Monday.

## JULY

## Christian writer workshops

Taught by Donna Clark Goodrich of Arizona, author of 19 books and 700 published fiction and non-fiction pieces, Saturday, July 29, at Via Dolorosa Gospel Tabernacle, 8300 Fenkell, Detroit. For information about Spring Arbor workshop, contact Linda Gallaway at (517) 547-6261 or send e-mail to lgallaway@dmci.net, for Detroit contact Wanda Burnside at (313) 491-3504 or send e-mail to wtvision@hotmail.com.

## RiverStone worship service

Presented by Calvary Baptist Church in Canton 10:45 a.m. Sunday, July 23 at the Heritage Park Amphitheater, Canton. Call (734) 455-0022. Take a vacation from over-commitment and enjoy some family time. At RiverStone worship service you'll find friendly people who care about building relationships, raising strong families and staying connected to the community. During the service your children will enjoy our kid-sized fun events.

## Concert

Bethany Suburban West invites the single community to a free concert featuring the Hubbell Street Jazz Band 7:30 p.m. Thursday, July 27 at the Livonia Civic Center Park on Five Mile, east of Farmington. Look for the mylar balloon. For details, call (734) 513-9479. Bethany Suburban West is a Catholic organization providing peer support to the divorced and separated of all Christian denominations.

## Soccer camp

Christ Our Savior Lutheran Church offers beginning and intermediate soccer players the opportunity to go to a soccer camp to learn and develop the proper skills and knowledge of the game 6:30-8 p.m. through Thursday, July 27, for all boys and girls ages 5-12 years (any skill level), at the church, 14175 Farmington, north of I-96, Livonia. Cost is \$20 per student, includes instruction, snacks, a soccer ball and T-shirt to take home. Fee payable at the time of registration. Call (734) 522-6830.

## Ice cream social/bake sale

5-9 p.m. Friday, July 28 at Church of Our Saviour, Presbyterian, U.S.A., 6655 Middlebelt, West Bloomfield. The public is invited. Cost is \$3 per family, \$1.50 single. Worship and Sunday School at 10 a.m. Call (248) 626-7606.

## Lighthouse cafe

7-10 p.m. Friday, July 28, cards, board games, Ping-Pong, specialty coffees, snacks and music, presented by Single Adult Ministries (age 30 and older) at Ward Presbyterian Church, 40000 Six Mile, Northville. Cost is \$5. Free childcare. Call (248) 374-5920.

## Bicycling group

10 a.m. Saturday, July 29 at Nankin Mills administration office parking lot on Hines Drive, one mile east of Farmington Road, Westland. Single Point (age 30 and older) bike rides are geared to the tourist level rider but riders of all ability levels are welcome. All riders must wear a helmet. For more information, call Ward Presbyterian Church at (248) 374-5920.

## Bethany together dance

8 p.m. to midnight, Saturday, July 29 at Divine Providence Church Hall, 25335 W. Nine Mile, between Telegraph and Beech Daly, Southfield. Limited to first 450 paid admissions. Cost is \$12. Call (586) 264-0284. Proper attire. Bethany is a Catholic organization providing peer support to the divorced and separated of all Christian denominations.

## Riverside Park Church

A new study of each book of the bible began at 7 p.m. Wednesday, July 5, at Riverside Park Church of God, 11771 Newburgh and Plymouth, Livonia. For information, call (734) 464-0990 or visit www.rpcog.org. This will include who authored it, the history and the how it applied then and now.

## Getting control of money

The class started 9:30 a.m. Sunday, July 2, at Riverside Park Church of God, 11771 Newburgh, Livonia. Have you been wanting to get a handle on your credit? This class teaches you how to read your credit report, how to improve it and how to live on a budget. For information, call (734) 464-0990 or visit www.rpcog.org.

## Meditation classes

Continues 7-9 p.m. Mondays to Aug. 7, Elizabeth Cleeland will lead the class on various meditation practices at Renaissance Unity, 11200 E. 11 Mile, Warren. No preregistration necessary. A freewill offering will be taken at each class. For more information, call (586) 353-2300, or visit www.renaissanceunity.org.

## Personal ministry

Join us as we study the Word of God.

Due Season Christian Church is a non-denominational, multicultural, full gospel church that offers Sunday worship services at 10 a.m. and Tuesday night Bible study at 7:15 p.m. Services are currently held at Stevenson High School on Six Mile, west of Farmington road, Livonia. All are welcome. For information, call (248) 960-8063 or visit www.DueSeason.org.

## Farmington Women Aglow

Meets 5-8 p.m. on the second Tuesday of the month at the Farmington Community Library, 32737 W. 12 Mile. For more information, call Linda Boone at (248) 476-1053.

## Bible and playtime

For moms and tots began 10-11 a.m. Wednesdays at Vineyard Church of Farmington Hills 29200 Shiawassee (by Middlebelt and Nine Mile). No charge. For information, call (248) 766-0143.

## UPCOMING

## Church tour

Did you know that less than a half hour's drive are three relics of 19th century Catholic imprint on Detroit? Would you like to visit them and learn about their history? These three tributes to a working-class society's faith — St. Joseph, St. Josaphat and Sweetest Heart of Mary, are all unique to the ethnic neighborhoods they reside in.

The Education Commission of St. Aidan Parish is organizing a tour guided by their pastor Saturday, Aug. 5, departing from St. Aidan parking lot at 10:30 a.m. Approximately 45 minutes will be spent at each location. Following the tour, the group will enjoy a delicious traditional Polish meal in Hamtramck late in the afternoon before returning to St. Aidan.

For information or to make a reservation, call Debbie Dufour (248) 719-2535 or the St. Aidan Parish office at (734) 425-5950. Deadline to make a reservation is July 30.

## Annual bazaar

Weekend features a jazz concert, teens presentations, open air market, Marcus Garvey African Dance Troup, children's games, food, petting farm and pony rides Aug. 4-6, at Sacred Heart Church, 3451 Rivard, Detroit. Call (313) 831-1356.

## Vacation Bible school

For age four through completed sixth grade 6-8:30 p.m. Monday-Friday, Aug. 7-11, dinner will be served each evening as part of the event, at St. Andrew's Episcopal Church, 16360 Hubbard, Livonia. No charge. For information, call (734) 421-8451.

## Vacation Bible School

For ages 4-12, kids travel to Mexico, Brazil, Poland, China and Kenya to trade places with children from other countries and learn about biblical heroes who traded one place in life for another, 6:30-9 p.m. Monday-Friday, Aug. 7-11 at Redford Aldersgate United Methodist Church, 10000 Beech Daly, between Plymouth and West Chicago. Call (313) 937-3170 to pre-register.

## Treasure Hunt

Contests, games, crafts, preschool fun zone and snow cones. All welcome, free. 11:30 a.m. to 12:30 p.m. Sunday, Aug. 6, First Congregational Church, Wayne Road, Wayne. For information, call (734)729-7550.

## Vacation Bible School

Time Stone Travelers: Quest for God's 10 Commandments. 9 a.m. to noon, Monday-Friday, Aug. 7-11. Ages 4 to sixth grade, free. First Congregational Church, Wayne Road, Wayne. For information, call (734)729-7550.

## Speaker

Frank Turner, WXYZ anchor and Frank Turner Ministries, speaks at First Baptist Church of Plymouth, 45000 North Territorial Road. 3 p.m. Sunday, Aug. 6. A freewill offering and tickets are free. A full-course chicken dinner will follow the speaker and a limited number of tickets are available for \$6. For more information, call (734)455-2300.

## Nagasaki remembrance

Candlelight vigil, music, refreshments, informational tables 7-9:30 p.m. Wednesday, Aug. 9, at Hope United Methodist Church, 16175 Northwestern Highway, Southfield. Sneak preview of the film Full Circle, a documentary that records the journey of Buddhist monks traveling 1600 miles from San Francisco to the Trinity site in New Mexico with the flame from Hiroshima where it was extinguished forever. For details, call (734) 425-0079

## Vacation Bible school

This year's theme is Fiesta, where kids are hot for Jesus from Aug. 14-18 at Riverside Park Church of God, 11771 Newburgh at Plymouth, Livonia. Please stop by for a registration form or call to register. Call (734) 464-0990. Prizes will be given away for early registration.

## Remarried workshop

7-8:15 p.m. Wednesdays, Sept. 6, to Dec. 13, at Ward Presbyterian Church, 40000 Six Mile, Northville. This course is a must for any couples thinking about remarriage or already remarried. We can assist couples in blending families, parenting issues, communications, and finances. Call (248) 374-7400 for more information. No charge. Come for 1 session or all 13.

## Crafters needed

Riverside Park Church of God is sponsoring a craft bazaar Oct. 21 at the church, 11771 Newburgh, Livonia. If you would like to purchase a table for this event, contact the church office to register at (734) 464-0990.

## Crafters wanted

For the St. Thomas a' Becket Church Christmas Craft Show to be held 9 a.m. to 4 p.m. Saturday, Dec. 2, at 555. S. Lilley, Canton. The church is now accepting applications for handmade crafts only. Call (734) 981-1333.

## ONGOING

## Scripture studies

7-8:30 p.m. Mondays in the lower level of Our Lady of Loretto Church, Six Mile and Beech Daly, Redford. Call (313) 534-9000.

## Fall registration

Spiritus Sanctus Academy is accepting registration for fall for its academies in Plymouth and Ann Arbor. The private, Catholic schools, grades K-8, are run by the Dominican Sisters of Mary, Mother of the Eucharist at 10450 Joy, Plymouth, call (734) 414-8430, and 4101 E. Joy, Ann Arbor, call (734) 996-3855.

## Worship schedule

New schedule continues to 10:30 a.m. Sunday, Sept. 3, summer worship, coffee hour follows in Fellowship Hall. Sunday school has been canceled for the summer, nursery is still available for infant through 2-years old, at St. Matthew's United Methodist Church, 30900 W. Six Mile, between Middlebelt and Merriman, Livonia. Call (734) 422-6038.

## TOPS

Stands for Take Off Pounds Sensibly, the group meets 7 p.m. every Thursday evening at St. Thomas a' Becket Church, 555 S. Lilley, Canton. Weigh-in is 6:15-6:55 p.m. We are a weight support group that encourages members to lose weight sensibly and keep it off. For more information, call Mary at (734) 394-1328.

## Learner's Bible study

7 p.m. Mondays, in Room A101, at Ward Presbyterian Church, 40000 W. Six Mile, Northville. Call (248) 374-5920.

## Church service

Loving God by loving people, meets 10 a.m. Sunday, at Westwood Community Church, 1119 Newburgh, Westland. Doughnuts and coffee served. Call (734) 254-0093.

## Bible study

Two classes meet 10 a.m. to noon the first and third Wednesdays, and 7-9 p.m. the first and third Thursdays, at St. Michael's Catholic Church, on Plymouth at Hubbard, Livonia. The Wednesday group is studying Women of Courage in the Bible. The Thursday session is reading the Letters of St. Paul from prison. Based on Little Rock

Scripture Series. Call (734) 261-1455.

## School registration

Hosanna-Tabor Lutheran School is accepting applications for grades PK-8 for the 2006-07 school year, at 9600 Leverne, Redford. After school care 3-6 p.m. Call (734) 937-2233 for information.

## Bible study

Classes 9:30 a.m. Sunday, and 7 p.m. Wednesday, at Riverside Park Church of God, 11771 Newburgh, Livonia. Call (734) 464-0990. On Sunday Family Worship begins at 10:45 a.m.

## Senior activities

Gathering for seniors 50 years and older 11:30 a.m. on the third Friday of every month at Riverside Park Church of God, 11771 Newburgh at Plymouth, Livonia. Any questions, call (734) 464-0990. Put together a salad dish and come out and meet other seniors. Lunch is served followed by fellowship with some games and stories.

## Bible study groups

The Wednesday group meets 10 a.m. to noon on the first and third Wednesday of each month, the Thursday group 7-9 p.m. on the first and third Thursday of each month in the rectory at St. Michael's the Archangel Catholic Church, Plymouth and Hubbard, Livonia. The Wednesday group is studying Women of Courage in the Bible, the Thursday group The Letters of St. Paul from Prison. Classes are small and informal and based on the Little Rock Scripture Series. For information, call (734) 261-1455.

## Church activities

St. James Presbyterian Church offers a Wednesday luncheon every other Wednesday at noon; Thursday dinner at 6 p.m. for \$4 followed by Bible study at 7 p.m. and Chancel Choir rehearsal at 8 p.m.; Thrift store is open 10 a.m. to 2 p.m. every Saturday; 10 a.m. women's study group second Saturday of the month, and Sunday worship at 10 a.m. (nursery available) and children's class at 10:15 a.m. at 25350 W. Six Mile, Redford. Call (313) 534-7730.

## Eucharistic adoration

The monthly program of Parish Prayer and Eucharistic Adoration continues the third Wednesday of each month at St. Michael's Church of Livonia, corner of Plymouth and Hubbard roads. The church will be open for worship from 10 a.m. until the 7 p.m. Benediction service. For information, call (734) 261-5331.

## Worship services

All are welcome to attend worship service at St. Paul's Presbyterian Church, Five Mile and Inkster roads, Livonia. Service is held at 10 a.m. every Sunday with an education hour all for ages at 9 a.m. Call (734) 422-1470.

## Unity of Livonia

Services 9:30 a.m. and 11 a.m. Sundays at 28660 Five Mile, between Middlebelt and Inkster roads. Call (734) 421-1760.

## Shabbat services

The doors of Congregation Beit Kodesh, a Conservative synagogue located at 31840 W. Seven Mile, between Farmington and Merriman, Livonia, are open to the Jewish community of southeastern Michigan. Call (248) 477-8974.

## Bet Chaverim

Services are open to all living in the western counties including Canton, Plymouth, Livonia, and Northville. The congregation follows traditions of Reform Judaism. Interfaith families welcome to attend services at 321 S. Ridge, south of Cherry Hill, Canton. Call (734) 646-3864 for information or visit www.betchaverim.com.

## Detroit World Outreach

A nondenominational church with cutting edge drama productions, energized contemporary music, high-tech video and lighting, programs for kids and teens, for college students, singles, married adults and seniors. Services are 8 a.m. and 11 a.m. Sunday (6:30 p.m. the first Sunday of the month), Sunday school for all ages at 10 a.m. and Wednesdays at 9 a.m. and 7 p.m. Call (313) 255-2222.

## Trinity Episcopal Church

Sunday Services 8 a.m. and 10 a.m., Wednesday service 6:15 p.m. — Bible Studies and Worship Center for all ages, at 11575 Belleville Road, (four miles south of Michigan Avenue), Belleville. Parents with Young Children Bible Study 6 p.m. Sundays; includes dinner and child care. Call (734) 699-3361.

## Shabbat Rocks

A musical celebration precedes traditional Shabbat service once a month at Adat Shalom Synagogue, 29901 Middlebelt in Farmington Hills. For more information, call (248) 851-5100 or visit the Web site at www.adat-shalom.org.

## English classes

Conversational English as a Second Language classes are being offered for adults of all ages and backgrounds 7 p.m. Monday and Tuesday at Christ Our Savior Lutheran Church, 14175 Farmington Road, Livonia. Tutors will work on a one-to-one ratio to help students better understand and speak the English language. No charge. To register, call (734) 525-0191 or (734) 522-6830.

## Scripture from scratch

If you've always wanted to learn about the Bible from square one, here's square one, 7-8:30 p.m. Thursdays in the Activity Center at St. Aidan Catholic Church, 17500 Farmington Road, Livonia. Call (734) 425-5950 to register.

## Sunday school

Congregation Beit Kodesh (31840 Seven Mile, between Farmington and Merriman, Livonia) is registering children, age 4 and up, for Sunday school. Financial assistance available. Special discounts for new members. For more information, call (248) 477-8974.

## Services

St. John Lutheran Church (23225 Gill Road, Farmington Hills) invites the community to a new worship service 5:30 p.m. Saturdays. Also, Sunday traditional worship services are 8:30 a.m. and 11 a.m.; contemporary service is at 9:50 a.m.; and Sunday school hour for all ages is at 9:45 a.m. Call (248) 474-0584 for more information.

## Single Point Ministries

For ages 30 and older, join more than 350 single adults 11:30 a.m. Sundays for fellowship and related topics in Knox Hall at Ward Evangelical Presbyterian Church, 40000 Six Mile, Northville. Coffee, doughnuts, conversations are present. Call (248) 374-5920. Tennis continues 1-5 p.m. Saturdays and Sundays, and 4-7 p.m. weekdays any time the weather is above 45 degrees, at Rotary Park, Six Mile and Hubbard, Livonia.

## Bible talks

4 p.m. Sundays, at the Friendship Center, 1119 Newburgh, Westland. Call (734) 728-9157.

## Worship services

All are welcome to attend worship services 10 a.m. Sundays at St. Paul's Presbyterian Church, Five Mile and Inkster roads, Livonia. For more information, call (734) 422-1470.

## The Gap

A new youth Sunday School (God Always Present) at Garden City Presbyterian Church, 1841 Middlebelt, south of Ford Road. Lessons are taught using various media, computers, storytelling, games, cooking, music and art, and a small theater complete with popcorn-making machine. Adult Bible study at 8:30 a.m. with a traditional service and The Gap at 10 a.m. Child care available. Mustard Seed contemporary service at 6 p.m. with refreshments served afterward. Call (734) 421-7620.

## Qigong

The ancient form of Chinese energetic medicine. A safe and effective way to rid the body of toxic pathogens and years of painful emotions. Learn the art of natural movement and breath to cultivate vital life energy. Classes at Livonia Unity, 28660 Five Mile. Monday — movement Qigong, 7-8:30 p.m.; Thursday — Qigong meditation 10-11:15 a.m., and Friday — Therapeutic Qigong, 7-8:30 p.m. Call (810) 813-4073 for more information or send e-mail to gary@energeticarts.org.

## Worship services

8 a.m. and 11 a.m. Sundays with an education hour 9:30-10:40 a.m. at Prince of Peace Lutheran Church, 37775 Palmer, Westland. Social hour follows each service. Call (734) 722-1735.

## Aerobic class

Trinity Church of the Brethren, 27350 W. Chicago at Inkster, is offering a Women's Low Impact Aerobic Class to the community every Monday and Wednesday at 7 p.m. in the church basement. To participate in this free 30-minute class, wear comfortable exercise attire (floor mats optional). For more information, call the church office, (313) 937-1199.

## Community Bible study

Studying the Book of Proverbs, breakfast 7 a.m. or Bible study 8-9 a.m. at the American Table, Eight Mile, Farmington. Come when you can, leave when you must. For more information, call (248) 924-2779.

## Contemporary service

New informal service in a casual environment 6 p.m. Sunday at Garden City Presbyterian Church, 1841 Middlebelt, south of Ford. Fellowship hour after services including 10 a.m. traditional. Call (734) 421-7620.

## Trinity Episcopal Church

Sunday worship 8 a.m. and 10 a.m., Bible studies Sundays at 8:50 a.m. and Wednesdays at 9:30 a.m., at the church 11575 Belleville Road, four miles south of Michigan Avenue, Belleville. Call (734) 699-3361.

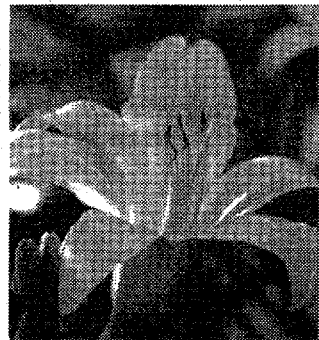
New contemporary service 9 a.m. on the last Sunday of the month, at Rosedale Gardens Presbyterian Church, 9601 Hubbard, Livonia. A group of church members present a short drama on a theme relevant to the season, a church event, or current newsworthy situation. For more information, call (734) 422-0494.

## Prayer group

Join in 7 p.m. Thursdays for music, singing, prayer and friendship at St. Edith Church, 15089 Newburgh, Livonia. Come to the back of the church, enter entrance No. 2. For more information, call Grace at (734) 464-1896, Shirley at (734) 464-3656, or Geri at (734) 464-8906.

## Women of the Word

Tuesday Ladies Bible Study, Women of the Word, studies the Book of Luke, entitled Grace Under Pressure 9:30-11:15 a.m. Tuesdays, at Detroit First Church of the Nazarene, 21260 Haggerty, north of Eight Mile. \$15 registration fee includes interdenominational study materials. Child care available for children through age 5. For more information, call (248) 348-7600.



# Passages

Obituaries, Memorials, Remembrances

1-800-579-7355 ♦ fax: 734-953-2232

e-mail: OEObits@oe.homecomm.net

## ABIGAIL MADELYN SMITH

Born and passed away on July 4, 2006. Beloved daughter of Brian and Connie Smith. Beloved sister of Matthew. Survived by grandparents, Walter and Linda (Guenther) Smith and James and Carol (Walker) Zimmerman and her great-grandparents, James and Beulah Zimmerman. Beloved niece of Margaret, James, Donna (Rodney), and Christa (Thomas).

## CHARLES I. ALCORN

July 21, 2006, of Redford Township. Born November 22, 1931, in Clairton, PA. Survived by his wife, Cathy L. Alcorn; his children, Helen McDuffie, Charlene Custer, Tracey, Charles II and Karl Alcorn, Yvonne Cangemi, Shelly Olson, Kevin and Christine Walker; 27 grandchildren and 14 great-grandchildren. Also survived by brothers Andrew and Jay. Bishop David Schultz officiated over services that were held Wednesday, July 26, at the Church of Jesus Christ of Latter Day Saints, of which Mr. Alcorn was a member. Arrangements, Charles Step Funeral Home, Redford, MI. Interment Great Lakes National Cemetery, Holly, MI.

## ROBERT LIDDLE

Age 70, of Milan, MI, died July 24, 2006 at St. Joseph Mercy Hospital. He was born August 7, 1935 in Detroit, MI to Ernest and Gertrude (Hill) Liddle. Bob grew up in Plymouth and worked at Northville State Hospital and Plymouth Center retiring in 1995. He was preceded in death by his parents and two brothers, Ernest and Roy. Funeral services will be held in Beebe, Arkansas.

## Let others know...

When you've lost a loved one, place your notice on our website and in "Passages"...a directory located in every edition of your hometown newspaper.

Observer & Eccentric

Call 1-800-579-7355

## GARRY ROGER MORRISON

Known as "Roger", Age 60, of Livonia, July 24, 2006. Born October 12, 1945, in LaFollette, TN. Survived by his wife, Barbara; his son, Scott; and three brothers. Visitation Thursday, July 27; 1-9pm, Fred Wood Funeral Home, Livonia. Funeral services Friday, July 28, 10am, at the funeral home, Pastor Roger Stombaugh of United Baptist Church officiating. Burial Parkview Memorial Cemetery, Livonia.



MERRILL MARTIN SCHEMM

of Troy, Michigan, died Wednesday, July 26, 2006; prior resident of West Bloomfield, Sterling Heights, St. Clair Shores, and East Detroit, Michigan, lovingly called (Hon) Honey by his loving parents and wife Virginia. Beloved father to Linda Bayly (Russ) Martin, Mark (Mary) and Laura (Dan) Danescu. Grandfather to Brian, Sara, Mandy, Devin, Dakota and Renee Janice. Preceded in death by loving brother Milton, sister Esther Hartwell. Survived by sister Evelyn Farrington. Born in East Detroit, Michigan, graduate of East Detroit high school as class president attended Detroit Business College. Had a stellar 49 career at the Chrysler Corporation. He was a member of Redeemer Lutheran Church in Birmingham, Michigan. He touched the lives of many family and friends. He loved to be with his family for birthday and holiday events. His wife Virginia sends him this final gift of love: "across the years I will walk with you in deep green forests, on shores of sand, and when our time on earth is through, in heaven, too, you will have my hand." The family will receive friends at A. J. Desmond & Sons Funeral Home, 2600 Crooks Road (between Maple and Big Beaver) Thursday and Friday 2-9 PM. Funeral Service at Redeemer Lutheran Church, 1800 West Maple Road, Birmingham, Michigan, Saturday 11 AM, followed by a Memorial Reception, interment at White Chapel Cemetery, Troy, Michigan.

## ESTHER RAINEY HEBBLEWHITE

Age 93, a lifetime resident of Birmingham, passed away on June 17, 2006. She was born on January 6, 1913. Esther was a secretary at the Cranbrook Schools of Bloomfield from 1956-1980.



# Your Invitation To Worship

## BAPTIST

### NEW HOPE BAPTIST CHURCH

33640 Michigan Ave. • Wayne, MI  
(Between Wayne Rd. & Merriman Rd.)  
(734) 728-2180  
Virgil Humes, Pastor

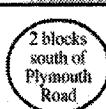


Sunday Evening Worship 6:00 p.m.  
Sunday Worship 7:45 a.m. and 10:45 a.m. • Sunday School 9:30 a.m.  
Wednesday Praise Service 6:00 p.m. • Wednesday Children, Youth and Adult Bible Study 7:00-8:00 p.m.

## UNITED METHODIST

**Clarenceville United Methodist**  
20300 Middlebelt Rd. • Livonia  
248-474-3444  
Pastor James E. Britt  
Worship Service 9:30 AM  
Sunday Evening Service 6:00 PM  
Nursery Provided  
Sunday School 11 AM

**Aldersgate**  
United Methodist  
10000 Beech Daly



9:30 a.m. Traditional Worship  
9:30 a.m. Sun. School all ages  
11:00 a.m. Cont. Family Worship  
www.aldersgatemc.org

## LUTHERAN CHURCH MISSOURI SYNOD

### Christ Our Savior Lutheran Church

14175 Farmington Road, Livonia just north of I-96  
734-522-6830

**Sunday Worship**  
8:15 & 11:00 am - Traditional  
9:45 - Modern  
Staffed Nursery Available



**Sunday School**  
9:45 & 11 am  
Early Childhood Center  
Phone 734-513-8413

**Making disciples who share the love of Jesus Christ**  
Rev. Luther A. Werth, Senior Pastor & Rev. Robert Bayer, Assistant Pastor

### Canton Christian Fellowship

Pastor David Washington  
and The CCF Family  
would like to  
invite you to...

"Where the Word is Relevant,  
People are Loved and Christ is the Key"

Join us for Worship Service at 10:45am  
Sunday School and/or New Members Orientation: 9:00am

Located at 33111 Ford Rd. • Garden City, MI  
Between Wayne Road and Merriman Road  
Inside Garden City Christian Center  
734-404-2480  
www.CantonCF.org

It's not about Religion, it's about Relationships.  
Come to a place where lives are changed,  
families are made whole and ministry is real!

### "More than Sunday Services"

**Worship Service**  
10:00 a.m.

- Dynamic Youth and Children's Programs
- Excellent Music Ministries
- Small Groups For Every Age
- Outreach Opportunities

Pastor  
Dr. Dean Klump  
Associate Pastor: Rev. David Wichert

**First United Methodist Church  
of Plymouth**

45201 North Territorial Road  
(West of Sheldon Road)  
(734) 453-5280  
www.pfumc.org

### NEWBURG UNITED METHODIST CHURCH

"Open Hearts, Minds & Doors"

36500 Ann Arbor Trail  
between Wayne & Newburgh Rds.

734-422-0149

**Worship Service**  
and  
**Sunday School**  
10:00 a.m.

Rev. Marsha M. Woolley  
Visit our website: www.newburgumc.org

### GRACE LUTHERAN CHURCH MISSOURI SYNOD

25630 GRAND RIVER at BEECH DALY  
313-532-2266 REDFORD TWP.

**Worship Service**  
9:15 & 11:00 A.M.  
**Sunday School**  
9:15 & 11:00 A.M.

Nursery Provided  
The Rev. Timothy P. Halboth, Senior Pastor  
The Rev. Dr. Victor F. Halboth, Assistant Pastor

### HOSANNA-TABOR LUTHERAN CHURCH & SCHOOL

9600 Levee • So. Redford • 313-937-2424

Rev. Jonathan Manor, Sr. Pastor  
**Sunday Morning Worship**  
10:00 a.m.

Education Hour 8:45 a.m.  
Christian School  
Pre-Kindergarten-8th Grade  
For more information call  
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## CATHOLIC

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OE08457076



# SMART seeks millage renewal

BY ALEX LUNDBERG  
STAFF WRITER

As voters go to the polls Aug. 8 for primary voting, they'll also be asked to approve continued funding for the Suburban Mobility Authority for Regional Transportation bus service.

Technically, the SMART millage on the ballot is a renewal, but voters in several Wayne County communities will see a slight decrease in their tax payments if they approve it.

Macomb County voters will address the millage county-wide rather than community-by-community. Because Macomb County is paying .59 mills, voters in Oakland and Wayne will vote for the same amount rather than the .6 mills they now pay.

The thinking at SMART was that it would be easier to ask Oakland and Wayne voters to approve a slightly smaller millage than it would be to ask Macomb voters for a slightly larger one.

SMART General Manager Dan Dirks said the authority knows what it has to do to survive.

"We've got to be efficient and go where people need to go," he said. "We've got to partner with the communities we work in."

Part of the reason for this is because the metro Detroit area isn't like Chicago and New York — it's highly dispersed and the transportation systems that work in other cities won't work here.

The other reason is that SMART fills the needs of a niche rather than the greater population. Their customers are older adults, the disabled and entry-level workers who don't have the resources to purchase their own cars. As a result, they



TOM HOFFMEYER | STAFF PHOTOGRAPHER

Voters in Oakland, Wayne and Macomb counties will decide whether or not to continue funding the SMART bus system. Proponents of the system say it's something the metro Detroit area needs, detractors say not enough people ride to make SMART viable.

have to be responsive.

"We're re-examining our existing services to go where we're most needed," Dirks said. "We've changed routes to run at peak hours only where we're needed."

Troy Chamber of Commerce President Michelle Hodges said the chamber hasn't taken a position on the SMART millage, but they're fully behind transportation in general.

"We've seen transportation as a community asset," she said. "It's something that needs to advance."

She mentioned that the city is moving forward with a plan to create the Birmingham-Troy Regional Transit Center at Maple and Coolidge. The center, a joint project with the two cities and Grand-Sakwa, will incorporate interstate bus lines, local taxi and car services and a rail line.

"The center will drive development in the region," Hodges said. "It would be bad if SMART wasn't there."

Not every community finds

SMART fits their needs. Voters in Livonia turned down the service and are in the last months of a phase-out of SMART. Director of Community Resources Linda McCann said the city is running its own internal service.

"The buses were running mostly empty," she said. "We've already got Livonia Community Transportation taking seniors and disabled people to work and other places seven days a week."

The city has a partnership with SMART that ends this December. The LCT will purchase its own buses and work out the bugs in that program by the time the regional authority is gone this winter.

"The Livonia Chamber of Commerce and the city did a survey and found that (low) hundreds of residents, rather than thousands, were using the service for work daily. We're planning to expand to fill out the (Americans with Disabilities Act) riders before SMART is gone."

## SMART COMMUNITIES

The SMART millage renewal will be before Oakland County voters in Auburn Hills, Bingham Farms, Franklin, Bloomfield, West Bloomfield, Royal Oak (township and city), Beverly Hills, Farmington Hills, Farmington, Clawson, Birmingham, Berkeley, Huntington Woods, Hazel Park, Ferndale, Oak Park, Madison Heights, Pontiac, Pleasant Ridge, Southfield and Troy.

In Wayne County, voters in Allen Park, Dearborn Heights, Dearborn, Ecorse, Garden City, Grosse Pointe Farms, Grosse Pointe Park, Grosse Pointe Shores, Grosse Point Township, Grosse Pointe Woods, Grosse Pointe, Hamtramck, Harper Woods, Highland Park, Inkster, Lincoln Park, Melvindale, Redford, River Rouge, Riverview, Romulus, Southgate, Taylor, Trenton, Wayne, Westland and Wyandotte will decide on the SMART millage renewal.

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# SPORTS

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CHARTER TOWNSHIP OF CANTON  
BOARD PROCEEDINGS - JULY 17, 2006

A special joint study meeting of the Board of Trustees, Planning Commission, Downtown Development Authority, and Zoning Board of Appeals of the Charter Township of Canton held Monday, July 17, 2006 at 1150 Canton Center S., Canton, Michigan. Supervisor Yack called the meeting to order at 7:00 p.m. and led the pledge of allegiance.

Roll Call

Members Present: Kirchgatter, LaJoy, McLaughlin, Yack, Zarbo  
Members Absent: Bennett, Caccamo  
Staff Present: Director Faas, Jeff Goulet, John Weyer, Kathleen Sala  
ZBA Present: Steve Johnson, Vicky Welty  
DDA Present: Melissa McLaughlin, Rob Ramey, Greg Greene, Tom Yack, Mark Waldbauer, Tim Ford  
Planning Commission: Vic Gustafson, Cathy Johnson, Ron Leberman, Greg Greene, Katie Bovitz

Adoption of Agenda

Motion by McLaughlin, seconded by Zarbo to approve the agenda. Motion carried by all members present.

STUDY SESSION TOPIC

Item 1. Sign Ordinance Revision Recommendations

Supervisor Yack stated this endeavor began with the DDA pursuing wayfinding signage.

The DDA soon realized our current sign ordinance would not permit any of these wayfinding signs. Supervisor Yack stated with this issue and also other complaints in regards to the sign ordinance a sign committee was created. This committee consisted of the Planning Commission, DDA, ZBA, Board of Trustees and public at large.

Jeff Mason and Zack Branigan from Hamilton Anderson presented the revision recommendations for the current sign ordinance.

Mr. Mason stated the process started by looking at the whole DDA corridor on Ford Road, the actually highway and entrances. A series of workshops were implemented.

The existing logo was used and color themes for banners were introduced.

Mr. Mason stated the current sign ordinance was found to be not user friendly, difficult to understand, and outdated.

The key elements of the revised sign ordinance are:

- Charts and graphs
- New definitions and terms
- Master Sign Plan
- Sign Bonuses
- Legibility and design
- Permit Approvals

Mr. Mason stated there will be a final revision with graphics. There will be a Public Hearing scheduled with the ZBA. Then upon approval there will be a first and second reading with the Board of Trustees for approval.

ARTICLE I. 6A.00. IN GENERAL SIGNS

Sec. 102-2. 6A.01. Definitions

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- 1. Abandoned sign** means a sign which no longer directs a person to or advertises a bona fide business, tenant, owner, product or activity conducted or product available on the premises where such sign is displayed or any sign not repaired or maintained properly, after notice, pursuant to the terms of this chapter.
- 2. Add-on sign** means a sign that is attached as an appendage to another sign, sign support, or a building, and is intended to draw attention to the goods and services available on the premises.
- 3. Area of sign** means the entire area within a circle, triangle, parallelogram, or other geometric configuration enclosing the extreme limits or writing, representation, emblem or any figure or similar character, together with any frame or other material or color forming an integral part of the display or used to differentiate the sign from the background against which it is placed, excluding the necessary supports or uprights on which such sign is placed. However, where such a sign has two faces, the area of all faces shall be included in determining the area of the sign, except that where two such faces are placed back to back as a mirror image in size and shape and are at no point more than two feet from one another, the area of the sign shall be taken as the area of one face if the two faces are of equal area, or the area of the larger face if the two faces are of unequal area.
- 4. Automated teller machine** means a freestanding computerized electronic machine that performs basic banking functions (as handling check deposits or issuing cash withdrawals), also called automatic teller and automatic teller machine.
- 5. Awning sign** means a sign that is a roof-like structure made of canvas or similar materials, stretched over a frame and directly attached to a wall of a building. Awning signs shall extend more than 12 inches but not more than 36 inches from the wall. Awning signs shall not project more than 24 inches above the roofline of the building.
- 6. Billboard** means a non-accessory ground sign erected for the purpose of advertising a product, event, person, or subject not related to the premises on which the sign is located. Off-premises directional signs as permitted in this chapter shall not be considered billboards for the purpose of this chapter.
- 7. Blade sign** means a sign mounted under a canopy directed to pedestrians and usually mounted perpendicular to the facade it means to identify. Blade signs are also commonly known as under-canopy signs.
- 8. Canopy sign** means any sign attached to or constructed on a canopy. A canopy is a permanent roof-like shelter extending from part of or all of a building face over a public access area and constructed of the same material as the building.
- 9. Changeable copy sign/reader board** means a sign or portion thereof with characters, letters, or illustrations that can be changed or rearranged without altering the face or the surface of the sign. A sign on which the message changes more than eight times per day shall be considered an animated sign and not a changeable copy sign for purposes of this chapter. A sign on which the only copy that changes is an electronic or mechanical indication of time, temperature, or stock market quotation shall be considered a "time, temperature, stock market" portion of a sign and not a changeable copy sign for purposes of this chapter.
- 10. Commercial Statute** is a three dimensional figure which by its appearance, overall design, coloration, applied text, graphic identification, applied image, description, display, or illustration directs attention to an object, product, place, activity, facility, service, event, attraction, person, institution, organization or business, and which is visible from any street, right-of-way, sidewalk, alley, park or other public property and is intended to carry a commercial message. Commercial statutes are considered ground signs for the purpose of this Ordinance and are so regulated with regard to permitted dimension, location, and number. The sign area of a commercial statute is that entire area within a circle, triangle, parallelogram, or other geometric configuration enclosing the extreme limits of the statue when viewed from a point perpendicular to the front lot line.
- 11. Eave Line** means the line between the two lowest points of intersection of the top of a wall and the eave, or edge of the roof. The eave line is an imaginary line drawn across the wall on a gable end, and is not a roofline, which is the line of intersection the wall has where it abuts the roof.
- 12. Gasoline pump island** means a combination of more than one fuel-dispensing device, clustered together, to provide a customer with more than one option of type of fuel, or grade thereof, to be purchased.
- 13. Ground sign** means a sign which is mounted permanently in the ground on a masonry base or monument.
- 14. Historic District** means the Canton Township Historic District, as administered by the Canton Township Historic District Commission.
- 15. Inflatable sign** means a temporary or permanent sign consisting of a non-porous bag, balloon, or other object inflated with a gas and designed to draw attention to a commercial business, whether it does or does not include a commercial display, commercial graphic identity, or lettering. Inflatable seasonal display items sold retail to the general public and intended primarily for private home display are not considered inflatable signs, provided they do not exceed 8 feet in height.
- 16. Institutional bulletin board** means a sign which displays the name of a religious institution, school, library, community center or similar public or quasi-public institution, that which may

include an announcement of its services or activities.

- 17. Natural materials.** Substances determined to be natural materials for the purposes of this chapter shall include but not be limited to wood, stone and soft textured brick. Although plastic, plywood, pressed board, drywall, wood or metal paneling and sheetmetal sheet metal are generally excluded from this definition, consideration will be given to synthetic materials which simulate the appearance of a natural material through the manufacturing process and meet the intent of this chapter.
- 18. Nonconforming sign** means any advertising structure or sign which was lawfully erected and maintained prior to the effective date of this chapter, and any amendments thereto, and which fails to conform to all applicable regulations and restrictions of this chapter, or a sign for which a permit was previously issued that does not comply with the provisions of this chapter.
- 19. Off-premises sign** means a sign which contains a message unrelated to a business or profession conducted on the subject property or which relates to a commodity, service or activity not sold or offered upon the premises where such sign is located.
- 20. On-premises sign** means a sign which advertises only goods, services, facilities, events or attractions available on the premises where located, or identifies the owner or occupant or directs traffic into or from the premises.
- 21. Periodic change sign** means a sign where the wording, image, description, display or illustration changes at regular intervals of time.
- 22. Portable sign** means a sign that is freestanding, not permanently anchored or secured to a building and not having supports or braces permanently secured in the ground, including but not limited to, sandwich signs, A-frame signs, inverted "T" signs, and signs mounted on wheels so as to be capable of being pulled by a motor vehicle.
- 23. Premises** means any lot or parcel of land as otherwise used in this chapter site on which the development under consideration is located.
- 24. Project announcement sign** means a temporary ground sign used to announce the name and nature of a project or general information concerning rental or sales.
- 25. Roof sign** means a sign that extends more than 24 inches above the roofline.
- 26. Roofline** means the line of intersection of the plane of the outer surface of the wall and the plane of the outer surface of the roof. The roof line follows the edge of the wall up to the ridge on a gable end wall, and is not an eave line, which is an imaginary line drawn across the wall between the eaves.
- 27. Sign** means a structure which includes the name, identification, image, description, display or illustration which is affixed to, painted or represented directly or indirectly upon a building, structure or parcel of land, and which directs attention to an object, product, place, activity, facility, service, event, attraction, person, institution, organization or business, and which is visible from any street, right-of-way, sidewalk, alley, park or other public property. Customary displays of merchandise or objects and material without lettering placed behind a store window are not signs. This definition includes the base, frame and support members of the sign.
- 28. Sign height** is the measurement to the top point of the sign structure from the finished elevation of the sidewalk nearest to the sign for ground signs located at the right-of-way, and the measurement to the top point of the sign structure from the average elevation at the base of the sign for all other signs.
- 29. Sign setback.** Where it is specified that a sign must be located a minimum or other certain distance from property lines or public rights-of-way, such distance will be measured from the portion of the sign structure nearest to such specified line. For the purpose of this measurement, the property lines and public right-of-way lines extend vertically and perpendicularly from the ground to infinity.
- 30. Site** means a recognized parcel or collection of parcels proposed for or containing existing development. A site can consist of more than one parcel of land. A multiple tenant development on a series of individual parcels constitutes a single site.
- 31. Under-canopy sign** means blade sign. (See definition this Section).
- 32. Wall sign** means a sign that is directly attached to a wall of a building and neither extends more than 12 inches from the wall nor projects more than 24 inches above the roofline of the building. On a gable end wall, a wall sign may project above the eave line, so long as the sign does not project more than 24 inches beyond the roof line.

(Ord. No. 120(F), as amended, § 2, 11-12-2002; Ord. of 4-27-2004(2))  
Cross references: Definitions generally, § 1-2.

Sec. 102-2. 6A.02. Purpose

The purpose of this chapter is to promote the general safety and welfare of the residents public of the township by regulating and controlling all public and private graphics (AS NOTE: "graphic"? communications and displays.  
(Ord. No. 120(F), as amended, § 1, 11-12-2002)

Sec. 102-2. 6A.03. Compliance

It shall be unlawful to construct, display, install, change, have, or cause to be constructed, displayed, installed or changed any sign upon any property within the township in violation of the requirements of this chapter.  
(Ord. No. 120(F), as amended, § 3.2, 11-12-2002)

Sec. 102-4. 6A.04. Interpretation; conflicts with other ordinances.

The provisions of this chapter shall be construed, if possible, in such manner as to make such provisions compatible and consistent with the provisions of all existing and future zoning and other ordinances of the township and all amendments thereto; provided, however, that where any inconsistency or conflict cannot be avoided, then the most restrictive of such inconsistent or conflicting provisions shall control and prevail. If there is believed to be a conflict between the stated intent and any specific provisions of this chapter, the zoning board of appeals may, in accordance with established procedures, permit modification of such specific provisions while retaining the intent in such appealed instance.  
(Ord. No. 120(F), as amended, § 19, 11-12-2002)  
State law references: Conflict between zoning ordinance and other ordinances, MCL 125.298.

Sec. 102-5. 6A.05. Notice of violation; issuance of appearance ticket.

If a violation of this chapter is noted, the ordinance inspector will notify the owner of record and the occupant of the property of the violation. Such notice shall specify the violation and the time within which the corrective action must be completed. This notice may be served personally or by mail. If the property is not in compliance with this chapter at the end of the period specified in the notice of violation, an appearance ticket may be issued.  
(Ord. No. 120(F), as amended, § 17, 11-12-2002)

Sec. 102-6. 6A.06. Nonconforming signs.

- 1.** The regulations established in the zoning ordinance for nonconforming structures shall also be applicable to signs which exist on December 9, 1999 the effective date of this Ordinance where such signs fail to comply with the provisions described in this chapter. The elimination of nonconforming signs is hereby declared to be a public purpose and for a public service. The township board may initiate proceedings and prosecute for condemnation of nonconforming signs under the power of eminent domain in accordance with Public Act No. 149 of 1911 (MCL 213.21 et seq.) or other appropriate statutes.
- 2.** Nothing in this chapter shall relieve the owner or user of a nonconforming sign, or the owner of property on which the nonconforming sign is located, from the provisions of this chapter regarding safety and maintenance of the sign.
- 3.** Whenever an addition or modification to an existing site requires submittal and approval of a site plan pursuant to section 27.02 of the zoning ordinance, any nonconforming sign shall be brought into conformance with the provisions of this chapter.  
(Ord. No. 120(F), as amended, § 11, 11-12-2002)

Sec. 102-7. 6A.07. Applicability of state construction code.

Except as otherwise indicated in this chapter, the regulations of the state construction code as adopted by the township shall apply to signs. Where the provisions of this chapter are more restrictive in respect to location, use, size or height of signs, the limitations of this chapter shall take precedence over the regulations of the state construction code.  
(Ord. No. 120(F), as amended, § 3, 11-12-2002)  
Cross references: State construction code, § 78-31 et seq.

Sec. 102-8. 6A.08. Permit required.

It shall be unlawful to construct, display, install, change or cause to be constructed, displayed, installed, or changed a sign requiring a permit upon any property within the township without first obtaining a sign permit.  
(Ord. No. 120(F), as amended, § 3.1, 11-12-2002)

Sec. 102-9. 6A.09. Exemptions from permit requirement.

The following signs are permitted without a sign permit in all zoning districts where the principal permitted use to which they are related is a permitted use in that district:

- 1.** Address numbers, nameplates (including apartment units and office suites) identifying the occupant or address of a parcel of land and not exceeding three square feet in area. All address numbers shall comply with the provisions of chapter 62, article III.
- 2.** Memorial signs or tablets, not to exceed eight square feet in area, containing the name of the building and date of erection, when cut into any masonry surface or constructed of bronze or other incombustible material and affixed to the exterior wall of the building.
- 3.** Signs painted on or permanently attached to legally licensed vehicles which are used upon the highways for transporting persons, goods or equipment.
- 4.** Traffic or other municipal signs, including, but not limited to, the following: legal notices, historic site designations, municipal facility directional signs, street or traffic signs, railroad crossing signs, and danger and other emergency signs as may be approved by the township board or any federal, state or county agency having jurisdiction over the matter of the sign. Such signs may be located in any zoning district. However, all signs on governmental property on which a municipal building is located shall meet the commercial and industrial zoning district requirements in section 102-35.
- 5.** Community special event signs approved by the township board.
- 6.** For gasoline service stations, the following special sign, which is deemed customary and necessary to their respective businesses: customary lettering or other insignia on a gasoline pump consisting of brand of gasoline sold, lead warning information, and any other data required by law and not exceeding a total of three square feet on each pump. Such signs shall carry no commercial messages.
- 7.** One sign advertising parcels of land or buildings for rent, lease or sale, when located on the land or building intended to be rented, leased or sold, not exceeding six square feet in area, four feet in height in residential districts, and 24 square feet in area, six feet in height in office, commercial and industrial districts. One sign is permitted per parcel that fronts on a public street. All signs reflecting zoning classifications must be accurate with the current zoning designation. An additional 18 square feet of sign area will be permitted if the sign faces the I-275 freeway and if the property is adjacent to the I-275 freeway. Such signs are subject to the maintenance and structural requirements for signs in the State construction code.

**8.** Institutional use bulletin boards, not to exceed 18 square feet in area and not to exceed six feet in height, including the frame and base of such sign, set back ten feet from any property line, for use by educational nonprofit institutions licensed by the state, houses of worship or other public entities.

**9.** Flags of government, civic, philanthropic, educational, and religious organizations and other public or private corporations or entities; provided, however, that only one flag bearing the seal or trademark of a private organization may be displayed by an individual establishment or proprietor of any single building or parcel of land. A flag pole is considered a structure, and is subject to all height regulations affecting structures.

**10.** Signs of a primarily decorative nature, not used for any commercial purpose and commonly associated with any national, local or religious holiday; provided that such signs shall be displayed for a period of not more than 60 consecutive days, and shall not be displayed for more than 120 days in any one year.

**11.** Political signs, not to exceed one sign per candidate or issue, and not to exceed six square feet of area per sign, which shall be permitted on all occupied lots, regardless of zoning, provided such sign is located and placed with the permission of the owner of the lot or parcel where such sign is located, and provided that such sign is removed within two days after the elections. A political candidate or committee is responsible to remove any sign not in conformity with this chapter within two days after receiving a written notice from the township. Such signs shall not be placed within a right-of-way.

**12.** For model homes within a subdivision, one sign per model, which shall not exceed two square feet in area or four feet in height, including the frame and base of such sign, when located within the front yard setback, for the purpose of identifying the model style.

**13.** Garage sale signs not exceeding five square feet in area and not displayed in excess of three days. Such signs shall not be placed within a right-of-way.

**14.** One sign identifying on-site construction activity, during the time of construction, not exceeding 24 square feet in area, except in connection with individual single-family detached residential construction, which sign shall not exceed six square feet in area. Such signs shall not exceed six feet in height, and shall be removed before an occupancy permit is issued.

**15.** Signs temporarily erected for municipal construction projects to inform the public of the nature of the project or anticipated completion dates, which shall be permitted in all zoning districts, subject to a maximum size of 24 square feet in area and six feet in height.

**16.** Help wanted signs not exceeding six square feet in area and four feet in height, which may be displayed on private property for a period of up to four weeks at a time and not more than four times within each calendar year.

**17. Blade under-canopy signs hung below the canopy or eave of a multiple tenant project intended to direct pedestrians under the sheltered area in areas where the tenant primary signage is not visible.** Such signs must not exceed 42 inches in width and must not extend more than 18 inches from the mounting hardware or bracket attached to the underside of the canopy or eave. The mounting bracket may not extend more than six inches from the underside of the canopy or eave. The minimum required headroom clearance under the blade sign must be provided as required by the building code.  
(Ord. No. 120(F), as amended, § 4, 11-12-2002)

Sec. 102-10. 6A.10. Rezoning signs.

Whenever an application for rezoning is made, the following requirements shall be met:

**1.** A four-foot by eight-foot sign shall be erected in full public view along road frontage at least 20 days prior to a public hearing on the property which is the site of the rezoning; provided, however, if the property to be rezoned is situated on two streets or roads abutting the subject property, then two signs, one for each road, shall be required.

**2.** A permit and bond shall be required.

**3.** The sign shall read as follows:

a. At the top of the sign, the words "This property proposed to be rezoned," or other applicable language, shall appear.

b. The sign shall contain the name of the real party interested in asking for a zoning change.

c. The sign shall contain what the present zoning is at the time of petition.

d. The sign shall contain the proposed or requested zoning sought and amount of acreage involved (map with dimensions).

e. The sign shall contain the proposed general use of the land if the zoning is successful.

f. The sign shall contain the date and place of the public hearing on the rezoning.

**4.** It shall be the duty of the petitioner to erect, maintain and remove the sign. Removal shall be within three days after the public hearing.

**5.** If the township determines the need to consider rezoning certain land areas, the regulations of this section will not be applicable. The township will endeavor to carry out the erection of rezoning signs unless an agreement cannot be reached with the property owner for the erection of the sign. The township may proceed with consideration of the rezoning in accordance with the other appropriate provisions of the zoning ordinance.  
(Ord. No. 120(F), as amended, § 12, 11-12-2002)

Secs. 102-11-102-30: Reserved.

ARTICLE II. ZONING DISTRICT RESTRICTIONS

Sec. 102-31. 6A.11. Signs prohibited in all districts.

The following signs are considered to be unsafe, dangerous, hazardous or an attractive nuisance, therefore these signs shall not be permitted, erected, or maintained in any zoning district unless the applicant requesting a variance from this section can substantiate to the building official, fire chief and police chief that the applicant's specific use of a sign listed in this section will not be dangerous, hazardous, or an attractive nuisance.



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## CHARTER TOWNSHIP OF CANTON BOARD PROCEEDINGS - JULY 17, 2006

If these officials unanimously agree that the specific use of the sign requested is not dangerous, hazardous, or an annoyance, nuisance, and the zoning board of appeals has granted a variance in accordance with the variance procedures, then the building official shall issue a permit for such requested use.

- (1) Signs which incorporate in any manner any flashing or moving lights, including strobe lights, whether they are mounted indoors or outdoors, if they are visible from the outdoors.
- (2) Banners, pennants, spinners and streamers, and inflatable figures, except as specifically permitted in accordance with sections 102-9(5) and 102-35(6) 6A.09 (5) and (10) and 6A.15.

(3) String lights used in connection with commercial premises for commercial purposes, except holiday uses not exceeding seven weeks in any calendar year.

(4) Any sign which moves or has any moving or animated parts, or images, whether the movement is caused by any mechanical, electronic or electrical device or wind or otherwise, including swinging signs and strings of flags, or streamers, or cloth flags moved by natural wind, except as permitted in section 102-9(10) 6A.09 (10). Such a prohibition shall not pertain to public message signs on governmental property and those on public property which display time, temperature or stock market quotation signs.

(5) Any sign or sign structure which:

- a. Is structurally unsafe;
- b. Constitutes a hazard to the safety or health of persons or property by reason of inadequate design, fabrication, mounting or maintenance or by abandonment thereof;
- c. Is not kept in good repair; or
- d. Is capable of causing electrical shocks to persons that may come in contact with it.

(6) Any sign which by reason of its size, location, content, coloring, intensity, or manner of illumination constitutes a traffic hazard or a detriment to traffic safety, by obstruction of visibility of any traffic sign or control device on any public street or road.

(7) Any sign which obstructs free ingress or egress to or from a required door, window, fire escape, driveway or other required access route.

(8) Signs which make use of words such as "stop," "look," or "danger" or any other words, phrases, symbols or characters in such a manner as to interfere with, mislead or confuse drivers of vehicles traveling upon any highway, driveway or parking area.

(9) Any sign or other advertising structure or display which conveys, suggests, indicates or otherwise implies by pictures, drawings, words, emblems, logos, or other communication methods the following:

- a. Human genitalia;
- b. Specified sexual activities as defined in section 18-141.
- c. Adult nude human bodies;
- d. Obscene words;
- e. Obscene gestures.

(10) Any sign which no longer advertises a bona fide business or product sold. Such signs shall be removed by the property owner within 30 calendar days after a business closes or vacates the premises.

(11) Any sign, except traffic or other municipal signs, as permitted in section 102-9(4) 6A.09 (4), that is located in or projects into or over a public right-of-way or dedicated easement;

(12) Any sign that exceeds the height limitation for structures in the zoning district in which it is located, or a wall sign that extends beyond or above the structure to which such sign is affixed except as may specifically be provided for in other provisions.

(13) Placards, posters, circulars, showbills, handbills, political signs, cards, leaflets or other advertising matter, except as otherwise provided in this chapter, when posted, pasted, nailed, placed, printed, stamped or in any way attached to any fence, wall, post, tree, sidewalk, pavement, platform, pole, tower, curbstone or surface in or upon any public easement or right-of-way or on any public or private property whatsoever. Nothing in this section shall prevent official notices of the township, school districts, or county state or federal government from being posted on any public property deemed necessary. All placards, posters, circulars, showbills, handbills, political signs, cards, leaflets or other advertising matter posted, pasted, nailed, placed, printed, or stamped on any right-of-way or public property may be removed and disposed of by township enforcement officers without regard to other provisions of this chapter.

(14) The parking of a vehicle or trailer on a public right-of-way or on public or private property, on a permanent continuing basis, so as to be visible from a public right-of-way, if the vehicle has attached thereto or located thereon any sign or advertising device which has the effect of providing advertisement of products or directing people to a business or activity located on the same or nearby property or any other premises.

(15) Any sign greater than four feet in height that is suspended by chains or other devices that will allow the sign to swing due to wind action. The zoning board of appeals shall have the power to grant relief from the strict application of this provision when the applicant can show that the intent of this provision will be achieved through alternative means and result in a sign that is more in keeping with the architectural character and more in harmony with the design of the development it serves and with surrounding properties.

(16) Bench signs.

(17) Commercial signs erected on bus stop shelters.

(18) Ground signs within 100 linear feet of an existing ground sign.

(19) Roof signs.

(20) Ground signs which identify more than one business within a multi-tenant building or multiple building site. These signs are also commonly known as directory signs, unless otherwise permitted through the approval of a Master Sign Plan as provided for in Section 6A.22

(21) Portable signs, except as provided in section 102-61 6A.18

22. Any sign placed upon a cart corral or cart return other than signage indicating the intended function of the corral or return and which does not carry a commercial message.  
(Ord. No. 120(F), as amended, § 5, 11-12-2002)

### Sec. 102-32. Signs permitted in all single-family residential districts.

The following signs are permitted in all single-family residential districts and require a sign permit.

(1) A subdivision development with models designed to promote the sale of homes within a subdivision shall be allowed no more than two ground signs or a temporary sign for a two-year period. Such signs shall be located adjacent to a subdivision entranceway. Each sign, when permitted, shall not exceed 24 square feet in area or a height of six feet. The length of a sign shall not exceed eight feet in distance. The sign support shall not extend more than two feet from the ground to the sign surface. These signs shall not be located within ten feet of any road or street right-of-way. Permits issued for this type of sign shall only be issued to the developer of the subdivision. In addition, one sign shall be permitted to be erected by each homeowner within the subdivision, not to exceed 16 square feet in area and a height of five feet. Such signs shall be located within the subdivision and no closer than ten feet to any property line in front of each model home. After the two-year period, sign permits may be renewed yearly if at least five percent of the lots remain vacant and available and new homes remain under construction. Such signs shall be removed upon completion of new home marketing within the subdivision, when 95 percent of all lots have been sold by the builder or when the permit expires, whichever occurs first.

(2) A subdivision development with model homes is allowed one off-premise temporary sign for a two-year period, which may be renewed yearly if at least five percent of the lots remain vacant and available and new homes are under construction. Such signs shall be for the purpose of directing traffic to the development's location. Such signs shall be no larger than 24 square feet in area, and shall not exceed six feet in height. No such sign may be erected within 50 feet of any road or street right-of-way. Such signs shall be removed when 95 percent of

all lots in the subdivision have been sold by the builder.

(3) Residential subdivision entranceway ground signs on private property shall not be constructed until the subdivision has received final plat approval. These signs shall not exceed six feet in height or 24 square feet in area and shall only display the name of the subdivision. Signs shall be located on private property at least one foot away from all property lines. All entranceway ground signs erected on private property within a subdivision shall have a common design and be constructed of the same or similar materials throughout that subdivision. On boulevards, residential entranceway ground signs erected on private property shall meet all requirements as stated in this subsection and shall not be located closer than ten feet to the intersecting road right-of-way line. Residential subdivision entranceway ground signs within the public road right-of-way shall be approved by the county state, or other governmental agency having jurisdiction.

(4) Churches, schools, and other nonresidential uses within residential zoning districts may erect signs subject to all sign size and location requirements of office signs as described in section 102-34. However, if an institutional use bulletin board is utilized as permitted in section 102-36, no additional ground sign will be permitted.

(5) Golf courses with frontage on two roads, each of which has a minimum road right-of-way width of 86 feet, shall be permitted two ground signs (one for each frontage). Each sign shall not be located closer than ten feet to any road right-of-way. Such signs shall not exceed 24 square feet in area or six feet in height. All height measurements shall be taken from the surface of the public sidewalk or the road closest to the sign.

(6) A residential subdivision development shall be permitted one project announcement sign after the development has received tentative preliminary plat approval. This sign may remain until the first building permit is issued. At that time, the sign must be removed. Project announcement signs shall not exceed 24 square feet in area or six feet in height and shall not be located closer than ten feet to any property line.  
(Ord. No. 120(F), as amended, § 6, 11-12-2002)

### Sec. 102-33. Signs permitted in single-family attached residential, multiple family residential and mobile home park districts.

The following signs are authorized with a permit in single-family attached residential (R-6), multiple family residential (MR) and mobile home parks (MHD) zoning districts.

(1) A multiple family or mobile home development with units or lots for sale or rent shall be allowed no more than two ground signs on a temporary basis for a two-year period. Such signs shall be located adjacent to a development project's entranceway and limited to one along each bounding primary or secondary road. The signs, when permitted, shall not exceed 24 square feet in area or a height of six feet. The length of a sign shall not exceed eight feet in distance nor shall the height of the sign exceed eight feet. The sign support shall not extend more than two feet from the ground to the sign surface. Such signs shall be located no closer than ten feet to any property line. The sign permit may be renewed yearly if the project is less than 95 percent occupied.

(2) Multiple family or mobile home entranceway ground signs on private property shall not exceed five feet in height or 24 square feet in area and shall only display the name of the project. Signs shall be located on private property at least one foot away from all property lines. All entranceway signs shall be ground signs, shall have a common design, and shall be constructed of the same or similar materials throughout that development. On boulevards, multiple family or mobile home entranceway ground signs erected on private property shall meet all requirements as stated in this subsection and shall not be located closer than ten feet to the intersecting road right-of-way line.

(3) A multiple family or mobile home development with units or lots for sale or rent shall be allowed one off-premise temporary sign for a two-year period which may be renewed yearly if at least five percent of the lots remain vacant and available or new units or lots are under construction. Such sign shall be for the purpose of directing traffic to the development's location. The sign may be a maximum of 24 square feet in area and shall not exceed six feet in height. No such sign shall be located within 50 feet of any road or street right-of-way. Such sign shall be removed when 95 percent of all units or lots have been occupied.

(4) One wall sign for identification purposes for each such development shall be permitted. Such sign shall not exceed 24 square feet in area. The sign shall not extend above the roofline nor shall such sign project from the face of the building more than 12 inches.

(5) Golf courses with frontage on two roads, each of which has a minimum road right-of-way width of 86 feet, shall be permitted two ground signs (one for each frontage). Each sign shall not be located closer than ten feet to any road right-of-way. Such signs shall not exceed 24 square feet in area or six feet in height. All height measurements shall be taken from the surface of the public sidewalk or the road closest to the sign.

(6) A multiple family or mobile home development shall be permitted one project announcement sign after the development has received site plan approval from the township board. This sign may remain until the first building permit is issued. At that time, the sign must be removed. Project announcement signs shall not exceed 24 square feet in area or six feet in height and shall not be located closer than ten feet to any property line.  
(Ord. No. 120(F), as amended, § 7, 11-12-2002)

### Sec. 102-34. Signs permitted in office, mid-rise development and high-rise development districts.

The following signs are authorized with a permit in office districts (O-1, O-2, O-3, O-4, RP, LI-1, LI-2, and GD).

#### (1) Ground signs

a. One ground sign may be permitted for each developed lot or parcel. The sign shall not be located closer than ten feet to any property line or to the edge of the pavement of any driveway entrance off of the right-of-way.

b. The sign face shall not exceed 24 square feet in area. The sign structure shall not exceed 12 feet in length and six feet in height as measured from the finished elevation of the sidewalk located along the right-of-way nearest to the sign.

c. The ground sign shall be integrated into the landscape buffer design and shall be compatible with the design and materials used for the structures on the site.

d. The masonry base shall have a minimum height of 18 inches and shall not exceed a height of 36 inches. The masonry base, at a minimum, shall be equal to the length of the sign. Masonry or other decorative features enclosing the sides or top of the face of the sign shall not extend beyond the maximum allowable width and height of the sign.

e. In the downtown development district (DDA), the height of the masonry base shall be equal to the finished height of the nearest garden wall.

#### (2) Wall signs

a. Any development with one or more buildings shall be permitted one wall sign not exceeding 50 square feet in area.

b. All wall signs shall utilize individual die cut or internally illuminated channel letters. Any building or multiple building site shall utilize a single color for all wall sign letters, excluding any trademark or copyrighted logo. If the letters are attached to an exposed electrical raceway, the raceway shall match the color of the wall.

c. Where corporate logos are proposed for use as a wall sign or as part of the overall wall sign, the logo shall not exceed 30 percent of the maximum permitted area.

(3) Project announcement signs. An office development shall be permitted one project announcement sign after the development has received site plan approval from the township board. This sign may remain until the first building permit is issued. At that time, the sign must be removed. Project announcement signs shall not exceed 24 square feet in area or six feet in height and shall not be located closer than ten feet to any property line.

(4) Automated teller machine. The total square footage allowed for signs on an ATM machine is 12 square feet. This area is inclusive of any graphics and lettering. Graphics for the purpose of this definition are any colors or designs other than the principal color of the machine. Automated teller machine signs are not required to be individual channel letters.  
(Ord. No. 120(F), as amended, § 8, 11-12-2002; Ord. of 4-27-2004(2))

### Sec. 102-35. Signs permitted in all commercial and industrial districts.

The following signs are authorized with a permit in all commercial and industrial zoning districts (O-1, O-2, O-3, O-4, RP, LI-1, LI-2, and GD):

#### (1) Wall signs and flying signs

a. The total square footage allowed for a wall sign, an awning sign, or a combination of the two in these zoning districts shall be determined by multiplying one square foot by the linear footage of frontage of the building or legally occupied tenant space, but shall not exceed 200 square feet per building or tenant space.

b. All wall signs shall utilize individual die cut or internally illuminated channel letters. Any building or multiple building site shall utilize a single color for all wall sign letters, excluding any trademark or copyrighted logo. If the letters are attached to an exposed electrical raceway, the raceway shall match the color of the wall.

c. Where corporate logos are proposed for use as a wall sign or as part of the overall wall sign, the logo shall not exceed 30 percent of the maximum permitted area.

d. Corner lots shall not be provided additional footage.

e. When a wall sign is used in conjunction with an awning sign, the total square footage allowed for both together shall not exceed the maximum square footage that would be allowed for a wall sign.

(2) Window signs. Window copy painted or otherwise attached to the window surface shall be limited in area to 25 percent of the total surface of the window to which the sign is affixed, and no more than two signs per window surface shall be permitted. This type of sign does not require a permit.

(3) Canopy signs. Canopy signs shall not exceed eight square feet in total area and shall not project further than the canopy support structure. The minimum clearance shall be ten feet from the average grade of the parcel on which it is located to the bottom of the sign. No permit is required for a canopy sign.

#### (4) Ground signs

a. One ground sign may be permitted for each developed lot or parcel. The sign shall not be located closer than ten feet to any property line or to the edge of the pavement of any driveway entrance off of the right-of-way.

b. The sign face shall not exceed 24 square feet in area. The sign structure shall not exceed 12 feet in length and six feet in height as measured from the finished elevation of the sidewalk located along the right-of-way nearest to the sign.

c. The ground sign shall be integrated into the landscape buffer design and shall be compatible with the design and materials used for the structures on the site.

d. The masonry base shall have a minimum height of 18 inches and shall not exceed a height of 36 inches. The masonry base, at a minimum, shall be equal to the length of the sign. Masonry or other decorative features enclosing the sides or top of the face of the sign shall not extend beyond the maximum allowable width and height of the sign.

e. In the downtown development district (DDA), the height of the masonry base shall be equal to the finished height of the nearest garden wall.

(5) Billboards. Billboards shall be permitted in the CI zoning district adjacent to limited access interstate freeways and shall not exceed 160 square feet in area or 12 feet in height and shall be set back a minimum distance of 1,000 feet from any right-of-way line. No billboard shall be erected closer than 2,000 feet to any other billboard. The structure of the sign shall be exclusively steel, and no wood or other combustible material shall be permitted. The sign shall not be illuminated between the hours of 11:00 p.m. and 7:00 a.m. No billboard shall be permitted on a parcel in conjunction with a ground sign.

(6) Temporary cloth or canvas signs, pennants or banners. Temporary cloth or canvas signs, pennants, or banners may be displayed for a period of up to four weeks within the calendar year that the first permit was applied for. Three permits may be issued per calendar year. The total square footage allowed for a banner sign shall not exceed what is permitted for a wall sign in subsection (1) of this section.

(7) Menu order and similar drive through assistance signs. One such freestanding sign not exceeding 24 square feet in size shall be permitted per each legally valid drive through type use. Such sign may only be located at the point of vocal communication with the main building.

(8) Project announcement signs. A commercial or industrial development shall be permitted one project announcement sign after the development has received site plan approval from the township board. This sign may remain until the first building permit is issued. At that time, the sign must be removed. Project announcement signs shall not exceed 24 square feet in area or six feet in height and shall not be located closer than ten feet to any property line.

(9) Township governmental property. A changeable copy sign/reader board may be installed in addition to what is otherwise permissible within this section. This provision is not applicable to size and location requirements.

(10) Automated teller machine. The total square footage allowed for signs on an ATM machine is 12 square feet. This area is inclusive of any graphics and lettering. Graphics for the purpose of this definition are any colors or designs other than the principal color of the machine. Automated teller machine signs are not required to be individual channel letters.  
(Ord. No. 120(F), as amended, § 9, 11-12-2002; Ord. of 4-27-2004(2))

### Sec. 102-36. Signs permitted in agricultural, rural residential and rural estate districts.

The following signs are authorized with a permit in agricultural, rural residential and rural estate zoning districts (RA, RR, and RE).

(1) Each conforming agricultural or open space recreational use shall be permitted wall signs. The area of such sign shall be computed by multiplying two square feet by the total linear front footage of the building itself, but in no case shall the total sign area exceed 200 square feet. The sign shall not extend above the roofline or gable line, nor shall such sign project more than 12 inches from the face of the building.

(2) One ground sign for each developed lot or parcel where a conforming use exists shall be permitted after the building and sign permits have been issued. The sign shall not exceed 24 square feet in area or exceed six feet in height. Such signs shall be set back a minimum of ten feet from any property line.

(3) Producers of bona fide agricultural products as permitted within the RA, RR, and RE zoning classifications and as further defined in the state construction code shall be permitted no more than one off-premise ground sign. The sign shall be no larger than 24 square feet in area and shall not exceed six feet in height. The sign shall be located no less than ten feet from all road rights-of-way and 100 feet away from all other signs. Each agricultural producer, including but not limited to, an individual, partnership, or corporation, shall be permitted to establish and maintain such signs. The purpose of the off-premise advertisement signs is to permit the producer to make the public aware of produce for sale. The sign shall include the name of the producer, the type of produce available and directional information to assist the motoring public in locating the producer's agricultural area. Additional information may be indicated at the option of the producer. Such signs shall not advertise any products or services other than the availability of bona fide agricultural produce received by the producer. Permits may be obtained for a maximum period of six consecutive months in any calendar year. Permit applicants shall present a letter indicating that permission has been received from the landowner of the lot to place the sign upon his property. In addition, a cash bond shall be posted to guarantee removal of such signs. The signs shall be removed within 48 hours of permit expiration.

(4) Golf courses with frontage on two roads, each of which has a minimum road right-of-way width of 86 feet, shall be permitted two ground signs (one for each frontage). Each sign shall not be located closer than ten feet to any road right-of-way. Such signs shall not exceed 24 square feet in area or six feet in height. All height measurements shall be taken from the surface of the public sidewalk or the road closest to the sign.

(5) A development within the RA, RR, and RE zoning districts shall be permitted one project announcement sign after the development has received site plan approval from the township board. This sign may remain until the first building permit is issued. At that time, the sign must be removed. Project announcement signs shall not exceed 24 square feet in area or six feet in height and shall not be located closer than ten feet to any property line.  
(Ord. No. 120(F), as amended, § 10, 11-12-2002)

### Secs. 102-37-102-60. Reserved.

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OE08458569



# Postmaster urges summer safety

Summer vacation is here, and the children who were sitting behind desks doing school work for the last nine months are now soaking up the sunshine outdoors.

When they see a letter carrier drive up to the mailbox, they often rush to pick up the letters without stopping to think about their personal safety.

"It's very important that everyone wait until the letter carrier has pulled away from the mailbox before approaching," said Plymouth Postmaster Dennis Wiczorek. "Children especially are at risk when they wait near the box for the mail carrier to arrive, or rush to get the mail before the vehicle has pulled away. Our carriers are on the alert, but if they

don't see the child someone could get hurt."

Adults should also remind the children in their care that they need to be very careful when crossing the street to get to the mailbox.

"For as long as I can remember, kids love to pick up the mail," Wiczorek said. "Sometimes, in their excitement, they don't check for traffic as carefully as they should."

Wiczorek said there have been no local accidents involving children near the mailbox, and he wants to make sure it stays that way.

"Taking a few minutes to discuss mailbox safety with your kids will help them enjoy a healthy and happy summer and make our letter carriers' jobs easier," Wiczorek said.



Notice is hereby given that the following units will be sold to the highest bidder by way of open auction on 08/04/06 at approximately 9:00 a.m. or there after at the following locations:

**Shurgard Storage of Canton North \*2101 Haggerty Rd\*Canton\* 734-981-0300**

5054	Curtis	Household
3019	Dawson	Household
4203	Hawes	Household
4294	Jacobs	Household
5009	Payne	Office Supplies
4034	Rodriguez	Household
5248	Wilkins	Household

**Shurgard Storage of Canton South\* 45229 Michigan Ave\*Canton\* 734-398-5416**

6001	Baker	household
5265	Brown	household
5266	Brown	household
5270	Brown	household
2018	Hiavacek	household
5151	Clay	household
2006	Knight	household
3027	Knight	household
4157	Hartley	household
4160	Richards	household
4049	Simmons	household
4038	Simpson	household
4164	Smith	household
3045	Swinea	household

**Shurgard Storage of Dearborn\*24920 Trowbridge\*Dearborn\*313-277-2000**

1462	Vanhorn	Household Items
1576	Swaidan	Household Items
2048	West	Household Items

**Shurgard Storage of Livonia\*30300 Plymouth Rd\*Livonia\*734-522-7811**

2021	Lyons	Household Goods
3057	Smith	Household Goods
3069	Zonca	Household Goods
3101	Cooper	Household Goods
4044	Whitmore	Household Goods
4087	Smith	Household Goods
4099	Taylor	Household Goods
4145	Habib	Construction Tools
5098	Redding	Household Goods

**Shurgard Storage of Taylor\*9300 Pelham Rd\* Taylor\*313-292-2950**

3078	A. Roop	Household
4020	J. Gilley	Household
5048	E. Justice	Household
5053	D. Nunley	Household
5059	J. Floyd	Household
5077	N. Jamieson	Household
6009	N. Marshall	Household
6105	R. Phillips	Household
6026	P. Sampson	Household
9042	T. Marr	Household
9108	V. Zimmerman	Household

**Shurgard Storage of Westland\*36001 Warren\* Westland\*734-326-6000**

1300	Brown	Household Items
4014	Burton	Household Items
1132	Fields	Household Items
5010	Griffin	Household Items
5168	Muhammed	Household Items
6018	Parks	Household Items
2054	Witkowski	Household Items
3038	Witkowski	Household Items

**Shurgard Storage of Plymouth \*41889 Joy Rd\*Canton\*734-459-2200**

1072	Jorell Gasper	Household
4011	Dale Smith	car/household
5039	David Hieb	equipment
5054	John King	household
9154	Daphani Dent	household

Notice is hereby given that the following units will be sold to the highest bidder by way of open auction on 08/07/06 at approximately 9:00 a.m. or there after at the following location:

**Shurgard Storage of Ann Arbor \* 2500 S. Industrial Hwy, Ann Arbor, \*734-973-2212**

1067	Bergey	Household
3032	Ford	Household
5002	Lawal	Household
4100	Mohammadimehr	Household
4804	Patrick	Household
8014	Smith	Household
8024	Smith	Household



Continued from Page 20A

## CHARTER TOWNSHIP OF CANTON BOARD PROCEEDINGS - JULY 17, 2006

### 6A.12. Signs permitted in all single-family residential districts

Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
all single-family residential districts	Subdivision development ground signs	one per subdivision development	Adjacent to a subdivision entranceway; shall not be located within ten feet of any road or street right-of-way	24 sq. ft.; shall not exceed 8 ft. in length	Six feet (sign support shall not extend more than two feet from the ground area to the sign)	Valid for a two-year period. Permits issued for this type of sign shall only be issued to the developer of the subdivision; permit may be renewed yearly if at least five percent of the lots remain vacant and available and new homes remain under construction after the two-year period. Such signs shall be removed upon cessation of new home marketing within the subdivision, when 95 percent of all lots have been sold by the builder or when the permit expires, whichever occurs first.
	Subdivision homebuilder ground signs	One for each homebuilder within the subdivision	Within the subdivision and no closer than ten feet to any property line in front of each model home	16 sq. ft.	Five feet	The homebuilder ground signs are permitted in addition to the one permitted for a subdivision for the general developer of the subdivision
	Subdivision development off-premises temporary sign	One per subdivision development	No such sign may be erected within 10 feet of any road or street right-of-way and must be located on private property	24 sq. feet	Six feet	Permitted for a two-year period, which may be renewed yearly if at least five percent of the lots remain vacant and available and new homes are under construction. Such signs shall be removed when 95 percent of all lots in the subdivision have been sold by the builder.
	Residential subdivision entranceway ground signs	One per subdivision development	On private property at least one foot away from all property lines; on boulevards, residential entranceway ground signs erected on private property shall meet all requirements as stated in this subsection and shall not be located closer than ten feet to the intersecting road right-of-way line.	24 sq. ft.; shall not exceed 8 ft. in length	Six feet	Shall not be constructed until the subdivision has received final plat approval, shall only display the name of the subdivision; all entranceway ground signs erected on private property in a subdivision shall have a common design and be constructed of the same or similar materials throughout that subdivision. Residential subdivision entranceway ground signs within the public road right-of-way shall be approved by the county, state, or other governmental agency having jurisdiction.
	Pole-mounted, permanent, interchangeable, banners	Two per subdivision entrance	On a light pole or dedicated pole on private property at least one foot away from all property lines or within the median island of a boulevard and shall not be located within 10 feet of a public road right-of-way.	10 square feet per banner	Each banner shall not exceed 2 feet in width or 5 feet in height	Shall be decorative in nature and shall contain no commercial message or content
Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
	Ground signs for churches, schools, and other nonresidential uses within residential zoning districts	One for each developed site.	Not closer than ten feet to any property line or to the edge of the pavement of any driveway entrance off of the right-of-way	24 sq. feet	Six feet	If an institutional use bulletin board is utilized as permitted in section 6A.09 (8), no additional ground sign will be permitted; shall be integrated into the landscape buffer design and shall be compatible with the design and materials used for the structures on the site; masonry base shall have a minimum height of 18 inches and shall not exceed a height of 36 inches. The masonry base, at a minimum, shall be equal to the length of the sign. Masonry or other decorative features enclosing the sides or top of the face of the sign shall not extend beyond the maximum allowable width and height of the sign
	Golf course ground signs	One for each frontage on a public right-of-way with at least 86 feet in width (maximum of two)	Not closer than ten feet to any road right-of-way	24 square feet	Six feet	NA
	Project announcement signs	one	Shall not be located closer than ten feet to any property line	24 square feet	Six feet	Permitted after the development has received tentative preliminary plat approval from the township board; this sign may remain until the first building permit is issued, at that time the sign must be removed

### 6A.13. Signs permitted in single-family attached residential, multiple-family residential and mobile home park districts.

Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
single-family attached residential (S-F), multiple-family residential (M-F) and mobile home park (MHP) zoning districts	Multiple-family or mobile home development ground signs	One per multiple-family or mobile home development	Adjacent to a multiple-family or mobile home development entranceway; shall not be located within ten feet of any road or street right-of-way; limited to one along each bounding primary or secondary road	24 sq. ft.; shall not exceed 8 ft. in length	Six feet	A multiple-family or mobile home development, with units or lots for sale or rent may have such signs on a temporary basis, for a two-year period. The sign support shall not extend more than two feet from the ground area to the sign surface. Permits issued for this type of sign shall only be issued to the developer of the multiple-family or mobile home development. After the two-year period, sign permits may be renewed yearly if at least five percent of the lots or units remain vacant and available. Such signs shall be removed when 95 percent of all lots or units have been sold or rented.
	Multiple-family or mobile home development off-premises temporary sign	One per multiple-family or mobile home development	No such sign may be erected within 10 feet of any road or street right-of-way.	24 sq. feet	Six feet	Permitted for a two-year period, which may be renewed yearly if at least five percent of the lots or units remain vacant and available or new units or lots are under construction. Such sign shall be for the purpose of directing traffic to the development's location. Such signs shall be removed when 95 percent of all lots in the subdivision have been sold by the builder.
	Multiple-family or mobile home entranceway ground signs	One per multiple-family or mobile home development	On private property at least one foot away from all property lines; on boulevards, residential entranceway ground signs erected on private property shall meet all requirements as stated in this subsection and shall not be located closer than ten feet to the intersecting road right-of-way line.	24 sq. ft.; shall not exceed 8 ft. in length	Five feet	Shall not be constructed until the development has received final plat approval, shall only display the name of the development; all entranceway ground signs erected on private property in a multiple-family or mobile home project shall have a common design and be constructed of the same or similar materials throughout that multiple-family or mobile home development. Multiple-family or mobile home entranceway ground signs within the public road right-of-way shall be approved by the county, state, or other governmental agency having jurisdiction.
	Pole-mounted, permanent, interchangeable, banners	Two per multiple-family or mobile home development entrance	On a light pole or dedicated pole on private property at least one foot away from all property lines or within the median island of a boulevard and shall not be located within 10 feet of a public road right-of-way.	10 square feet per banner	Each banner shall not exceed 2 feet in width or 5 feet in height	Shall be decorative in nature and shall contain no commercial message or content
Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
	Ground signs for churches, schools, and other nonresidential uses within residential zoning districts	One for each developed site.	Not closer than ten feet to any property line or to the edge of the pavement of any driveway entrance off of the right-of-way	24 sq. feet	Six feet	If an institutional use bulletin board is utilized as permitted in section 6A.09 (8), no additional ground sign will be permitted; shall be integrated into the landscape buffer design and shall be compatible with the design and materials used for the structures on the site; masonry base shall have a minimum height of 18 inches and shall not exceed a height of 36 inches. The masonry base, at a minimum, shall be equal to the length of the sign. Masonry or other decorative features enclosing the sides or top of the face of the sign shall not extend beyond the maximum allowable width and height of the sign
	Wall sign for identification purposes.	One for the clubhouse or office for a development site	The sign shall not extend above the roofline nor shall such sign project from the face of the building more than 12 inches	24 sq. feet	N/A	N/A
	Project announcement signs	One	Shall not be located closer than ten feet to any property line	24 square feet	Six feet	Permitted after the development has received site plan approval from the township board; this sign may remain until the first building permit is issued, at that time the sign must be removed
	Golf course ground signs	One for each frontage on a public right-of-way, maximum of two; each right-of-way must have a minimum road right-of-way width of 86 feet	Not closer than ten feet to any road right-of-way	24 square feet	Six feet	NA

### 6A.14. Signs permitted in office, mid-rise development and high-rise development districts.

Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
office districts (O-1), mid-rise development districts (MRD) and high-rise development districts (HRD)	Wall signs	One for any development site with one or more buildings	NA	Shall not exceed 50 square feet	NA	All wall signs shall meet the legibility and design requirements of section 6A.25. Corner lots shall not be provided additional footage. When a wall sign is used in conjunction with an awning sign, the total square footage allowed for both together shall not exceed the maximum square footage that would be allowed for a wall sign.
	Ground signs	One for each developed site.	Not closer than ten feet to any property line or to edge of pavement of any driveway entrance off of the right-of-way.	24 sq. ft.; shall not exceed 12 ft. in length	Six feet	All ground signs must meet the legibility and design requirements of section 6A.25
	Project announcement signs	One	Shall not be located closer than ten feet to any property line	24 square feet	Six feet	Permitted after the development has received site plan approval from the township board; this sign may remain until the first building permit is issued, at that time the sign must be removed
	Automated teller machine sign	NA	Located on ATM Machine or ATM Machine cabinet	3 square feet; this area is inclusive of any graphics and lettering	NA	Graphics for the purpose of this definition are any colors or designs other than the principal color of the machine

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OE08469570



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CHARTER TOWNSHIP OF CANTON  
BOARD PROCEEDINGS - JULY 17, 2006

6A.15. Signs permitted in all commercial and industrial districts.

Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
all commercial and industrial zoning districts (C-1, C-2, C-3, C-4, R-1, L-1, L-2, and G1)	Wall signs and awning signs	NA	NA	Permitted wall sign area shall be calculated in accordance with section 6A.17	NA	All wall signs shall meet the legibility and design requirements of section 6A.25. Corner lots shall be provided 150 percent of the otherwise permitted total wall sign area calculated in accordance with section 6A.17. When a wall sign is used in conjunction with an awning sign, the total square footage allowed for both together shall not exceed the maximum square footage that would be allowed for a wall sign.
	Window signs	Two per window surface	NA	25 percent of the total surface of the window to which the sign is affixed	NA	Do not require a permit
	Canopy signs	NA	Shall not project further than the canopy support structure	Eight square feet	NA	No permit is required for a canopy sign; the minimum clearance shall be ten feet from the average grade of the parcel on which it is located to the bottom of the sign.
	Ground signs	One for each developed site	Not closer than ten feet to any property line or to edge of pavement of any driveway entrance off of the right-of-way.	24 sq. ft.; shall not exceed 12 ft. in length	Six feet	All ground signs must meet the legibility and design requirements of section 6A.25
	Temporary cloth or canvas signs, pennants or banners	NA	NA	The total square footage allowed for a banner sign shall not exceed what is permitted for a wall sign	NA	May be displayed for a period of up to four weeks within the calendar year that the first permit was applied for; three permits may be issued per calendar year. Such signs must be attached to a building.
Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
agricultural (RA), rural residential (RR) and rural estate (RE) zoning districts	Pole-mounted, permanent, interchangeable, banners	One banner for every three light poles, but not less than 2 in any circumstance	On a light pole or dedicated pole on private property at least one foot away from all property lines or within the median island of a boulevard and shall not be located within 10 feet of a public road right-of-way.	10 square feet per banner	Each banner shall not exceed 2 feet in width or 5 feet in height	Shall be decorative in nature and shall contain no commercial message or content. Up to two banners may be located on any light pole or dedicated banner pole.
	Menu order and similar drive-through assistance signs	One for each drive-through lane	At the point of vocal communication with the main building	24 square feet	NA	NA
	Project announcement signs	One	Shall not be located closer than ten feet to any property line	24 square feet	Six feet	Permitted after the development has received site plan approval from the township board; this sign may remain until the first building permit is issued, at that time the sign must be removed
	Township governmental property sign	NA	NA	NA	NA	A changeable copy sign/reader board may be installed in addition to what is otherwise permissible within this section
	Automated teller machine	NA	Located on ATM Machine or ATM Machine cabinet	3 square feet; this area is inclusive of any graphics and lettering	NA	Graphics for the purpose of this definition are any colors or designs other than the principal color of the machine
	Multiple tenant signs	One for each developed site	In accordance with section 6A.22	In accordance with section 6A.22	In accordance with section 6A.22	Permitted only when approved as part of master sign plan and in accordance with section 6A.22 and meeting the requirements established for such signs therein

6A.16. Signs permitted in agricultural, rural residential and rural estate districts.

Zoning Districts	Sign Type	Number	Locations	Area Maximum	Height Maximum	Special Regulations
agricultural (RA), rural residential (RR) and rural estate (RE) zoning districts	Wall sign	One for each permitted agricultural or open space recreation use	Shall not extend above the roofline or gable line, nor shall it project more than 12 feet from the face of the building	Permitted wall sign area shall be calculated in accordance with section 6A.17	NA	NA
	Ground sign	One for each developed site where a conforming use exists	Must be setback a minimum of 10 feet from any property line	24 sq. feet	Six feet	NA
	Off-premises ground sign	One for each bona fide producer of agricultural products	Must be setback a minimum of 10 feet from any property line and 100 feet from any other ground sign	24 sq. feet	Six feet	The purpose of the off-premises advertisement signs is to permit the producer to make the public aware of produce for sale. The sign shall include the name of the producer, the type of produce available and directional information to assist the motoring public in locating the producer's agricultural area. Additional information may be indicated at the option of the producer. Such signs shall not advertise any products or services other than the availability of bona fide agricultural produce raised by the producer. Permits may be obtained for a maximum period of six consecutive months in any calendar year. Permit applicants shall present a letter indicating that permission has been received from the landowner of tax record to place the sign upon his property. In addition, a cash bond shall be posted to guarantee removal of such signs. The signs shall be removed within 48 hours of permit expiration.
	Project announcement signs	One	Shall not be located closer than ten feet to any property line	24 square feet	Six feet	Permitted after the development has received site plan approval from the township board; this sign may remain until the first building permit is issued, at that time the sign must be removed
	Golf course ground signs	One for each frontage on a public right-of-way, maximum of two; each right-of-way must have a minimum road right-of-way width of 86 feet	Not closer than ten feet to any road right-of-way	24 square feet	Six feet	NA

6A.17. Wall Sign Area Scale.

The maximum permitted wall sign area is based on a function of setback and the linear frontage of the longest side of the building facing a parking lot, private drive, or road. Permitted maximums are established by the following table.

Setback from right-of-way of structure to which wall sign will be affixed	Permitted sign area calculation
0 feet to 299.9 feet	The total square footage for a wall sign or awning sign or combination of both in this setback range shall be determined by multiplying one square foot by the linear frontage of the building or legally occupied tenant space, but shall not exceed 100 square feet per building or tenant space. Corner lots shall be provided 150 percent of the otherwise permitted total wall sign area.
300 feet to 599.9 feet	The total square footage for a wall sign or awning sign or combination of both in this setback range shall be determined by multiplying one square foot by the linear frontage of the building or legally occupied tenant space, but shall not exceed 200 square feet per building or tenant space. Corner lots shall be provided 150 percent of the otherwise permitted total wall sign area.
600 feet or greater	The total square footage for a wall sign or awning sign or combination of both in this setback range shall be determined by multiplying one square foot by the linear frontage of the building or legally occupied tenant space, but shall not exceed 300 square feet per building or tenant space. Corner lots shall be provided 150 percent of the otherwise permitted total wall sign area.

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# Local officials urge residents to use care when maintaining cars

In an effort to help protect the area's water resources, Canton is urging residents to practice good car care during the summer. When motor fluids and dirty water from washing cars enter storm drains and roadside ditches, it empties into nearby lakes and rivers causing pollution.

With over four million vehicles in southeast Michigan it's important to practice good car care. By following the following simple steps you can maintain a clean, well-running vehicle and protect our lakes and rivers from pollution:

■ **Make a date:** Car wash facilities treat their dirty water before discharging it to lakes and rivers. So, make a date to take your car to the car wash.

■ **Wash it on the grass:** If you wash your car at home, consider washing it on the lawn. Or, if you can't use the lawn, try to direct the dirty water towards the lawn and away from the storm drain.

■ **Minimize it:** Reduce the amount of soap you use, or wash your car with plain water.

■ **Take advantage of business expertise:** Consider taking your vehicle to the shop to have the oil and other fluids changed. These businesses have the ability to recycle the used materials and clean up accidental spills.

■ **Soak it up:** Use kitty litter

promptly to absorb small amounts of spilled vehicle fluids. Then sweep it into a bag and throw it in the trash.

■ **Do it under cover:** Perform vehicle maintenance in a well-ventilated but covered location. This minimizes rainfall from washing those inevitable spills and drips into our waterways.

■ **Recycle:** If you choose to change your oil and other fluids yourself, label the waste containers. Then, take them to your community's household hazardous waste collection day or to a business that accepts used oil. Never dump used oil, antifreeze or other fluids on the ground or down the storm drain.

As a reminder, Canton will hold its annual Hazardous Waste Round-up on Saturday, Sept. 9 from 9 a.m. to 2 p.m. at the Canton Public Works Building located at 4847 Sheldon Road.

For year-round disposal of oil and antifreeze, Canton Waste Recycling, located at 42020 Van Born Road, will accept it on scheduled Fridays from 10 a.m. to 4 p.m. and on scheduled Saturdays from 8-11 a.m.

For more information about keeping area waters clean can be found at [www.semcog.org](http://www.semcog.org) or in the information racks located inside Canton's Administration Building.

## Charter Township of Canton Notice of Public Accuracy Test

PLEASE TAKE NOTICE that the Clerk's Office will conduct a Public Accuracy Test of the Optical Scan tabulating equipment and the Auto Mark System to be used for the Primary Election on Tuesday, August 8, 2006. The test will take place on Wednesday August 2, 2006 at 10:00 a.m. in the Clerk's Office, Township Administration Building, 1150 South Canton Center Road. This test is open to all interested parties. For further information contact the Clerk's Office at 734-394-5120.

Terry G. Bennett, Clerk

Publish: July 27, 2006

OE0845545

## RIVER PARK HOME OWNERS ASSOCIATION REQUEST FOR BID

River Park Home Owner's Association in Canton is looking for a qualified electrician/landscaping company to do the following:

Replace & Beautify Electric Meter Mounting  
Replace Main Shut-off and Circuit Breaker for Light and Sprinkler  
Replace Light Bulb in Subdivision Light  
Pull necessary permits, as required by law and contact DTE as necessary.

Submit Bids to: River Park HOA  
PO Box 87171  
Canton, MI 48187

For details on the project, contact Sandra E. Commager at 734-397-9651.

Publish: July 23 and 27, 2006

OE0845797

## CHARTER TOWNSHIP OF CANTON ACCESS TO PUBLIC MEETINGS

The Charter Township of Canton will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting/hearing upon two weeks notice to the Charter Township of Canton. Individuals with disabilities requiring auxiliary aids or services should contact the Charter Township of Canton by writing or calling the following:

David Medley, ADA Coordinator  
Charter Township of Canton, 1150 S. Canton Center Road  
Canton, MI 48188  
(734) 394-5260

Publish: July 27, 2006

OE08458312

## CHARTER TOWNSHIP OF CANTON DOWNTOWN DEVELOPMENT AUTHORITY INVITATION TO BID

NOTICE IS HEREBY GIVEN that the Charter Township of Canton, 1150 Canton Center S., Canton, Michigan will accept sealed bids at the Office of the Clerk up to 3:00 p.m., Thursday, August 10, 2006 for the following:

### Nottingham Forest Entrance Improvements

Work includes, but is not necessarily limited to, miscellaneous demolition, site grading, masonry screen walls, vinyl fencing, irrigation, tree planting, perennial/ground cover plantings, and site restoration.

Bid documents are available to pick up beginning July 27, 2006 at Beckett & Raeder Inc. (BRI), 535 W. William, Suite 101, Ann Arbor, MI 48103. A nonrefundable fee of \$40.00 will be charged for the bid packet. A 5% bid bond will be required.

Bid Documents are on file for review at BRI, Canton Township Finance Department, Construction Association of Michigan, F. W. Dodge, and Daily Construction Reports.

The Township does not discriminate on the basis of race, color, national origin, sex, religion, age or disability in employment or the provision of services. The Township reserves the right to reject any or all bids, in whole or in part, and accept only the bid deemed to be in the best interest of the Township.

TERRY G. BENNETT,  
Clerk

Publish: July 27, 2006

OE08458319



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## CHARTER TOWNSHIP OF CANTON BOARD PROCEEDINGS - JULY 17, 2006

### ARTICLE III RESTRICTIONS ON SPECIFIC TYPES OF SIGNS

#### Sec. 102-61. 6A.18 Portable signs.

Nonprofit, religious, organizations and other similar community nonprofit organizations may utilize a portable sign for the purpose of advertising the time and place of worship services or other meetings open to the public. Such sign may not exceed six square feet in area or four feet in total height. The sign shall not exceed two feet in horizontal width. The sign must be located so as not to disrupt or create a safety hazard for pedestrian or vehicular movement. A sign permit is required. However, such portable sign will be permitted only if the nonprofit organization is not permitted other permanent ground signs on the subject property. The portable sign utilized by the nonprofit organization may not be placed closer than ten feet to any road right-of-way.

(Ord. No. 120(F), as amended, § 14, 11-12-2002)

#### Sec. 102-62. 6A.19 Gasoline service station signs.

Gasoline service stations may display the following special signs which are deemed customary and necessary to their respective businesses. None of the following signs shall have commercial messages or represent an add-on sign as defined by this Ordinance. Sign permits shall be required for such signs.

(1) 1. No more than two signs, each sign not exceeding six square feet in area, may be placed on a gasoline pump island for the purpose of displaying gasoline prices.

(2) 2. No more than two signs, each sign not exceeding six square feet in area, may be placed on a gasoline pump island for the purpose of designating "attendant served" or "self-serve."

(Ord. No. 120(F), as amended, § 15, 11-12-2002)

#### 6A.20 Theater signs.

A single wall sign not exceeding 12 square feet in area may be permitted in addition to other permitted wall signage for theaters to allow the changeable display of features (AS NOTE: "feature") shows, films, or other performances. The copy on the sign may not be changed more than once daily. Such signs shall require permits.

#### Sec. 102-63. 6A.21 Directional signs.

Signs not exceeding six square feet and four feet tall (AS NOTE: "in height" has been used in the rest of this Ordinance, not "tall") which contain only noncommercial messages including designation of restrooms, drive entrances and exits, telephone locations and directions to door openings are directional signs. Directional signs may contain the names of tenant commercial enterprises within the development site to assist in wayfinding, although a uniform font and no commercial logos or graphic identities may appear on the directional sign. Such signs shall require permits. In the event that a directional sign with tenant commercial enterprise names is proposed as part of a shopping center or other type of multiple tenant development, it must be approved as part of the master sign plan. Directional signs not having tenant commercial enterprise names may be permitted without a master sign plan.

(Ord. No. 120(F), as amended, § 16, 11-12-2002)

#### 6A.22 Master Sign Plans

For multiple-tenant non-residential development in the commercial and industrial districts, a master sign plan shall be submitted to the planning commission when alterations to existing non-conforming signage or new signage in conjunction with a site plan review application are proposed. Multiple tenant signs and directional signs with tenant commercial enterprises are allowed only when approved as part of a master sign plan. A master sign plan shall include all proposed signs or sign locations for the entire multiple-tenant non-residential development, including defined wall sign spaces for tenants (tenant sign space), a ground sign or multiple tenant sign, directional signs, etc.

1. Application: an application for master sign plan approval shall include:

- a. A master sign plan, drawn to scale showing the location and dimensions of all proposed signs;
- b. Technical descriptions and color illustrations of all signs indicating their materials, structural and electrical specifications, and any additional information necessary to satisfy the requirements of state and local construction codes; and
- c. Façade elevations in color with full dimensions of any structures upon which wall signs are proposed, indicating the intended general location of the proposed signs.

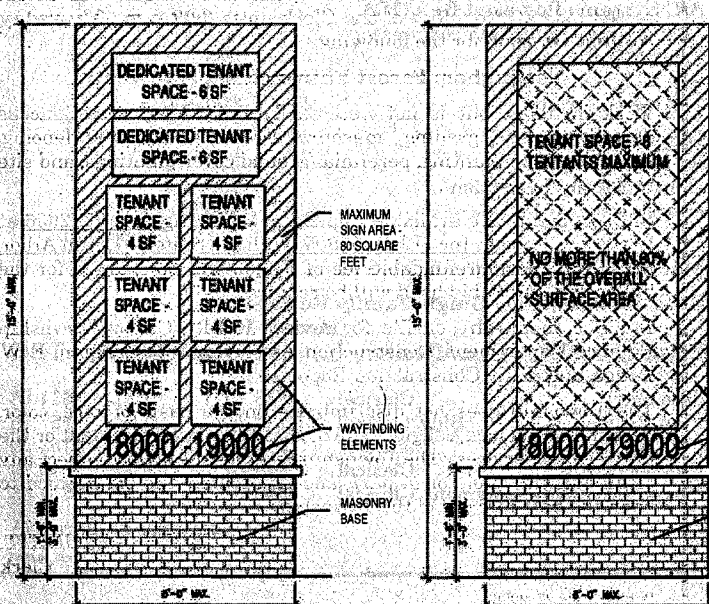
2. From the effective date of this Ordinance, no signs for any multiple-tenant non-residential development shall be erected or altered (not including the changing of tenant space signs) without an approved master sign plan. If the structure, dimensions, location, or number of any existing signs of an existing multiple-tenant non-residential development are altered, in any way, master sign plan approval shall be required. All new multiple-tenant non-residential developments shall require master sign plan approval.

3. A master sign plan shall be reviewed and approved by the planning commission. No permits for the construction of signs on any multiple-tenant non-residential development shall be issued until a master sign plan has been approved for the site in question, unless the permit involves only the changing of a tenant sign in a defined tenant sign space on ground sign or the changing of a wall sign to accommodate a new or former tenant.

4. Design requirements for sign types only permitted as part of a master sign plan

- a. Multiple tenant signs
  - 1) Multiple tenant sign standard: the planning commission shall adopt a multiple tenant sign standard, which shall be held on file with the building department and planning department
  - 2) Minimum acreage or floor area requirement: to qualify for a multiple tenant sign, the site must be at least 4 acres in area or the proposed building must have at least 40,000 square feet of gross leasable area.
  - 3) Number of multiple tenant signs: no more than one multiple tenant sign per site shall be allowed in any instance
  - 4) Other signs: should an owner elect to construct a multiple tenant sign on a site, the multiple tenant sign shall constitute the only permitted ground sign; no other ground signs shall be allowed in addition to a multiple tenant sign
  - 5) Maximum dimensions: a multiple tenant sign must not exceed 6 feet in width or 15 feet in height
  - 6) Legibility: all lettering on a multiple tenant sign must meet the legibility requirements of section 6A.25

Diagram 1



- 7) Wayfinding: a multiple tenant sign shall incorporate wayfinding elements as identified by the currently adopted Canton Township multiple tenant sign standard, which shall be established by the township board and on file with the building official and planning department; such wayfinding elements may include, but shall not necessarily be limited to, color coordination with a defined community branding or wayfinding district, address range of the tenants, or graphic elements of the corridor or district in which the sign is located
- 8) Design and construction: the design and construction specifications of multiple tenant signs must comply with the currently adopted Canton Township multiple tenant sign standard, which shall be established by the township board and on file with the building official and planning department

(See Diagram 1 Below)

#### MULTIPLE TENANT SIGNS

##### b. Directional signs having tenant commercial enterprises

- 1) Shopping center directional sign standard: the township board shall adopt a shopping center directional sign standard, which shall be held on file with the building department and planning department
- 2) Location: directional signs having tenant commercial enterprises may be located only at internal intersections with a multiple tenant site
- 3) Maximum dimensions and area: directional signs having tenant commercial enterprises shall not exceed 6 feet in area or 6 feet in height
- 4) Wayfinding: a directional sign having tenant commercial enterprises shall incorporate wayfinding elements as identified by the currently adopted Canton Township shopping center directional sign standard, which shall be established by the planning commission and on file with the building official and planning department; such wayfinding elements may include, but shall not necessarily be limited to, color coordination with a defined community branding or wayfinding district or graphic elements of the corridor or district in which the sign is located
- 5) Design and construction: the design and construction specifications of directional signs having tenant commercial enterprises must comply with the currently adopted Canton Township shopping center directional sign standard, which shall be established by the planning commission and on file with the building official and planning department

(See Diagram 2 Below)

#### DIRECTIONAL SIGNS

##### 6A.23 Sign Bonuses.

In certain unique circumstances, in addition to any signs permitted by this Ordinance, permits for the following special signs or sign bonuses may be approved in accordance with the provisions established below:

1. Rear façade identification signs: In instances where 3 or more frontages of a commercial structure in a commercial or industrial zoning district directly visible to a dedicated right-of-way, service drive, or circulation lane, a bonus wall sign to identify the rear façade of the structure may be permitted. To qualify for the rear façade identification sign bonus, the site must:
  - a. Be directly bordered on at least three sides by dedicated circulation routes intended primarily for consumer traffic; rear alleys and loading and unloading access drives do not qualify.
  - b. The drive aisles may not be located exclusively on the same site as the structure to which the bonus would be applied, though it may be shared between two or more separate and distinct sites.
  - c. The wall sign bonus must not exceed 10 square feet in area distributed over one or two wall signs.
  - d. If two signs are proposed, they must be located on separate façades.
  - e. To qualify for the rear façade identification sign bonus, no other wall signage may be present on the rear façades having the bonus signage.

The primary permitted wall signage must be located on the façade facing the major thoroughfare or other primary roadway serving the site, or for corner lots, the two frontage facing such thoroughfares or roadways.

g. Rear façade identification signs may not face a residentially zoned or used property.

2. Wall sign area bonus: In commercial districts only, in the event that a ground sign otherwise permitted by the Ordinance can not be located in compliance with the location requirements of the Ordinance due to existing natural or manmade features, proximity to an existing sign or otherwise, additional wall sign area may be awarded above the permitted maximum wall sign area as determined by section 6A.17. This bonus may only be applied when the applicant, in the course of seeking a sign permit, has satisfactorily demonstrated that the development of an otherwise permitted ground sign is not possible in compliance with other provisions of this Ordinance or if no location for the sign which allows the sign to serve its intended purpose due to existing natural or manmade features. The wall sign area bonus shall not be over 24 additional square feet beyond that permitted by section 6A.17.

#### 6A.24 Billboards.

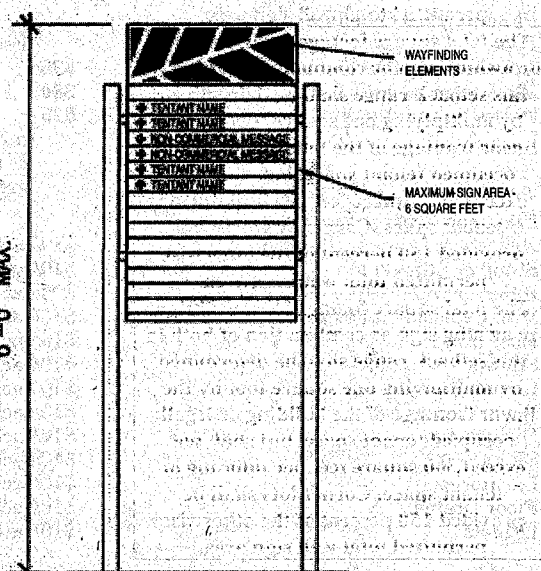
In the GI District, billboards may be permitted adjacent to limited access interstate freeways. Such signs shall be set back a minimum of 1,000 ft. from any right-of-way and shall not be erected closer than 2,000 feet to any other billboard. The structure of the sign shall be exclusively steel, and no wood or other combustible material shall be permitted. The sign shall not be illuminated between the hours of 11:00 p.m. and 7:00 a.m. No billboard shall be permitted on a parcel in conjunction with a ground sign. The maximum permitted area of a billboard shall be 160 square feet, and the sign shall not exceed 12 feet in height as measured from average grade at the base of the sign.

#### 6A.25 Legibility and Design.

All commercial wall and ground signage within the township must meet the legibility and design requirements of this section.

##### 1. Wall signs

Diagram 2



- a. Contrast: all lettering on wall signs shall be lighter than the background on which they are located. Free-floating channel letters or other applied letters shall significantly contrast the background to which they are applied.
- b. Construction type: wall signs may be of a free-floating channel letter or other applied letter either internally or externally illuminated. If a raceway is used, it must be painted or manufactured to match the color of the wall to which is mounted.
- c. Lettering: minimum required lettering sizes established as follows for wall signs shall apply to all lettering on any wall sign
  - 1) Sans serif fonts: "block" style or sans-serif lettering shall be at least 14 inches in size on any wall sign
  - 2) Serif fonts: "script" or other serif lettering shall be at least 17 inches in size on any wall sign

##### 2. Ground signs:

- a. Ground signs shall be integrated into landscape buffer design and shall be compatible with the design and materials used for the structures on the site.
- b. Ground signs shall be located on a masonry base; the masonry base shall have a min. height of 18 in. and shall not exceed a height of 36 in.; the masonry base, at a minimum, shall be equal to the length of the sign; masonry or other decorative features enclosing the sides or top of the face of the sign shall not extend beyond the maximum allowable width and height of the sign; in the downtown development authority (DDA), the height of the masonry base shall be equal to the finished height of the nearest garden wall.
- c. Contrast: all lettering on cabinet-style ground signs shall be lighter than the background on which they are located. Free-floating channel letters or other applied letters shall significantly contrast the background to which they are applied.
- d. Construction type: ground signs may be of a cabinet, internally-illuminated style; however:
  - 1) Only the lettering or trademarked logo shall be translucent.
  - 2) The background shall be of opaque material in a color darker than the lettering and logo.
- e. Lettering: minimum required lettering sizes established as follows for ground signs shall apply to all lettering on any ground sign.
  - 1) Sans serif fonts: "block" style or sans-serif lettering shall be at least 14 inches in size on any ground sign.
  - 2) Serif fonts: "script" or other serif lettering shall be at least 17 inches in size on any ground sign.
- f. Where corporate logos are proposed for use as a ground sign or as part of the overall ground sign, the logo shall not exceed 30 percent of the maximum permitted area.

(See Diagram 3 Below)

#### GROUND SIGNS

##### 6A.26 Permit Approval.

Sign permits shall be issued by the building department. Signs shall be identified and adequately described on any site plan submitted for review to the township. No signs permitted only when part of a master sign plan or any sign on a multiple-tenant site, no permit shall be issued unless a master sign plan has been approved by the planning commission independently or as part of a site plan approval. For all other signs, the building official shall review and issue permits for signs only when such signs are in compliance with this article, as determined by administrative approval granted by the planning department. During administrative review, the planning department shall have the authority to send any application to the planning commission for its review and approval prior to the issuance of the permit from the building official.

Planning department or commission approval of a sign permit application or master sign plan or a site plan having signage as part of the approved development shall not necessarily guarantee the issuance of a sign permit from the building official.

##### 6A.27 ZBA.

Any component of this article is subject to appeal by the zoning board of appeals in accordance with section 28.04.E (6).

##### 6A.28 Planning Commission.

The planning commission shall be responsible for the review and approval of master sign plans as stand-alone applications or as part of a concurrent site plan and/or special land use review for any multiple tenant site development or redevelopment. The planning commission shall also be responsible for ensuring that signage is identified and adequately described on any site plan, and that such signage meets with the requirements of this ordinance. Planning commission approval of a master sign plan or a site plan having signage as part of the approved development shall not necessarily guarantee the issuance of a sign permit from the building official. During administrative review, the planning department shall have the authority to send any application to the planning commission for its review and approval prior to the issuance of the permit from the building official.

##### 6A.29 Canton Township Historic District Commission.

The Historic District Commission shall have the authority to approve modifications to the requirements for the design of signs within the boundaries of the Canton Township Historic District in the interest of permitting historically appropriate signage that may or may not be in full compliance with the dimensional or structural requirements of herein. Such authority shall not allow the Historic District Commission to approve a sign that does not meet minimum requirements for safety. Approval of a sign by the Historic District Commission shall not necessarily guarantee the issuance of a sign permit from the building official. Administrative approval from the planning department is required for signs within the Canton Township Historic District in accordance with the procedures set forth in sections 6A.26 and 6A.28 above.

Several questions from the Planning Commission, DDA, ZBA and Board of Trustees were addressed. Supervisor Yack stated Mr. Mason and Mr. Branigan will work with staff to address these questions.

Jeff Goulet stated in section 6A.29 Canton Township Historic District Commission, the last sentence could be removed as the planning department approval is not needed.

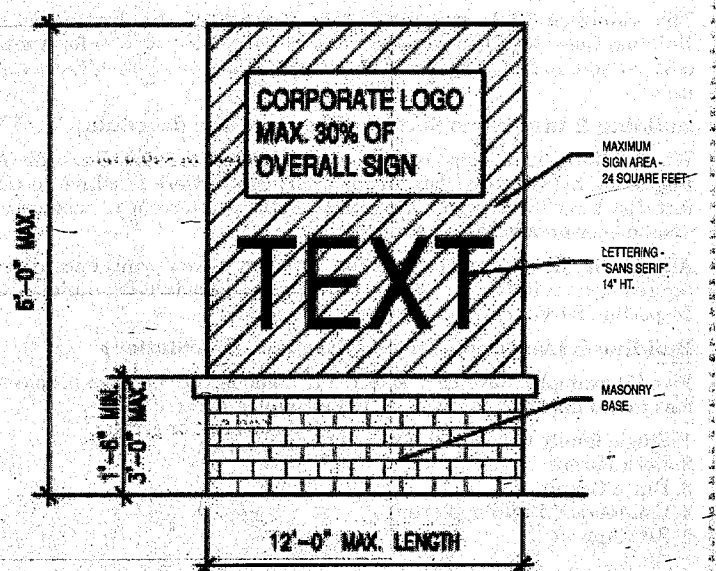
##### Adjourn

Motion by McLaughlin, supported by Kirchgatter at 10:30 p.m. to adjourn. Motion carried by all members present.

TERRY G. BENNETT

Publish: July 27, 2007

Diagram 3





## CHARTER TOWNSHIP OF CANTON BOARD PROCEEDINGS - JULY 18, 2006

A study meeting of the Board of Trustees of the Charter Township of Canton held Tuesday, July 18, 2006 at 1150 Canton Center S., Canton, Michigan. Supervisor Yack called the meeting to order at 7:00 pm and led the pledge of allegiance.

### Roll Call

Members Present: Kirchgatter, LaJoy, McLaughlin, Yack, Zarbo

Members Absent: Bennett, Caccamo

Staff Present: Director Faas, Director Santomauro, Deputy Chief Alex Wilson, Fire Chief Mike Rorabacher, Anna Stump, Jeff Goulet, John Weyer, Detective Sgt. Pomorski, Sean Heck, TJ Turowski

### Adoption of Agenda

Motion by McLaughlin, seconded by LaJoy to approve the agenda. Motion carried by all members present.

### STUDY SESSION TOPIC

#### Item 1. Municipal Services Department Fees Update

On January 17, 2006 staff presented a detailed financial recap of the 2005 Fiscal Year revenues and expenses for the Department to the Board of Trustees. An issue was raised at the meeting regarding the last time fees the Municipal Services Department (MSD) charges was updated. Based on our records search, it has been fourteen (14) years since a broad-based review of the fees in Building and Planning has been conducted. With this knowledge, we have spent the last six (6) months revisiting the fees MSD charges and the rationale behind those fees.

The materials are presented for discussion with the Board, pending a future motion in Regular Session to adopt a revised schedule of fees for the MSD.

This report provides the summary of the basis for the fee updates. A number of examples in each Division were chosen to demonstrate the impact of the proposed fees. This was not done for every fee, as this would be extremely laborious for staff. The same consistent approach was used across the Department to compute the appropriate, and reasonable fees for the services rendered by our staff.

In addition to the examples selected, some commentary was added on services that the Department now provides, and the associated fees, that it has not provided in the past.

Revenues in MSD are split by division. The Planning Services and Building & Inspection Services divisions are funded by revenues in the General Fund; whereas, the Public Works division has two sources of funding, namely General Fund and Water & Sewer Fund.

In the analysis of fees, we paid serious consideration to the historic Bolt case law in Michigan. The Bolt vs. City of Lansing (1998) case concluded that the following three criteria must be met in totality to differentiate between a user fee and a tax.

As such, any user fee must:

1. Serve a regulatory purpose, rather than to raise revenues.
2. Be proportionate to the necessary costs of the service provided.
3. Be voluntary for the user.

We have clearly satisfied the requirements of Bolt and we are comfortable recommending the proposed fees to the Board for adoption.

### Methodology

Earlier this year, the Board was presented with a new methodology for the computation of our water & sewer fees based on "true cost of service". A similar approach was used by staff in developing the methodology for the revised fees in the MSD General Fund Programs.

The staff working on this project adopted the following three (3) objectives in analyzing the cost of services provided:

1. Ensure Departmental consistency.
2. Fees must reflect the level of effort provided, and
3. Utilize a fixed plus variable cost approach where applicable.

In order to meet the first objective "Consistency", we employed the use of a labor multiplier to recover the overhead and administrative costs of providing services. This is the same approach used by Public Works Engineering in billing time to private developers for review and inspection of private development related projects which the Board adopted in 2005. We stopped short of going to a deposit based system, due to the increased level of accounting needed for the more than ten thousand permits processed by the Department each year. Staff resources are not sufficient to undertake a deposit based system.

The labor multiplier used by Public Works Engineering is 2.95, or put differently, the billable rate is roughly three times the actual hourly wage of any employee that performs direct work on a project. For example, the hourly wage of an entry level engineer is \$23.56. Unburdened, with the multiplier, the entry level engineer is \$69.50 per hour. This is the most widely used approach in municipal consulting engineering practices for establishing billable rates for services. This common approach was extended into Building & Inspection Services and Planning Services for the purpose of this report.

The second objective "Fees must reflect the level of effort" was achieved, through an exhaustive analysis of the individual tasks associated with performing the services. We provided typical examples in each division showing the detailed computation of work hours, hourly rates and multipliers for presentation to the Board.

Lastly, the third objective "Fixed plus variable cost" was utilized to help recover some of the fixed costs in each division that we incur regardless of the level of permit activity in any given year.

### Building & Inspection Services Fees

General Information: International Building Code 2003 - Building Valuation Data

Single Family Residential Building Permit Example

Deck Permit Example

Fence Permit Example

Commercial Building Permit Example

ZBA Appeal Example

### General Information

The Building & Inspection Services division of MSD handles a wide variety of tasks associated with both new construction, renovation and remodeling of both public and private facilities. Staff ensures that both Township standards and International Building Codes are met for any building construction project. In addition, the Building & Inspection Services division serves as the technical resource to the Township Zoning Board of Appeals (ZBA) and Building Board of Appeals public bodies.

The fees in the division are broken down by discipline, namely,

1. Building (permits, inspections, reviews, occupancies, signs, ZBA, etc.)
2. Electrical (permits, inspections, reviews, components, alarms, etc.)
3. Plumbing (permits, inspections, reviews, components, fixtures, etc.)
4. Mechanical (permits, inspections, reviews, components, fixtures, etc.)

Each discipline has a host of fees, including contractor registrations, and each discipline currently includes some minimum charges and cancellation costs. The detailed breakdown of each fee is common to most community building operations.

One of the major changes to the approach in Building & Inspection Services is to add a non-refundable "application fee" to all services to help recover some of the fixed costs of the operation of the division understanding those costs exist even if no permit activity occurs. Based on the ten thousand plus permits pulled per year in the division, the application fee will allow us to recover \$250,000 (i.e. 13%) of the direct expenses for the division each year.

### International Building Code 2003 - Building Valuation Data

The basis for many of the fees in Building & Inspection Services is the valuation of construction. That is, the unit fee is multiplied by the number of units (i.e. the value, square footage, circuits, amps, hp, inches, BTU, gallons, etc.) to derive the permit cost.

The valuation table currently used is part of the International Building Code 2003 that the staff follow. The table provides for a unit cost per square foot of building for a wide variety of building types and uses.

### Building & Inspection Services Proposed Fee Schedule

What follows is a copy of the proposed fees for the Building & Inspection Services division. In the analysis, we were sensitive to the fact that large increases in fees could become a deterrent to businesses and homeowners in taking out permits.

Any fee that is new and/or changed is shown in red print, unchanged figures remain in black print. In total the fee schedule for Building & Inspection Services is nine (9) pages in length.

### Building & Inspection Services Example Calculations

Five (5) examples have been selected to demonstrate how the proposed fees would impact the customer. The examples selected are:

1. Single family residential building permit
2. Deck Permit
3. Fence Permit
4. Commercial Building Permit
5. ZBA Appeal

### Building Fee Schedule

Type	Fee
Application fee (Non-Refundable)	\$25
Minimum permit fee	\$30
Permit cancellation	\$25 minimum or 25% of fee, whichever is greater

### Building Permit Fees - New construction, additions/alterations (including pools and marketing trailers)

• Valuations based on most current market estimated cost per square foot, or at determination of Building Official

First \$3,000 est. value	\$30
Each \$1,000 (or part of) over 3K	\$10

### Compliance Permits (minimum permit fee)

Flat work (concrete) and accessory structures under 200sq. ft.	\$30
First \$3000 est. value	\$30
Each \$1000 (or part of) over 3K	\$10

### Temporary concrete batch plant (\$5000 bond required)

Christmas tree sales lot (\$650 bond required)	\$35
Grading permit	\$65
Construction trailer (\$200 bond required)	\$65

### Signs (Fees are "per sign")

Permanent 10 sq. ft. or under	\$30
Permanent over 10 sq. ft.	\$65

### Temporary and/or rezoning signs (\$100 bond deposit for each sign)

Temporary/banners (Must be paid by check or money order when application is submitted)	\$30
Change of fate	\$30

### Other Permits

Mobile home installation	\$100
Fence	\$30
Satellite dishes	\$30
Demolition (each occurrence)	\$65

### Structure moving permit (does not include foundation permit)

Other Fees	\$160
ZBA appeal	\$200 (residential)
	\$350 (commercial)
	\$500 (special meeting)

### Temporary Certificate of Occupancy

Residential (Bond - \$800, grading, \$3.00 per sq. ft. concrete, \$350 per tree)	\$75
Commercial, industrial, office, multi-family	\$150

### Marketing/sales trailer (\$200 bond required)

Inspection Fees	\$75
Re-inspections	\$30
Overtime rates (2 hr. minimum)	\$55/hour

### Occupancy/reoccupancy (commercial)

Housing, inspection (building, electrical, plumbing, mechanical)	\$65
Building only	\$30
Carnival/Circus	\$65
Special Event	\$30

### Other Compliance Permits/Licenses

Mech. amusement devices (based on number of devices) see mech. amusement fee schedule	
Used car lot	\$100
Junk Yard	\$100
Self-serve gas station	\$100

### Registrations

Builder license	\$15
Maintenance/alteration contractor's license	\$15
Mobile home installer's license	\$15

### Plan Review

Commercial, Industrial, Multi:

The size of the building in square feet times 0.025 multiplier.

Plan review, commercial/industrial (interior finishes/renovations)

\$90/hr. minimum 1 hour (\$90 min. or at the determination of the Building Official)	
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### Plan Review

Residential

Plan review, single family residential (includes SFR additions, alterations and accessory buildings) \$3,000-\$10,000 estimated value

(5,001 + pool review only)	\$30
\$10,001 - 40,000	\$65
\$40,001 - 100,000	\$130
\$100,001 - 150,000	\$200
\$150,000 +	\$300

### ELECTRICAL FEE SCHEDULE

Type	Fee
Application Fee (Non-Refundable)	\$25
Minimum permit fee	\$30
Permit cancellation	\$25 minimum or 25% of fee, whichever is greater

### Wiring

Circuits	\$4/each
Fixtures (25 lamps/tubes or part of)	\$10

Equipment (includes but not limited to ranges, ovens, dryers, water heaters, dishwashers, furnaces, disposals, A/C, sump pumps, rooftop units, exhaust systems, above ground pools / hot tubs)

Inground Pools	\$10/each
Electric Service (new, changes, temporary, relocation)	\$27/line

100 AMP or less

101 - 200	\$25/each
201 - 400	\$30/each
401 plus	\$45/each
Interruptible service	\$60/each

Motors, Generators, Htg./Power Units:

Up to (and including) 20 HP or KVA	\$12/each
Over 20-30 HP or KVA	\$15/each
Over 30-50 HP or KVA	\$26/each

### Feeders/Mains/Bus ducts

Up to first 100 feet	\$26
Each additional 100 feet	\$4

### Portable Generator Transfer Switch (wiring)

100 AMP or less	\$30
Over 100 AMP	\$45

### Motion picture apparatus

Fire Alarm Systems	\$20/each
Housemaster panel	\$15/each
Alarm devices	\$4/each
Heat/smoke detectors	\$30
Re-inspection fee	\$30
Housing/safety inspection (residential)	\$30
Shop inspection (commercial)	\$80
Overtime inspections	\$55/hour (min 2hrs.)

### Registrations

Electrical Contractor	\$15
Sign Contractor	\$15
Fire Alarm Contractor	\$15

### Plumbing Fee Schedule

Type	Fee
Application Fee (Non-Refundable)	\$25
Minimum permit fee	\$30
Permit cancellation	\$25 minimum or 25% of fee, whichever is greater

### Fixtures (unit price)

New stack or stack alteration	\$10/each
Sump or interceptor	\$10/each
Pump or water lift	\$10/each
Water treatment device	\$10/each
Hose bibbs	\$10/each
Shower	\$10/each
Laundry tray	\$10/each
Water closet	\$10/each
Dishwasher	\$10/each
Sinks	\$10/each
Lavatories	\$10/each
Floor Drains	\$10/each
Urinals	\$10/each

Garbage disposal	\$10/each
Drinking fountain	\$10/each
Catch basin	\$10/each
Vacuum breaker	\$10/each
All other fixtures	\$10/each
Backflow preventer 1/2" to 2"	\$10/each
Backflow preventer more than 2"	\$15/each

### Sub-soil piping system

Special equipment (including but not limited to auto laundry machine, beverage vending machine, ice machine)	\$20/each
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### Backflow Preventer For Irrigation System

Residential	\$30/each
Commercial	\$50/each

### Water distribution (inside of building)

Two inches and smaller	\$30/each
Larger than two inches	\$50/each

### Water service (outside of building)

One to two inches (one-inch minimum)	\$30/each
Larger than two inches	\$50/each

### Sewers and Drains

Lines not exceeding 8"	\$40/each
Lines not exceeding 12"	\$55/each
Lines not exceeding 16"	\$80/each
Lines exceeding 16"	\$90/each

### Inspection fees

Re-inspection	\$30
Special inspection	\$30
Overtime rates	\$55/hour (minimum 2hrs.)

### Registration Fees

Plumbing Contractor	\$15
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### Heating & Refrigeration Fee Schedule

Type	Fee
Application Fee (Non-Refundable)	\$25
Minimum permit fee	\$30
Permit cancellation	\$25 minimum or 25% of fee, whichever is greater

### New/Replacement Installation Permit

Gas-fired equipment, under 400,000 BTU/hour

Room heaters/wall furnaces	\$20/each
Conversion burners	\$30/each
Furnaces, boilers, unit heaters	\$40/each
Make-up air units/air handler	\$25/each
Commercial/industrial water heaters	\$25/each
Commercial/industrial hot water unit heater (fan coil unit)	\$25/each
Residential water heaters	\$10/each
Swimming pool boilers/heaters	\$25/each
Infrared units	\$25/each

Gas-fired appliances (including but not limited to gas logs, gas lights, barbecue, range, over, dryer)

	\$25/each
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### New/Replacement Installation Permit

Gas-fired equipment, over 400,000 BTU/hour

Conversion burners	\$40/each
Furnaces, unit heaters	\$60/each
Make-up air units/air handlers	\$50/each
Swimming pool boilers/heaters	\$60/each

### New/Replacement Installation Permit

Fuel oil-fired equipment, under 5 gal./hour

Room heaters (stoves, portable heaters)	\$20/each
Conversion burners	\$30/each
Furnaces, boilers, unit heaters	\$30/each
Make-up air units/air handlers	\$30/each
Commercial/industrial water heaters/boilers	\$30/each
Swimming pool boilers/heaters	\$25/each

### New/Replacement Installation Permit

Fuel oil-fired equipment, over 5 gal./hour

Conversion burners	\$45/each
Furnaces, unit heaters	\$60/each
Make-up air units/air handlers	\$50/each

### Tanks or Drums

Note: Underground for residential only

Above-ground, not over 550 gallons (residential/commercial/industrial)	\$20/each
Underground (residential only)	
not over 550 gallons	\$25/each
All types 551-5,000 gallons	\$45/each
All types 5,001-20,000 gallons	\$50/each
All types 20,001-50,000 gallons	\$60/each
All types 50,001-200,000 gallons	\$70/each
All types 200,001+ gallons	\$80/each

### Electric Heat Installation Permit

Residential (furnace, or boiler for central system) (heat pump unit)

Commercial (unit heater, make-up air or strip heater)	\$30/each
	\$40/each

### Duct Work and Appurtenances

Residential duct system	\$40/each
Residential duct addition/alteration	\$25/each
Commercial duct system	\$50/each
Commercial duct addition/alteration	\$30/each
Fire dampers	\$10/each
Prefab metal chimney liner	\$10/each
Exhaust/ventilation system	\$25/each

### Gas Piping/Process Piping

Residential unit (baseboard/hydronic heating)

Commercial unit	\$20/each
Gas pressure test	\$30/each
	\$25/each

### Liquefied Petroleum (LP) Gas Systems & Storage

Per system, aggregate connected capacity

30 gallons or less	\$25
31-60 gallons	\$35
61-500 gallons	\$40
501-1,200 gallons	\$4



Continued from Page 24A

## CHARTER TOWNSHIP OF CANTON

### BOARD PROCEEDINGS - JULY 18, 2006

Rate Justification - Single Family Residential	Job	Hourly Rate	Hours	Total
Permit for SFR	Classification	(with overhead)		
Schedule Inspections (35 ave.)	Clerical	\$46.20	6.00	\$277.20
Inspections (35 ave.)	Inspector	\$84.60	17.50	\$1,480.50
Inspections Results	Inspector	\$84.60	6.00	\$507.60
				\$2,570.95

<b>Current Permit Fee for SFR</b> (using \$212,000 est. cost)	
Current permit fee	1,493.00
Current review fee	250.00
	\$1,743.00

<b>Proposed Permit Fee for SFR</b> (using \$212,000 est. cost)	
Application Fee	25.00
Permit Fee	2,120.00
Review Fee	800.00
	\$2,445.00

Rate Justification - Deck	Job	Hourly Rate	Hours	Total
Permit for Deck	Classification	(with overhead)		
Application Log In - data entry	Clerical	\$46.20	0.25	\$11.55
Plan Review	Inspector	\$84.60	0.25	\$21.15
Process permit	Clerical	\$46.20	0.25	\$11.55
Permit Issue/Make Payment	Clerical	\$46.20	0.25	\$11.55
Post Hole Inspection	Inspector	\$84.60	0.50	\$42.30
Final Inspection	Inspector	\$84.60	0.50	\$42.30
				\$140.40

<b>Current Permit Fee for Deck</b> (using \$5,000 est. cost)	
Current permit fee	44.00
Current review fee	20.00
	\$64.00

<b>Proposed Permit Fee for Deck</b> (using \$5,000 est. cost)	
Application Fee	25.00
Permit Fee	50.00
Review Fee	30.00
	\$105.00

Rate Justification - Fence	Job	Hourly Rate	Hours	Total
Permit for Fence	Classification	(with overhead)		
Application Log In - data entry	Clerical	\$46.20	0.25	\$11.55
Plan Review	Inspector	\$84.60	0.50	\$42.30
Process, Issue, Make Payment	Clerical	\$46.20	0.25	\$11.55
No field inspections				\$0.00
				\$65.40

<b>Current Permit Fee for Fence</b>	
Current permit fee	\$25.00
<b>Proposed Permit Fee for Fence</b>	
Permit Fee	30.00
	\$55.00

Rate Justification - ZBA Appeal	Job	Hourly Rate	Hours	Total
Est. Cost	Classification	(with overhead)		
ZBA appeal				
Application Log In - data entry	Clerical	\$46.20	0.25	\$11.55
Review application	Secretary	\$64.20	0.50	\$32.10
Review	Inspector	\$84.60	0.25	\$21.15
Review and analysis	Building Official	\$134.30	1.00	\$134.30
Analysis	Secretary	\$64.20	0.50	\$32.10
Prepare for Clerk's Office	Clerical	\$46.20	0.25	\$11.55
Clerk's Office Processing	Clerical	\$46.20	4.00	\$184.80
Attend Meeting	Building Official	\$134.30	0.50	\$67.15
Attend Meeting	Secretary	\$64.20	0.50	\$32.10
Minutes	Secretary	\$64.20	1.00	\$64.20
Distribution of Approved Minutes	Clerical	\$46.20	0.50	\$23.10
				\$614.10

<b>Current ZBA fee</b>	
Current ZBA fee	\$125.00
<b>Proposed ZBA fee</b>	
ZBA fee	\$200.00

Rate Justification - Commercial Building	Job	Hourly Rate	Hours	Total
Estimated Cost	Classification	(with overhead)		
Permit for Commercial				
Application Log In - data entry	Clerical	\$64.20	0.50	\$32.10
Plan Review	Inspectors	\$84.60	5.00	\$423.00
Plan Review	Building Official	\$134.30	1.00	\$134.30
Plan Review/Status Check	Clerical	\$64.20	2.00	\$128.40
Process permit	Clerical	\$64.20	1.00	\$64.20
Permit Issue/Make Payment	Clerical	\$64.20	1.00	\$64.20
Verify Payment & Pre-con Mtg	Building Official	\$134.30	1.00	\$134.30
Schedule Inspections (60 ave.)	Clerical	\$46.20	10.00	\$462.00
Schedule Re-inspections (6 ave.)	Clerical	\$64.20	1.50	\$96.30
Issue TCO/COO	Clerical	\$64.20	1.00	\$64.20
Inspections (66 ave.)	Inspector	\$84.60	38.00	\$2,791.80
Inspection Results	Inspector	\$84.60	8.00	\$676.80
				\$5,071.60

<b>Current Permit Fee for Commercial Building</b> (using \$436,000 est. cost)	
Current permit fee	3,061.00
Current review fee	157.60
	\$3,218.60

<b>Proposed Permit Fee for Commercial Building</b> (using \$436,000 est. cost)	
Application Fee	25.00
Permit Fee	4,360.00
Review Fee	90.75
	\$4,475.75

<b>Planning Services Fees</b>	
General Information	
Land Records	
GIS Mapping	
Major PDD Agreement Review Example	
Subdivision Site Plan Review Example	
Rezoning Request Example	

**Planning Services Fees**  
**General Information**  
The Planning Services division of MSD handles a variety of tasks associated with long-range planning of residential, commercial and industrial projects. Staff ensures that Township standards are met for any new development or existing redevelopment project. Also, the Planning staff provides corporate-wide Geographic Information System (GIS) services as well as land and property records management, a new service added in 2006. In addition, the Planning Services division serves as the technical resource to both the Township Planning Commission and Zoning Board of Appeals (ZBA) public bodies.

The fees in the division are broken down by type of application. A portion of the cost of operations in Planning Services is a General Fund burden; that is, there is no direct revenue recovery. About half of the cost of providing the GIS services is recovered from the Water & Sewer Fund as the work is wholly attributable to asset management for the municipal utilities.

The detailed breakdown of each fee is common to most community planning operations. A copy of the existing fee schedule can be found in Appendix A as well as being depicted on the proposed fee schedule that follows.

**Land Records**  
One of the major changes in Planning Services was the transfer of responsibility from Wayne County Assessing to our staff for land and property records management in late 2005. The County no longer provides this service to the Township. A fee schedule was developed to reflect the effort associated with the processing of final subdivision plats, re-plats, condominium plans, master deeds, lot splits & combinations as well as municipal addressing.

**GIS Mapping**  
A number of years ago, a Data Dissemination Policy and fee schedule was developed for the data customers periodically request from our GIS database.

We took the opportunity to update that policy and the charges for the

data as part of this comprehensive fee update. These documents are enclosed immediately after the example calculations.

**Planning Services Proposed Fee Schedule**  
What follows is a copy of the proposed fees for the Planning Services division. In the analysis, you will note some substantial increases in the fees which reflect the staff effort needed in each case. The Board may choose to adopt a fee schedule that has lesser fee increases and subsidize a greater portion of the Planning Services Division from the general fund.

The fee schedule depicts the existing/current fees, set in 1994, on the left and the proposed fees on the right. Note that the current fees generate enough revenue to only recover roughly 30% of the division expenses. The proposed fees would recover about 90% of the actual cost of the services offered by comparison.

The analysis of the planning functions are more subjective and varied due to the nature of the conceptual work products provided by developers; that is, some simply take much more time than others to review and approve. The analysis included represents an average condition.

In total the fee schedule for Planning Services is one (1) page in length.

Type of Application	Fee
Certificate of Compliance	\$75.00
Zoning Confirmation	\$75.00
Tree Removal	\$100 + \$50/acre
Landscape Inspection/Re-inspection	\$150.00 + \$50/acre (for overall common area inspection)
Address Request Application	\$150.00 + \$10/address
Future Land Use Amendment	\$2,500.00
Zoning Amendment Application	N/A
Zoning Amendment Application	\$1,500.00
Zoning Text Amendment	\$1,800.00
Conditional Zoning Amendment	\$2,500 + recording fees
Zoning Board of Appeals	\$200.00
Zoning Board of Appeals	\$350.00
Zoning Board of Appeals Special Mtg	\$500.00
Special Land Use	\$300.00
	\$1,500.00 + \$30/acre
Preliminary PDD (Major)	\$4,000.00 + \$150/acre
Final PDD (Major)	\$2,500.00 + \$100/acre
Minor PDD	\$2,500.00 + \$100/acre
PDD Amendment	\$2,500.00
Subdivision Tent Preliminary Plat	\$3,000.00 + \$30/lot
Subdivision Final Preliminary Plat	\$1,500.00 + \$15/lot
Subdivision Final Plat	\$1,500.00 + \$75/lot (land record fee)
Dev. Instigated Rev. Approved Plat	\$1,500.00 + \$15/lot (land record fee)
Replat	\$75.00/lot (land record fee)
Site Plan Commercial/Industrial: New Construction	\$3,000.00 + \$150/acre or part of
Addition to existing Structure	\$1,500.00 + \$150/acre or part of
Developer Instigated Revisions	\$1,500.00 + \$150/acre or part of
Marketing Sales Trailer	\$1,500.00 + \$150/acre or part of
Commercial Master Sign Plan	\$300.00 + \$10/per tenant space
Multiple Residential & Mobile Home New Construction	\$3,000.00 + \$30/unit
Addition to Existing Structure	\$1,500.00 + \$30/unit
Developer Instigated Revision	\$1,500.00 + \$30/unit
Site/Detached Condos Prelim Plan	\$3,000.00 + \$30/unit
Site/Detached Condos Final Plan	\$1,500.00 + \$75/unit (land record fee)
Replat/Change to Master Deed	\$75.00/unit (land record fee)
Property Split/Combination	\$1,200.00
Private Road Site Plan (includes lot split fee)	\$2,500.00 + \$75/unit (land record fee)
Land Record Change	\$75.00/lot or unit (land record fee)
Variance Subdivision Control Ord.	\$600.00
Variance Condominium Ordinance	\$600.00

**Planning Services Example Calculations**  
We selected three (3) examples to demonstrate how the proposed fees would impact the customer. The examples selected are:

1. Rezoning Request Example
2. Subdivision Site Plan Review Example
3. Major PDD Agreement Example

FEE SCHEDULE ANALYSIS			
REZONING REVIEW			
	Hourly Rate w/ multiplier	Hours	Costs
Clerk	54.45	4	217.80
Secretary	64.20	4	256.80
Community Planner	130.00	4	\$520.00
Dept. Director	160.00	1	160.00
Total Personnel Costs			1,154.60
Advertising Notification			400.00
TOTAL			\$1,554.60
Current Rezoning Fee:	\$ 600 - \$800		
Proposed Rezoning Fee:	\$1500.00		

SITE PLAN SUBDIVISION REVIEW			
	Hourly Rate w/ multiplier	Hours	Costs
Clerk	54.45	10	544.50
Secretary	64.20	3	192.60
Planner	90.00	6	540.00
Community Planner	130.00	4	520.00
Engineer I	90.00	4	360.00
Fire Inspector	72.00	2	144.00
Bldg Official	134.00	1	134.00
Dept. Director	160.00	1	160.00
Total Personnel Costs			2,755.10
Advertising Notification			400.00
TOTAL			\$3,155.10
Current Site Plan Review Fee:	\$1000.00 + \$50/acre		
Current Subdivision Review Fee:	\$100.00 + \$10/lot		
Proposed Site Plan Review Fee:	\$3000.00 + \$150/acre		
Proposed Subdivision Review Fee:	\$3000.00 + \$30/lot		

Note: Acreage/per unit fees cover pre-application meetings, planning commission coordination and general project coordination and oversight. This is a function of size, complexity and length of project.

FEE SCHEDULE ANALYSIS			
PLANNED DEVELOPMENT REVIEW (MAJOR)			
	Hourly Rate w/ multiplier	Hours	Costs
Clerk	54.45	20	1089.00
Secretary	64.20	10	642.00
Community Planner	130.00	20	2600.00
Planner	90.00	10	900.00
Engineer I	90.00	4	360.00
Fire Inspector	72.00	2	144.00
Bldg Official	134.00	2	268.00
Dept. Director	160.00	5	800.00
Total Personnel Costs			6803.00
Advertising Notification			400.00
TOTAL			\$7,403.00
Current PDD Review Fee:	\$1500.00 + \$20/lot		
Proposed PDD Review Fee:	\$4000.00 + \$150/acre		

Note: Acreage fees cover part of the review fee (25 acres) plus pre-applications/meetings, planning commission and general coordination and oversight. This is a function of size, complexity and length of project.

CANTON TOWNSHIP GIS DATA Product and Services Fee Schedule			
	Hourly Rate w/ multiplier	Hours	Costs
Clerk	54.45	20	1089.00
Secretary	64.20	10	642.00
Community Planner	130.00	20	2600.00
Planner	90.00	10	900.00
Engineer I	90.00	4	360.00
Fire Inspector	72.00	2	144.00
Bldg Official	134.00	2	268.00
Dept. Director	160.00	5	800.00
Total Personnel Costs			6803.00
Advertising Notification			400.00
TOTAL			\$7,403.00
Current PDD Review Fee:	\$1500.00 + \$20/lot		
Proposed PDD Review Fee:	\$4000.00 + \$150/acre		

Requested by: \_\_\_\_\_  
Company Name: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_  
Sections(s) or Quarter Section(s) needed: \_\_\_\_\_

**A. Select data layer(s) and format - \$10 per data layer/per section**  
Data layer \_\_\_\_\_ Plot \_\_\_\_\_ ESRI Shapefile \_\_\_\_\_

Aerial (to be used with additional GIS layers)  
Parcel lines  
Street Centerlines (inc. street names)  
Sanitary Pipes and Structures  
Storm Pipes and Structures  
Water Pipes and Structures  
Zoning  
Master plan  
\*\* Single section plots can be purchased at the Planning Services counter. See Section D.

**B. Digital Aerial Photos - \$125 per section or quarter section**  
Section = 1' pixel (105MB), 1/4 section = 6" pixel (135MB)  
Section and 1/4 section files are .tiff file format.  
Section \_\_\_\_\_  
1/4 Section \_\_\_\_\_

**C. Media**  
ESRI files can be emailed. Please notify us of the size limit for your incoming email.  
Aerial photos can only be delivered by CD.  
Choose paper size for plots - size may need to be changed based on scale of map.

A. 8 1/2 X 11 (\$3 each plot)  
B. 11 X 17 (\$4 each plot)  
C. 17 X 22 (\$5 each plot)  
D. 22 X 34 (\$6 each plot)  
E. 34 X 44 (\$9 each plot)

**D. Township Maps - \*\*\*Available at the Planning Services Counter for \$10 each.**  
Section Aerial Plots  
Zoning Map  
New & Proposed Residential Developments  
\*\*\* PDF files of the Zoning and New & Proposed Maps can be sent via email. (same cost)

This portion to be completed by Canton Planning Services GIS Staff.  
Fees:

A. Data layers  
B. Digital aerial photos  
C. Media  
D. Township maps

Staff Rates:  
Senior Planner \$54/hr  
Planner \$44/hr  
GIS Specialist \$44/hr  
Mailing fee:  
Actual cost

**TOTAL COST:**  
Notes:

Note: Data requests will be reviewed by Canton Township Planning Services. Upon review you will be contacted and given the actual cost. We will begin working on the request once it is returned with full payment in the form of cash or check as stated in the Data Dissemination Policy.

Fees are subject to periodic change.

**Disclaimer:** All information is received "AS IS". Canton Township, its officers, officials, employees, agents, volunteers, contractors or its public bodies, make no warranties of any kind, including but not limited to warranties of accuracy, fitness for a particular purpose, or of a recipient's right of use.

**Public Works Fees**  
General Information  
Grave Site Excavation  
Stormwater & Street Sweeping  
Private Development Review & Inspection Fees

**Canton Township Geographic Data Dissemination Policy**  
The following steps are now being followed for all GIS data requests. The attached request form lists all data layers available at this time. Data can be purchased as digital files or custom maps.

We also have a few items that can be purchased at the Planning Division counter at any time. They include: section aerial plots, Zoning map and New & Proposed Residential Development map, all are \$10 each.

1. Please fill out the attached request form for the GIS data needed.
2. The request must be mailed, faxed, or dropped off to the Canton Township Planning division so that a fee can be generated.
3. Canton staff will evaluate the request and determine the fee. The requestor will be contacted regarding questions and final fee notification.
4. After fee notification the requestor MUST mail or drop off the actual request form and cash or check in the correct amount for the data to the Canton Township Planning Division. We do not accept credit cards. No requests will be processed without full payment included.
5. Upon receipt of the Data Request Form and payment, the request will be logged in by the Planning Division GIS staff and will be queued for processing. Requests will be fulfilled in the order they are logged.
6. Data requests will take 3-5 days for completion unless notified otherwise.

Once the data has been copied to the deliverable media, the requestor will be notified that their order request has been processed and that their data is available for pick-up or delivery via mail or email.

Thank you,  
Canton Township Planning Services GIS staff

**Public Works Fees**  
**General Information**  
The Public Works division of MSD handles a wide variety of tasks associated with various public and private infrastructure projects in the community. Staff ensures that Township standards are met for any new construction and/or rehabilitation of roads, water, sewer and stormwater utilities. In addition, the Public Works division serves as a key technical resource to the organization as a whole.

The fees in the division are broken down by type of application. A portion of the cost of operations in Public Works-Engineering is borne by the General Fund, that is, there is no direct revenue recovery. About 80% of the cost of the Engineering Section is attributable to private development plan review & inspection service which is recovered from the private developers directly. The balance of the division expenses are recovered from the Water & Sewer Fund as the work is directly attributable to asset management for the municipal utilities.

**Miscellaneous Fees**  
Attached is a memo listing the current fees and bonds for miscellaneous reviews and utility repairs as well as hydrant use charges, copies and utility map reproduction. Also attached is the standard cash bonds to be posted for incomplete (i.e. punch list items on projects).

**Burial Services**  
Staff at the DPW have performed burial services at Canton-owned cemeteries for many years. The latest fee schedule is attached for information.

**Stormwater & Street Sweeping**  
In 2005, the Stormwater Section of the DPW changed the method of billing for street sweeping construction debris from private developments. The old methodology involved a flat fee of \$300 per lot regardless of the length of roadway in the development. The new methodology bases the fee on the cost per mile (\$575/mile) swept including changing failed catch basin fabrics and detention pond cleaning.

**Private Development Plan Review & Inspections**  
In 2005, the Engineering Section of Public Works brought all private development plan review and most inspection on-house. The attached memo explains the review and inspection deposit policy currently employed. Any excess money on deposit is returned to the developer upon completion of the project. The detailed breakdown of each fee is common to most community public works operations.

**Public Works Proposed Fee Schedule**  
What follows is a copy of the proposed fees for the Public Works division. No changes are proposed to the current fees at this time. No example calculations were done.

In total the fee schedule for Public Works is four (4) pages in length.

Canton Township  
**MEMORANDUM**  
Public Works  
(734)397-1011

Date: August 1, 2004  
To: Tom Casari - Engineering Div.  
From: Joe Teramino  
Subject: BURIAL PRICE INCREASES

Continued on Page 26A



# Science Alive animals educate kids

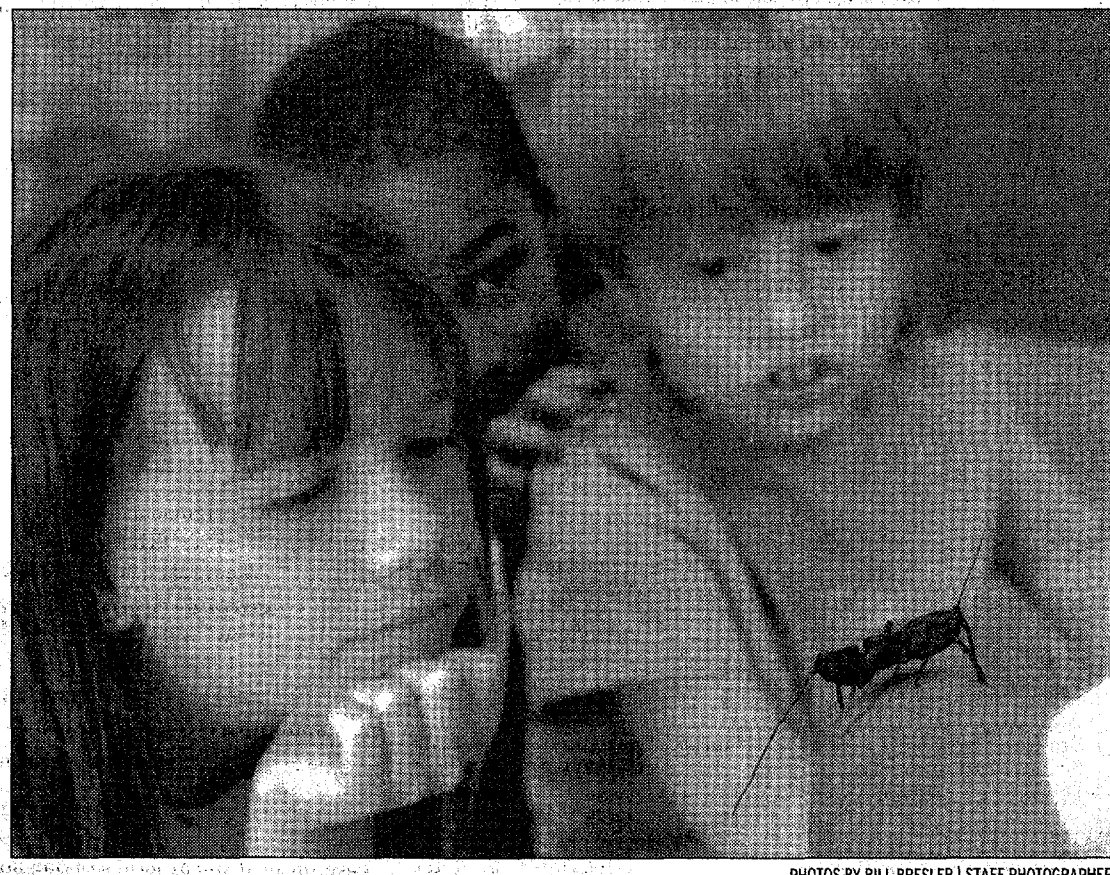
BY STEPHANIE ANGELYN CASOLA  
STAFF WRITER

It isn't everyday that a porcupine waddles around the Redford Community Center. But that was the case Tuesday morning when Terri J. Neil of Science Alive brought in Hokey Pokey the porcupine and a half dozen unusual visitors to entertain and educate an audience of wide-eyed children.

The Waterford-based company offers hands-on educational opportunities. Program coordinators Terri and Bill Neill visit area schools and offer summer programs, giving children a chance to learn about animals, insects and more. They talk about the identifying factors associated with reptiles, amphibians, mammals, insects and arachnids. Children learn about the different origins, habitats, defenses and foods that are associated with each visitor.

"When you are studying animals, you're a biologist," Neill told the group. "A biologist studies life. I'm going to introduce you to a number of my friends. You can feel them, hold them and get wrapped up in them."

Neill bottle-raised most of the animals she introduced to the children Tuesday. "I'm kind of their mom," she told the eager crowd. Science Alive educational programs have been offered in Redford



Caitlin and Tyler Powers, and a somewhat cautious Jason Clay, examine a whip-tailed scorpion during a Science Alive presentation Tuesday.

Township for more than 10 years.

Chapman the chinchilla was the first of her animals to greet the crowd. Children reached out to pet Chapman's soft, gray fur. Coming from the mountains of South America, he was quite different from the next visitor, a chatty parrot named Patch who perched upon arms

like they were tree branches. And Pickle, an African pixie frog, was in the midst of shedding its skin when he met the crowd. The visitor that encouraged the most cringing in the group, however, was a whip-tailed scorpion.

Hokey Pokey, a porcupine with a penchant for dancing, entertained until the grand

finale. The end of the hour-long presentation featured Polly, an 11-foot Burmese python weighing in at 55 pounds. Brave young souls got a snakeskin hug from her, as she flashed her tongue out intermittently.

"She feels like a basketball," one child exclaimed, touching her scaly skin.



Kelly Cole isn't interested in touching Pickle, an African pixie frog.

Four-year-old Elena Topic didn't flinch as Neill placed part of the snake across her shoulders. She was eager to see each surprise Neill introduced.

Elena's mother, Maria Topic of Redford, said she brought Elena to see "how patient she could be" in a school-like setting.

"She enjoyed it," Topic said. "We have dogs and fish. She's not afraid." The snake and chinchilla were her favorite.

Neill said she hopes the pro-

grams give students an appreciation for animals – both the familiar and those that were new to them. Science Alive owns and cares for about 50 different living things, a large selection to choose from when coordinating shows like those held earlier in the week in Redford Township.

For more information about Science Alive programs and presentations, call (248) 738-8000.

scasola@hometownlife.com | (734) 953-2054



Continued from Page 25A

CHARTER TOWNSHIP OF CANTON

BOARD PROCEEDINGS - JULY 18, 2006

The following are the current costs for opening and closing grave sites:

Weekdays from 7:30am - 4:00pm	\$225.00
After 4:00pm	\$275.00
Saturdays	\$275.00
Sundays and Holidays	\$325.00

These rates were last increased in November of 1989. To offset the wage cost of the employees performing these duties, I would like to increase the dollar amount as follows:

Weekdays from 7:30am - 4:00pm	\$325.00
After 4:00pm	\$400.00
Saturdays	\$500.00
Sundays and Holidays	\$600.00

There is no charge for cremation burials. If you require any further information, please call me.

INTER-OFFICE CORRESPONDENCE

Municipal Services Department

Public Works Division

ENGINEERING SERVICES - FEES & BONDS SCHEDULE

Engineering Plan Review Deposit

Deposit is calculated as 2% of the engineer's estimate for the project's utility and paving construction costs. Township review costs are deducted from the deposit and any remaining funds are returned.

Construction Management Deposit

The deposit is the estimated amount of expenses for the township's involvement in the project management and inspection of site improvements. The deposit amount is calculated by the township's project engineer based on the estimated days for construction and the amount of work involved. Township expenses are deducted from the deposit and any remaining funds are returned.

Punch List Bond

See attached Punch List Fee Schedule

Irrigation Fees & Bonds (separate irrigation meters are not allowed for commercial projects or individual residential property owners - refer to the water and sewer ordinance Chapter 74 of the Municipal Codes for applicable projects)

Irrigation Plan Review (Non-refundable)	\$ 200.00
Irrigation Bond for a 1" Tap (Refundable)	1,000.00
Irrigation Bond for a 2" Tap (Refundable)	3,000.00
Traffic Control Plan Review (New projects) (Non-refundable)	200.00
Re-inspection Fee for Residential Lots (Non-refundable)	30.00
Open Sewer Lead Repair (Non-refundable)	300.00
1" Template Replacement	50.00
2" Template Replacement	150.00
Stop Box Replacement contractor installed	35.00
Stop Box Replacement - Township Installed	250.00
Stop Box Cap	5.00
Stop Box Sleeve	9.00
Stop Box Flange	20.00

Hydrant Use (Hydrant Use is restricted only to batch plants, or public utility projects, as approved by the township engineer. A permit must be obtained from Engineering Services prior to any hydrant use.)

Hydrant Rental Deposit (Refundable)	\$ 1,000.00
Hydrant Rental Fee (Non-refundable)	10.00

Hydrant Water Use (charged at the current water and sewer rates)

Water and Sewer Permit Fees - see Chapter 74 - Ordinance

Plan Copies - \$3.00 per page (36" x 36")

Utility Maps - \$3.00 each map

Canton Township Department of Public Works

PUNCH LIST-CASH BOND STANDARD AMOUNTS

The following is a price list for incomplete punch list items:

Hydrants	\$ 5,000 (Hit, damaged or needs moving)
Hydrant valve box	\$ 500
Manholes	\$ 1,000 (Hit, cleaning or needs adjustment)
Point Structures	\$ 500 (Per structure)
Add Corporation	\$ 500 (Each)
Pond Stabilization	\$10,000 (Per Township standards)
Debris, landscaping, stockpiles	\$ 5,000
Easement review	\$ 5,000
Soil Erosion Control	\$ 100 (Per Structure)
Other agreements	\$ 5,000
Drain/River cleaning	\$ 7,500
Animal guard and Rip Rap	\$ 500 (Per end section)
Stand pipes/Overflow manhole	\$ 1,000 (Per structure)
Pump Station	\$10,000
Clean outs	\$ 500 (Each)
Offsite issue	\$ 5,000
System cleaning	\$10,000 (Large); \$5,000 (Small)
Miscellaneous Grading	\$ 2,000
Culverts	\$ 500 (Each)
As-built	\$ 5,000

\*Other outstanding items are discretionary and should be estimated by the field engineer on a project-by-project basis.

Item 2: Ordinance Enforcement Transition to Public Safety Review of Transition

Benefits to the Organization

Training

Duties

Cost Analysis

Operational benefits

Consolidates resources in dealing with public safety issues

Community wide benefits

Quality of life

Broken window theory

Functionality

Synergy of disciplines

Ordinance Support to Public Safety

Animals

Improper feeding

Odor

Fire

Open burning

Blocked fire connections

Garbage

Composting

Debris

Location

Odor

Pick up times

Home Occupation

Operating a business out of home

Light/Clare (During business hours)

Adjacent residences or businesses that exceed maximum candle power

Noise

Residential/industrial/commercial

Operation of equipment that exceeds noise level

Nuisance

Conditions that create nuisance

Conditions that harbor vermin, cause odors, create blight

Open Burning

Property Standards

Blight

Deteriorated structures

Firewood

Graffiti

Inoperable or unlicensed vehicles on private property

Junk & debris

Maintenance of dumpsters

Off street parking locations

Waste materials

Recreational and Commercial Vehicles

Commercial vehicles parked in driveways

Locations & duration of parked campers, vehicles, trailers, etc.

Semi trucks on private property

Commercial

Health & Safety

Snow Removal

Signs

Questions & complaints regarding confiscated signs located in the right of way

Political signs

Training Program

Introduction to organizational culture of PSD

Policies & procedures

Rules & regulations

Community policing

Complaint routing information

Day ride with police officer

Day ride fire inspector

Three day orientation program

Orientation Program

Three day training with FTO covering:

Radio communications

Issuing citations

Report writing

Forms & file classifications

Processing of property

Courts

Animal complaints

Preparation for ordinance patrol

Ordinance Equipment

Uniforms

Same as PSSO w/ Ordinance Inspector rocker

Vehicles

(4) cars from MSD

Marked for PSD

Radios

Car radio reprogrammed to match PSD

Prep radios provided by PSD

Cubicles

4 cubicles available in Staff Operations

Computers

Tablets from MSD (3)

Monitors provided by PSD (3)

Computer & monitor provided by PSD (1)

Phones

New Ordinance Dept # 394 5335

Ordinance Officers keep current extension #

Miscellaneous

Starter kit of maps, grid books, file class cards

Locker assignment and combination lock

Department policy and procedure manual

Ordinance book

Cost Incurred

(4) Salaries \$206,004

(4) Fringe Benefits \$82,400

(4) Vehicle Design \$2,196

(4) Uniforms \$2,400

Phone lines \$300

TOTAL: \$293,300

Concept of Operation

Proactive vs. reactive Proactive vs. reactive

Proactive public education Proactive public education

Department policy on Department policy on compliance/enforcement

Property standards in residential & Property standards in residential & commercial

Signage in right Signage in right-of-way way

Political, advisory, misc.

Item 3: Public Safety - Community Survey

Survey Numbers

3,854 surveys sent out equally to 4 community policing areas

1,052 surveys returned

27% response

5% response is benchmark goal

Gender of Survey Responders

52% Female

48% Male

Age of Survey Responders

Over 69 - 12%

60-69 - 15%

50-59 - 25%

40-49 - 23%

30-39 - 21%

21-29 - 4%

Education of Responders

PHD - 9%

High School Diploma - 16%

Some College - 21%

Associate's Degree - 9%

Bachelor's Degree - 31%

Masters - 20%

Responders years in Canton Township

0-1 years - 4%

1-2 years - 9%

3-5 years - 17%

6-10 years - 22%

11-20 years - 21%

over 20 years - 27%

Police Services

Have you used the services of the Canton Police?

54% Yes

45% No

If yes, how would you rate the service?

88% exceptional or good

11% fair or poor

If you rated fair or poor indicate reason:

24 said response time took too long

40 said poor attitude of officers

6 said poor attitude of call taker

15 said other

How would you rate the image of Canton Police Department?

919 said excellent or good 92%

75 fair or poor 8%

Do you feel safe in Canton?

98.5 % said yes

1.5 % said no

What areas should police concentrate their resources. Rated in order of importance.

1. Criminal Activity

2. Crime prevention

3. Traffic enforcement

Have you ever used Fire Services?

28% Yes

71% No

If yes, how would you rate the service?

99% excellent or good

1% fair or poor

If you rated fair or poor indicate reason:

6 said response time took too long

1 said poor attitude of firefighter

2 said other

Was the incident handled satisfactorily?

98% said yes

2% said no

How would you rate the image of the Canton Fire Department?

941 said excellent or good (98.5%)

Director Santomauro stated CALEA requires this survey will be distributed and data collected every three (3) years.

Adjourn

Motion by McLaughlin, supported by Kirchgatter to adjourn at 8:51 p.m. Motion carried by all members present.

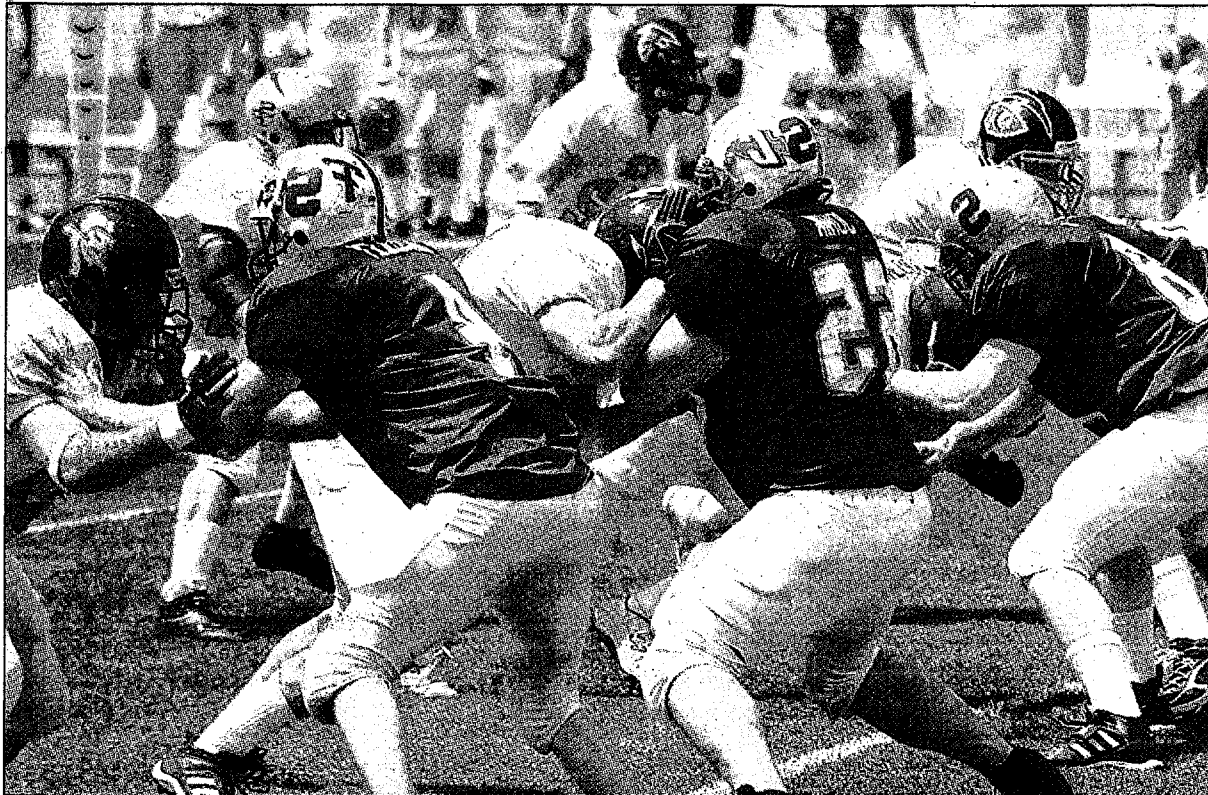
TERRY G. BENNETT



# SPORTS

Brad Emons, editor . (734) 953-2123 . bemons@hometownlife.com

## 26TH ANNUAL MICHIGAN HIGH SCHOOL ALL-STAR FOOTBALL GAME



RICK BOGDANSKI

Canton's Ryan Jonik (65) and Salem's Kevin Bradley (4) display their blocking skills during Saturday's 26th Annual Michigan High School All-Star Football Game at Michigan State University's Spartan Stadium. Jonik and Bradley's East team won, 22-15.

## Run-believable

### Clasgens' coast-to-coast jaunt leads East to win

BY ED WRIGHT  
STAFF WRITER

Pat Clasgens zigged, zagged, spun, juked, side-stepped and dodged during the first 34 yards. The Livonia Stevenson graduate then capped one of the most electrifying plays — and the longest — in the 26-year history of the East-West High School All-Star football game Saturday afternoon with a 60-yard dash that he'll never forget.

Clasgens' 94-yard touchdown run with 5:39 left proved to be the decisive play in the East All-Stars' 22-15 victory over the West at Michigan State University's Spartan Stadium.

The record-breaking effort left

the West defenders breathless and many of the 11,491 spectators in attendance with "Did you see that!?" looks on their faces.

"It was very tiring," a smiling Clasgens said, moments after a final-minute defensive stand by the East sealed the victory. "The play was a draw right out of the ace formation. I received great blocking and followed my blocks. I never expected to get a touchdown in this game, especially one like that."

East coach Tim Baechler (Canton) hinted that he would have been more than happy with a simple first down on the third-and-12 play that unfolded in the shadow of the West end zone's goal posts.

"The initial hole was there, but everything after that was just All-Stars making plays," Baechler said. "The quarterback, Stiefel, knocked somebody down on the (West's) 20-yard line. They're just players. I can't say it's how I drew the play up."

Right tackle Ryan Jonik (Canton) and tight end Kevin Bradley (Salem) contributed key blocks on Clasgens' goal line-to-goal line jaunt.

While Clasgens provided the offensive heroics for the East, D.J. Tracy, a graduate of Livonia Franklin, spearheaded the winning squad's defense. His blocked punt with 4:49 left in the first

PLEASE SEE ALL-STARS, B2



Livonia Stevenson graduate Pat Clasgens is lifted into the air by teammate John Goebel (Birmingham Brother Rice) seconds after Clasgens' 94-yard touchdown run late in Saturday's 26th Annual Michigan High School All-Star Football Game. Clasgens' highlight-reel effort proved to be the difference in the East's 22-15 victory.

## Sidelines

### Ockerman released

According to Baseball America, the Seattle Mariners released former Garden City High baseball and basketball standout Justin Ockerman on July 8.

The 6-foot-10, 263-pound Ockerman, who played one season of basketball at Michigan State (2003-04), pitched in seven games this season (one start) with the Class A Wisconsin Timber Rattlers of the Midwest League. In 7.2 innings, the 23-year-old reliever had an earned run average of 11.57 with an 0-0 mark. He allowed 12 hits and 12 walks, while striking out 12.

Ockerman, who also enrolled at Sacramento State after leaving MSU, was a sixth-round pick (189th overall) by the Mariners in the 2001 Major League Baseball amateur entry draft.

He missed the 2005 season after undergoing elbow surgery along with the entire 2002 season due to arm surgery. He was inactive in the 2004 season.

### Polanski takes 7th

Michigan State University senior Kristen Polanski (Livonia Stevenson) finished in a tie for seventh place overall with rounds of 71-79-76 at the \$40,000 Michigan Women's Open golf tournament held last week at Crystal Mountain Resort in Thompsonville.

Polanski was second low amateur by one stroke over MSU teammate Sara Brown of Tucson, Ariz.

LPGA pro Kris Tamulis, who resides during the summer in Onkama, shot a three-day total of 217 (1-over par) to win the \$5,500 first-place check, two strokes ahead of LeAnna Wicks of Brighton.

Division I girls state champion Shannon Warner, who will be a junior at Livonia Churchill High School, finished 46th overall with rounds of 88-76-79-243.

### Area canoeist 7th

Livonian Tad Hill teamed up with Efrain Cruz of Belize City, Belize to place seventh overall in the C-2 Expert Class in the Spike's Challenge Canoe Race held July 23 in the upper section of the Au Sable River in Grayling.

Competing against 53 other teams, Hill and Cruz completed the route to McMaster's Bridge in 2 hours, 49 minutes and 13 seconds.

The winning team of Andy Triebold (Spring Arbor) and Matt Rimer (Grayling) were clocked in 2:38:46.

The Spike's Challenge is a prelude to Saturday's 59th annual Weyerhaeuser Au Sable River Canoe Marathon, North America's richest, longest non-stop canoe race, which covers 120 miles starting at 9 p.m. Saturday and ends around noon Saturday in Oscoda.

The 28-year-old Hill and the 21-year-old Cruz are among the 66 teams already entered.



Westland native Chris Tompkins recently earned certification as an assistant golf professional from the PGA of America.

## Tompkins' pro golf career taking off

BY ED WRIGHT  
STAFF WRITER

The roots of Chris Tompkins' blossoming golf career are embedded in the fairways of the Westland Municipal Golf Course, the layout he played religiously as a youth.

Two decades after those roots were planted, the Westland native's career is on the verge of branching out big-time after he fired a 36-hole score of 150 at the Thornapple Creek Golf Course near Kalamazoo to earn the PGA of America's B8 (assistant golf pro) certification.

Tompkins, a former Westland John Glenn all-state performer, needed to shoot a 153 or lower to pass the rigid test.

"My opening round was a 77, but I was playing solid, so I wasn't too worried," Tompkins said. "I needed a 76 or lower on my second round to make the target. I made the turn in 35 and I felt really good about my chances when I drained a 40-footer for birdie on 13. After that, I knew I just had to keep the ball inbounds the rest of the way."

A lefty, Tompkins is currently serving as an assistant professional at the

Coyote Preserve Golf Course in Fenton.

"Even though I'm putting in 50- to 60-hour weeks, I consider myself lucky because I'm doing something I love," Tompkins said. "My job revolves around doing something I've enjoyed doing since I was 8 years old, so I don't really consider it work."

Tompkins said his short-term goals include completing the various PGA of America tests that could eventually lead him to a collegiate coaching position.

"Ultimately, I'd like to make it to the PGA Tour someday," Tompkins said. "But I don't know how realistic that is."

"I really enjoy what I'm doing now, including giving lessons."

What's the best piece of advice Tompkins would pass on to the average weekend duffer?

"You have to stay focused, especially after you hit a bad shot," he said. "It doesn't matter if you're golfing in a league on Wednesday nights or you're on the Tour — when you hit a bad shot, you have to forget about it and move on. I've seen guys break clubs over their knee, or hit their bag with their clubs."

"The best advice I could give some-

one would is to try and enjoy yourself when you're on the golf course, no matter how many bad shots you hit."

Not surprisingly, Tompkins' favorite professional golfer is also a southpaw.

"I've always liked the way Phil Mickelsen handles himself on the golf course," he said. "He's always smiling and giving fans high-fives."

"I respect Tiger Woods' game, too, but I don't always care for his mannerisms. He lets his anger get the best of him."

Tompkins credits his father, Tommy, for much of his golfing success.

"My dad has always been behind me 100 percent," Tompkins said. "Every summer when I was young, he'd drive me all over the country to junior golf tournaments."

"And a couple of years ago when I thought about trying to make the Hooters Tour, he told me to give it a shot. He said, 'If you don't do it, once you're 30 or 35, you'll wonder whether or not you would have made it or not.' I can't thank him enough for all of the support he's given me."

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## Schoolcraft hoop coach helps power Demolition

BY TIM SMITH  
STAFF WRITER

It's not easy being a "pioneer" for women's professional football, as Detroit Demolition defensive end Deidra Johnson certainly knows.

The 32-year-old Johnson — who also happens to be assistant women's basketball coach at Schoolcraft College — isn't about to give up her quest for sports fans to give female gridders serious attention instead of being ridiculed on Internet forums.

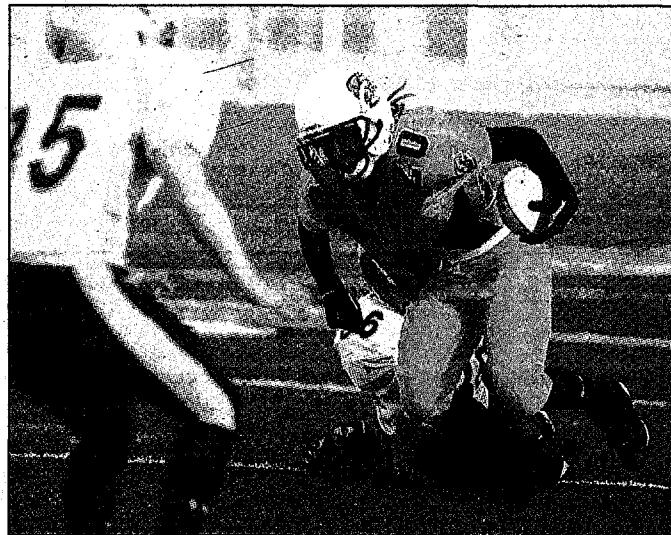
But she knows it won't be easy. She pulled out a laminated piece of paper, containing some insensitive-at-best ruminations about the world of women's football:

*"I'd rather watch a Pop Warner game of 8-year-olds ... they probably hit harder, too. The last thing I want to see is a bunch of middle-age women running into each other and calling it football."*

The note motivates her to hit harder, to make the plays better and to make sure nobody laughs when they talk about the Tony Blankenship-coached Demolition. Or any other team in the Independent Women's Football League, for that matter.

"That's been my motivation since then, to go out there and make sure to do it the right way," said Johnson, gearing up for Saturday's IWFL title game in Long Beach, Calif. "We have changed

PLEASE SEE DEMOLITION, B2



RENA LAVERTY

Detroit Demolition running back Kiana Dennis demonstrates her elusive style during her team's IWFL Western Conference title win Saturday over Sacramento at Livonia Churchill.

### IWFL TITLE GAME

■ 7 p.m. Saturday, July 29 (PT)  
■ Detroit Demolition (10-0) vs. Atlanta Xplosion (9-1)  
■ At Long Beach (Calif.) City College Veteran's Memorial Stadium  
■ Web site: www.iwflsports.com



## DEMOLITION

FROM PAGE B1

some minds. A lot of males that come to the games for the first time, they just want to see, is it a bunch of women running around ... looking like we don't know what we're doing.

"By the end of the game, those are the ones who keep coming back, because they have been so surprised."

Detroit's domination on the football field this season is not a surprise to anyone who's been paying attention since the team's 2002 debut as part of the National Women's Football Association (the club switched leagues before the 2006 campaign).

Johnson noted that Detroit is the winningest professional or college sports team with a 52-game winning streak (dating back to 2002, when the team was the Detroit Danger) and four consecutive titles.

Victory No. 52 in a row took place July 15 at Livonia Churchill, as the Demolition (10-0 this year) routed Sacramento, 52-20, in the Western Conference final. Detroit faces Atlanta on Saturday.

The team's reasons for excellence are the same that any men's football team rely on, primarily physical prowess and the good-old fear factor.

"It's definitely a different experience when you get a chance to play us," she said. "One thing I've noticed about a lot of teams who think they're good, they've never been hit — really, really hit before — and we're taught to hit people."

Few are slamming opponents to the turf with more regularity than Johnson. In seven regular season games this year, her totals include nine sacks, 50 tackles, 12 forced fumbles and four pass deflections.

## WHY NOT?

Although the 6-foot-2, 215-pounder is now so entrenched with the Demolition that she envisions playing a few more years, the whole thing started almost as a dare.

She was at a New Year's party to ring in 2005 with her then-newlywed husband, Douglas. "My best friend (former

## DEMOLITION DEIDRA

**Who:** Deidra Johnson, age 32, Berkley resident, 6-2, 215.

**What:** Second season as defensive end with the Detroit Demolition of the Independent Women's Football League.

**Other:** Assistant coach for Schoolcraft College women's basketball team. Teaches English at Highland Park High School. Pursuing master of arts in kinesiology for sports administration at Wayne State University.

**Background:** Played girls basketball and volleyball at Highland Park, where she graduated in 1991; named a first-team All-American in women's basketball at Macomb Community College in 1998, coached by current Schoolcraft women's head coach Karen Lafata. At Bowie State University in Maryland, she was named 2000 Basketball Black College All-American.

**Notable:** 2005 Defensive Rookie of the Year for the Demolition.

**Quotable:** "I hated football. I just thought it was a man's sport, probably because I never really understood it."

Danger/Demolition player Angela Griffin) had been asking me to play since the beginning, since the Danger days," Johnson said. "I always had this view that women shouldn't play football and hockey."

But soon, Angela and her husband, Demolition defensive end coach Ronald Griffin, were bugging Johnson to give football a try.

"He (Ronald Griffin) said, 'Why don't you play?' And I said, 'I don't have a resolution yet, so sure, why not? (Of course), not realizing what I had just said to him. And I don't like telling people I'm going to do something and not do it,' she said.

In January 2005, Johnson — a standout basketball player in high school and college — attended a Demolition tryout in Waterford. She was put through the usual paces (sprints, pushups, footwork drills) to determine her level of athleticism.

"It (football tryout) was challenging," Johnson said. "One of the things I learned very quickly is the coaches were very intense. And you had to pick up on everything very quickly."

## HARD TO BELIEVE

Johnson obviously impressed Blankenship enough for her to be invited to the February training camp. When the season began in April, she was starting on the defensive line.

Three months and a championship later, she was sitting at her Berkley home watching evidence of her rookie season when it began to sink in.

"I was like, 'I can't believe I played football,'" Johnson said. "When people ask me now, it still feels weird to tell them I played football."

One reason she couldn't fathom her new athletic pursuit was the fact there was a time where she had no interest in football.

"I hated football," Johnson said with a laugh. "I just thought it was a man's sport, probably because I never really understood it."

"I understood the concept of it, to just hit somebody and try to get from one end to the other. But I just couldn't stand it (previously)."

Now it is something she looks forward to doing, amid her many other responsibilities. There is family, master's degree courses and duties as an English teacher at Highland Park High School (where she graduated in 1991).

Another log in the fire is helping coach the Schoolcraft women's basketball team.

Last fall, she joined the staff of Karen Lafata, her former coach at Macomb Community College.

"She's failed to see me play yet," Johnson said about Lafata. "But she knows that's just me, always doing something athletic."

Lafata worries about Johnson getting injured on the gridiron. However, she isn't surprised about her assistant's success in football because "she's a world-class athlete."

Lafata said the way Johnson competes on the football field is another example of her men-

tal and physical toughness — which also helped her succeed first as an athlete and then as an assistant coach.

"She was an All-American for me at Macomb Community College and now she's helping another team to a championship," Lafata said. "She's definitely a competitor and the kids (Schoolcraft players) really respect her."

"When she (Johnson) talks about conditioning and giving 100 percent, they know she knows what she's talking about because she's been through it."

## TURF WARS

Meanwhile, Johnson and the other Demolition players are going through something else. They continue battling to gain each bit of respect from the general community as ferociously as they go after each yard of green turf.

The major media ignore the league. Players commute from their regular jobs to practices. Paychecks are nonexistent. Regular-season road trips cost them out-of-pocket money for gas, hotels and food.

"We don't get paid at all," Johnson said. "We just do it for the love of athleticism. Our paycheck is the championship, that's the way I see it. That's why we work so hard."

"If our payment can be that ring, then it will all be worth it."

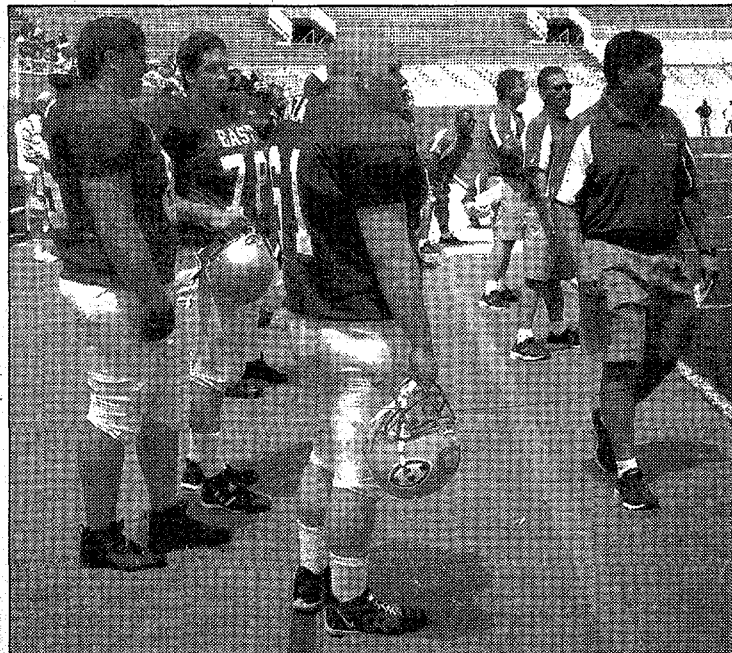
Ironically, to play for the title, Demolition players must foot the bill for airfare to Los Angeles.

Yet for Johnson and other players, the hope is that things can only get better, perhaps if the National Football League steps up in the same way the NBA helps the WNBA.

"Nobody wants a million-dollar contract," she said. "They could pay a player \$10,000 and we would be so happy we'd do cartwheels."

If not, she is more than satisfied knowing the concept of women's football is taking hold.

"We know we have to pay our dues — all women's sports do," Johnson said. "But if people even got a chance to come out and see us, they would be amazed at what they'd see. Hey, we'd like a parade just like everybody else. We're still waiting on that."



Canton coach Tim Baechler (far right) led the East to a 22-15 victory over the West in Saturday's Michigan High School All-Star Football Game played at Michigan State University's Spartan Stadium.

## ALL-STARS

FROM PAGE B1

quarter that resulted in a safety which gave the East an 8-0 advantage. The Wayne State-bound linebacker also chipped in with several drive-stalling tackles.

"I told the coaches before the game that I was going to get three sacks, and I think I had about five, so that was the highlight for me," Tracy said. "We lost to Brother Rice in the playoffs in our last game of the season, so now at least I can say I went out with a win in my final high school game."

"Clasgens' run was unbelievable. I'm just glad he did it today and not against us last season or our two wins against Stevenson may have had different outcomes."

Early on, it appeared as if the East was going to win in a landslide as it bolted to a 15-0 lead. Detroit Murray-Wright's Dominique Douglas opened the scoring when he hauled in a perfectly thrown 27-yard Stiefel spiral with 6:30 left in the first quarter. Ian Walker's extra point bounced off the crossbar, leaving the score at 6-0.

After the East extended its advantage to 8-0 when Tracy's

blocked punt rolled out of the end zone, Baechler's squad made it 15-0 when Jacob Ball (Rochester Adams) connected with Brother Rice's John Goebel on a 77-yard scoring strike. Goebel snuck out of the backfield and past the West secondary. He hauled in Ball's arcing pass on the West 40 and outspurred the defenders the rest of the way.

The West scored its first points with 2:51 left in the first half when Midland Bullock Creek's Nick Violette returned an interception 53 yards to paydirt to make it 15-7.

Ann Arbor Pioneer's Richard Franklin knotted the game at 15-15 when he scored from 13 yards out. He then converted a two-point conversion run.

Following Clasgens' TD, the West countered by driving the ball down to the East's 12-yard line. However, Jeff Ziegler's fourth-down pass to Brett Powell was knocked away by Novi Catholic Central's Jon Conover.

The West regained possession of the ball with less than a minute to play, but Tracy helped thwart the potential game-tying drive with a pair of sacks.

Clasgens finished with 102 yards on five carries. Redford Union's Chris Brown picked up 5 yards on three attempts.

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# Tourney-bound Rams stay hot

Too bad the regular season had to end for the Michigan Rams in the Livonia Michigan Collegiate Baseball League.

The 20-and-under Rams finished, headed to the AAABA National Tournament Aug. 7 in Johnstown, Pa., stayed hot Monday night, downing the Detroit Eagles at Ford Field, 3-1, behind Mike Sacha's three-hit complete game.

The Eastern Michigan University right-hander walked only two and struck out three in going all seven innings as the second-place Rams wound up 24-11.

Sacha also collected two hits and scored the game-winning run in the fourth inning on Rob Campbell's two-run single to erase a 1-0 deficit.

The 22-and-under Eagles (12-23) tallied their lone run in the first when Anthony Hines scored on an error.

Scott Cain, who also went 2-for-3, knocked in an insurance run with a single in the fifth as the Rams won for the ninth time in their last 11 games.

Losing pitcher Matt

## LIVONIA MICHIGAN COLLEGIATE BASEBALL LEAGUE FINAL STANDINGS

Michigan Bulls 29-6/58 points  
Michigan Rams 24-11/48 points  
Oakland Cubs 19-15/39 points  
Michigan Monarchs 16-19/30 points  
Detroit Eagles 12-22/24 points  
Park Athletic 4-30-1/9 points

Albertson also pitched well in the loss. The lefty allowed seven hits and three runs over six innings.

**RAMS 5-10, EAGLES 1-5:** Eric Vojtkofsky collected six RBI Sunday as the Rams (23-11) swept a twinbill from the Detroit Eagles (12-22) at Ford Field.

Vojtkofsky, a Wayne native and former standout at Catholic Central High, went 2-for-4 with four RBI in the opener as the Rams prevailed, 5-1.

Ryan Shay and Mike Sacha added two hits apiece. Shay also scored two runs and had three stolen bases. Scott Cain added an RBI.

Madonna University's Otis Young (Livonia Franklin) and Aaron Drury each collected two hits for the Eagles.

Winning pitcher Ryan Mosher went the first four innings, allowing one run on six hits and one walk. He struck out four before Max Miller finished up.

Miller, a right-hander from Michigan State, pitched three scoreless innings, allowing three hits and one walk. He fanned three.

Losing pitcher Ryan Gunderson went all seven for the Eagles, allowing five runs on seven hits and five walks. He struck out five.

In the nightcap, Vojtkofsky, the Spring Arbor College standout, delivered a two-run double and Northwestern University's Rob Campbell went 3-for-4 with a double and RBI in a 10-5 Rams triumph.

Matt Nichols walked four times and scored twice, while Shay, Cain, Scott Martin and Kyle Hurtt also knocked in runs.

Young went 2-for-4 with an RBI, while Eric Harvey added two RBI. Bobby Schmidt also homered for the Eagles.

Winning pitcher Steve Karchefsky (Wabash Valley CC, Ill.) went the first six innings, allowing five runs (three earned) on six hits and two walks. He struck out six. Sacha fanned two batters in the seventh to close out the win.

Brian Broden, who went 3.1 innings before giving way to Aaron Wilson, took the loss.

**RAMS 5, BULLS 2:** Albion College's John Filecchia hurled four-hitter Friday as the Rams (21-11) upended the first-place Michigan Bulls (26-6) at Ford Field.

Filecchia struck out eight and did not allow a walk in going the distance.

Losing pitcher Steve Teno went all seven innings for the 22-and-under Bulls. He struck out four, walked three and allowed all five runs on eight hits.

Scott Martin led the Rams' hitting attack going 2-for-3 with a triple and two RBI. Matt Nickels also collected two hits, while Max Miller knocked in a pair of runs.

Sam Palace went 2-for-3 with a double and two runs scored for the Bulls. Kyle Rhoad and Joe Marshall each added RBI.

**RAMS 3, EAGLES 0:** The University of Kentucky's Chris Rusin and MSU's Max Miller combined on a one-hitter last Wednesday as the Rams (20-11) blanked the Eagles (11-18).

Rusin, the starter, faced just 15 batters, allowing just one hit and one walk. Miller held the Eagles hitless over the final three innings, striking out six and walking only two.

Mike Sacha's two-out double in the first with the bases loaded brought all three runs home after Matt Nickels had doubled, while Scott Cain and Eric Vojtkofsky both walked to load the bases.

Losing pitcher Matt Middleton went six innings for the Eagles, allowing seven hits and four walks. He struck out six.

Robert Schmidt had the lone hit for the Eagles.

# Hawks primed for long playoff run

BY BRAD EMONS  
STAFF WRITER

The "real season" in the W-League gets underway this weekend for the Michigan Hawks, who travel to Charlotte, N.C. for the Central Conference playoffs.

The Midwest Division women's soccer champions finished the regular season at 10-2-2, including a convincing 8-1 victory last Friday night over the host London (Ontario) Gryphons at North London Stadium.

Scoring four times in each half, the Hawks outshot London 25-7 overall.

Gail Wilson led the way with two goals and one assist, while Erin Konheim and Asuka Kubota each contributed a goal and two assists.

Livonia Stevenson grad and University of Michigan

standout Melissa Dobbyn also scored twice, while Kristi Swaving and Jordan Mueller added one apiece. Stephanie Martin also drew an assist.

London (4-8-1) spoiled the shutout bid for Hawks goalkeeper Kathryn Cumming in the 90th minute when Elizabeth Hardy scored on a penalty kick.

The Hawks now focus their attention on the playoffs where they'll face the Richmond (Va.) Kickers Destiny (9-4-1) of the Atlantic Division in a 5:30 p.m. matchup on Saturday. The second game pits Midwest Division runner-up the Minnesota Lightning (9-3-2) against the Atlantic Division champion Charlotte Lady Eagles (10-4).

The finals are set for 5 p.m. Sunday in Charlotte.



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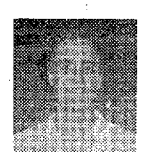
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# LESSON ON GOLF

by Jeff Lesson

## STILL THE ONE

Thirty year old Tiger Woods has now won 11 major championships with Sunday's victory at the Open Championship. The record of 18 held by Jack Nicklaus is now officially in jeopardy.

Just outside of Liverpool, England, Tiger Woods blistered the field. He did it not so much with power, but more with his head.

Tiger Woods has not driven the ball well in a couple years. He was far down the PGA tour rankings in driving accuracy. Why it took him so long to take the driver out of his bag on tight courses is a question for far greater minds. Yet it is clear, that is what won him another British Open.

On Championship Sunday, he hit 17 of 18 fairways. He did it with two irons, three irons and even an occasional three metal. Since Tiger does not suffer from a great loss of distance without the driver, it is a wonder why he waited so long to make this move.

Since most golfers hit their peak in their thirties, we can look forward to at least 11 more majors in the next ten years. This is especially true when he thinks as well as he strikes the ball.

Jeff Lesson hosts "Lesson on Golf" weekend mornings on WWJ Newsradio 950 and Saturday mornings 7-8am on 1270 XYT. He also co-hosts "Michigan Golf Weekly Saturdays at 6pm on CBS Detroit TV.

# COURSE DIRECTORY

## Fox Creek Golf Course

36000 Seven Mile Rd.  
Livonia, MI 48152  
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## Fox Hills Golf & Banquet Center

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## Heathers Club of Bloomfield Hills

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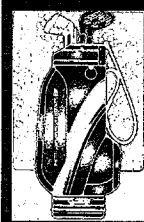
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No of Holes: 18 Par 71  
yards: 6033

Front nine is open & hilly;  
back nine is higher with  
more trees and water.

Dir: Andersonville Rd. near Hall Rd.

## White Lake Oaks Golf Course

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White Lake  
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Scenic 18 hole, par 70  
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nine open, back nine  
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**\$4.00** Kids, Seniors, & All shows 4-6 PM

• **ANY BULLY** (PG) 11:10, 1:10, 3:10, 5:10, 7:10, 9:10 FRU/SAT LS 11:10  
• **MIAMI VICE** (R)  
11:00, 1:45, 4:30, 7:15, 10:00  
• **JOHN TUCKER MUST DIE** (PG-13)  
11:00, 1:00, 3:00, 5:00, 7:00, 9:00  
FRU/SAT LS 11:00  
• **MONSTER HOUSE** (PG)  
11:05, 1:05, 3:05, 5:05, 7:05, 9:05  
• **LADY IN THE WATER** (PG-13)  
11:35, 2:15, 4:35, 6:55, 9:15  
FRU/SAT LS 11:35  
• **MY SUPER EX-GIRLFRIEND** (PG-13)  
11:15, 1:20, 3:25, 5:30, 7:35, 9:40  
FRU/SAT LS 11:45  
• **YOU, ME AND DUPREE** (PG-13)  
FRU/SAT LS 11:15  
• **PIRATES OF THE CARIBBEAN: DEAD MAN'S CHEST** (PG-13)  
12:30, 3:30, 6:30, 9:30



## TAX PROBLEMS

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Any year. Call for  
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## Quest for perfection

The Canton Quest 94 Premier girls soccer team recently completed an ultra-successful season, compiling a record of 33-7-3, winning the FC Pride tournament and finishing second in four other tournaments. The Quest went 21-2-1 in league play, outscoring their opponents by a combined score of 107-13. The team consists of Sarah Falvey, Claire Huddas, Abby Livingston, Nicole Ineich, Kristina Klusek, Robyn Mack, Courtney March, Megan McCormack, Brianna Miller, Kaitlyn Murphy, Taryne Pagel, Mackenzie Rogers, Dominique Sarnecky, Jessica Scott, Victoria Tripp and Katelyn Watson. The team is coached by Jamie Scott and Steve McCormack.

## SPORTS BRIEFS

### Goose's Soccer Camp

Goose's All-Star Soccer Camps will wind down the summer camp season Aug. 7-11 at Plymouth Lake Soccer Park in Plymouth. The camp runs from 9:30 a.m. to noon and the cost is \$139 per camper with a \$10 discount for multiple child sign-ups.

The camps are for recreational players (boys and girls) between the ages of 5 and 12 years old who would like to perfect basic skills as well as get some scrimmage time in before the fall season starts.

The camp's coaches will provide participants with drills they can practice on their own once the camp ends.

The camp's coaching staff consists of several former professional and collegiate players, including camp director Dru Callahan, who was recently drafted by the Midwest Indoor Soccer League's Detroit Ignition.

"The camps have gone great all summer," said Callahan.

"We have so many kids coming back for second and third weeks. It's just awesome to see kids having a great time."

For more information or to register for Goose's All-Star Soccer Camps, visit [www.goose22.com](http://www.goose22.com) or call (734) GOOSE-22.

### Grizzlies tryouts

Tryouts for the Plymouth/Canton Grizzlies 9U

travel baseball team will be held Saturday, Aug. 5, from 11 a.m. to 1 p.m. at Plymouth Township Park (diamond #2). The park is located on Ann Arbor Trail, just east of Beck Rd.

All players must be 9 years old or younger on April 30, 2007, and reside or attend school in Plymouth, Plymouth Township or Canton.

For more information and to pre-register, send an inquiry to [terrimurray@sbcglobal.net](mailto:terrimurray@sbcglobal.net).

The team is coached by Michael Murray and Tim Baechler.

### Yellow Jackets tryouts

The Canton Yellow Jackets 10U travel baseball team will conduct tryouts for the 2007 season on Saturday, Aug. 5, and Saturday, Aug. 12, from 11 a.m. to 2:30 p.m. at Heritage Park (field #1).

The team will be coached by Bill Flohr.

For more information, contact Flohr at [apteridacty110@yahoo.com](mailto:apteridacty110@yahoo.com).

### Canton swim fund-raiser

The Canton High School girls swim team will be holding a car-wash fundraiser Saturday from 10 a.m. to 2 p.m. at the Shell gas station located on the corner of Sheldon and Ann Arbor Rd. in Plymouth.

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## CHARTER TOWNSHIP OF CANTON ELECTION NOTICE

TO THE QUALIFIED ELECTORS OF THE CHARTER TOWNSHIP OF CANTON:

You are hereby notified that a general **Primary Election** will be held in the Charter Township of Canton on **Tuesday, August 8, 2006 from 7:00 a.m. to 8:00 p.m.** at which time candidates of the Republican and Democratic parties and non-partisan candidates, for the following offices will be voted on; and deciding upon a Van Buren School District Operating Millage Proposition:

Governor and Lieutenant Governor  
United States Senate  
Representative in Congress - 11th District  
State Senate 7th District  
State Representative - 20th or 21st District  
Wayne County Executive  
Wayne County Commissioner - 11th District  
Delegates to County Convention by Precinct  
1 Judge of the Circuit Court - 3rd Circuit, Non-Incumbent Position  
1 Judge of the District Court - 35th District, Partial Term, Incumbent Position  
(All Canton Township Precincts)  
**Van Buren Public Schools Operating Millage Renewal Proposition**  
(Van Buren School District qualified voters in Precincts #20 and #33 only)

VAN BUREN SCHOOL DISTRICT  
OPERATING MILLAGE RENEWAL PROPOSITION EXEMPTING PRINCIPAL RESIDENCE AND QUALIFIED AGRICULTURAL PROPERTY

This millage will allow the school district to continue to levy up to, but not more than, the statutory millage rate of 18 mills, as may be further statutorily reduced, on all property except principal residence and qualified agricultural property required for the school district to continue to receive its revenue per pupil foundation grant.

Shall the previously approved increase in the tax limitation on the amount of taxes which may be assessed against all non-homestead and non-qualified agricultural property, as defined by law, in Van Buren Public Schools, Counties of Wayne and Washtenaw, State of Michigan, be renewed and thus continued in the amount of eighteen (18.00) mills on each dollar (\$18.00 on each \$1,000) of taxable value for a period of five (5) years beyond its expiration, 2007 through 2011, to provide in part the funds to operate and maintain the school system? It is estimated that the revenue the school district will collect if the millage is approved and levied in the 2007 calendar year shall be approximately \$13,266,193 from the local taxes authorized in this proposal.

Yes No

## Statement as Required by Act 278 of Public Acts of 1964 Amending the Property Tax Limitation Act

I, Raymond J. Wojtowicz, Treasurer of Wayne County, Michigan, do hereby certify that, as of February 20, 2006 the total of all voted increases in excess of the tax rate limitation established by Section 6, Article IX of the Constitution of the State of Michigan, as amended, and the years such increases are effective on property in the County of Wayne are as follows:

Local Unit	Date of Election	Voted Increases	Years Increases Effective
County of Wayne	August 8, 2000	1 mill	2005 thru 2009
Wayne County Regional Educational Service Agency	August 6, 1974 November 8, 1988 August 6, 2002	1 mill 1 mill 1.5 mills	2005 indefinitely 2005 indefinitely 2005 indefinitely
Wayne County Jail	August 6, 2002	1 mill	2005 thru 2010
Wayne County Parks	August 2, 2005	0.25 mills	2006 thru 2010
Wayne County Community College	November 3, 1998 November 6, 2001	1 mill 1.5 mills	2002 indefinitely 2005 thru 2010
Van Buren Public Schools	October, 2001 June, 1998	18 mills 1.30 mill	2005 thru 2006 (non-homestead only) 2005 thru 2015

## CHARTER TOWNSHIP OF CANTON PRECINCT NUMBERS AND LOCATIONS

NOTICE IS HEREBY GIVEN that a **Primary Election** will be held on **Tuesday, August 8, 2006 from 7:00 a.m. to 8:00 p.m.** at the following polling locations:

Precinct No.	Name of Facility	Address
1 & 23	First Baptist Church	44500 Cherry Hill Road
2	Tri-City Christian Center	3855 S. Sheldon Road
3, 10, & 21	St. John Neumann Church	44800 Warren Road
4 & 13	Discovery Middle School	45083 Hanford Road
5 & 31	Crescent Academy	40440 Palmer Road
6	Royal Holiday Clubhouse	39500 Warren Road
7	Salem High School	46181 Joy Road
8	Resurrection Parish Church	48755 Warren Road
9 & 34	Eriksson Elementary School	1275 N. Haggerty Road
11 & 19	Tonda Elementary School	46501 Warren Road
12 & 14	Hulsing Elementary School	8055 Fleet Street
15	Walker-Winter Elementary School	39932 Michigan Avenue
16 & 17	Bentley Elementary School	1100 S. Sheldon Road
18 & 29	Field Elementary School	1000 S. Haggerty Road
20	Township Fire Station No. 1	1100 S. Canton Center
22	Hoben Elementary School	44680 Saltz Road
24 & 25	Canton High School	8415 N. Canton Center
26, 27 & 36	Summit on the Park	46000 Summit Parkway
28	Agape Christian Center	45081 Geddes Road
30	Mettetal Airport	8550 N. Lilley Road
32	Main Street Baptist Church	8500 N. Morton Taylor
33 & 37	Dodson Elementary School	205 S. Beck Road
35	Canton Human Services Building	50430 School House Rd.
38	Historic Cherry Hill School	50440 Cherry Hill Road
39	Plymouth High School	8400 N. Beck Road

The Office of the Township Clerk, 1150 S. Canton Center Road, will be opened from 9:00 a.m. until 2:00 p.m. on **Saturday, August 5, 2006** for absentee ballots. Qualified voters must appear in person to receive a ballot.

On **Monday, August 7, 2006**, those requesting an absentee ballot must appear in person at the Clerk's Office no later than 4:00 p.m. Emergency absentee ballots **ONLY** will be issued on Election Day, August 8, 2006.

If you are unsure of your voting location, please refer to your voter registration card, check online at [www.canton-mi.org](http://www.canton-mi.org), or contact the Clerk's office at 734-394-5120.

Terry G. Bennett, Clerk

Publish: July 27, 2006

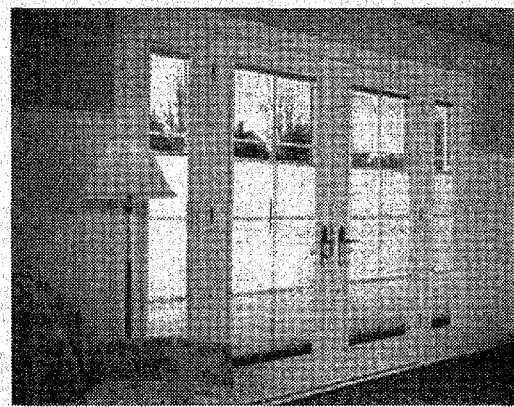
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# Thursday

## PUZZLE CORNER

Challenging fun for ALL ages

### CROSSWORD PUZZLER

#### ACROSS

- 1 Circus arena
- 5 Gourmet cook
- 9 Pigeon talk
- 12 Mad scientist's aide
- 13 Cad
- 14 Umbrella spoke
- 15 Produced
- 16 Crooked
- 17 - Baba
- 18 One-hoss shay's owner
- 20 Recedes
- 22 Rx givers
- 23 Have being
- 24 Della or Pee Wee
- 27 Computer dept.
- 28 Playwright - Coward
- 32 Bronzed
- 33 Toad features
- 36 Impress deeply
- 37 Proof word
- 39 Cobb of baseball
- 40 In the buff
- 42 Film speed no.

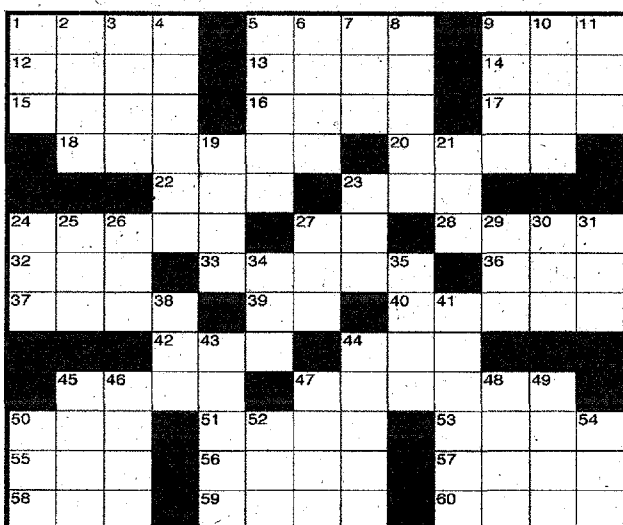
#### DOWN

- 1 Robbins or Conway
- 2 Hoople expletive
- 3 Centering point
- 4 Escalator parts
- 5 Utter confusion
- 6 Rough-cut
- 7 Always
- 8 To Whitman
- 9 Pilot
- 10 Zodiac animal
- 11 Kimono
- 12 Accessory
- 13 Deck hands
- 14 Kingsley of "Species"
- 15 Lubricates
- 16 Lamb's mama
- 17 Quick to learn
- 18 AAA suggestion
- 19 Maize unit
- 20 MIT grad
- 21 Boring
- 22 Acorn dropper
- 23 Lamb's mama
- 24 Digital watch display
- 25 - - - disadvantage
- 26 Type of appeal
- 27 Dinghy's need
- 28 Exclaiming over
- 29 Waffle topping
- 30 Sackers of Rome
- 31 Market
- 32 Spotted, as a horse
- 33 Jet or Rivers
- 34 Almond-shaped
- 35 El - Texas
- 36 London lav
- 37 "Is - bird?"
- 38 Apprehend a suspect

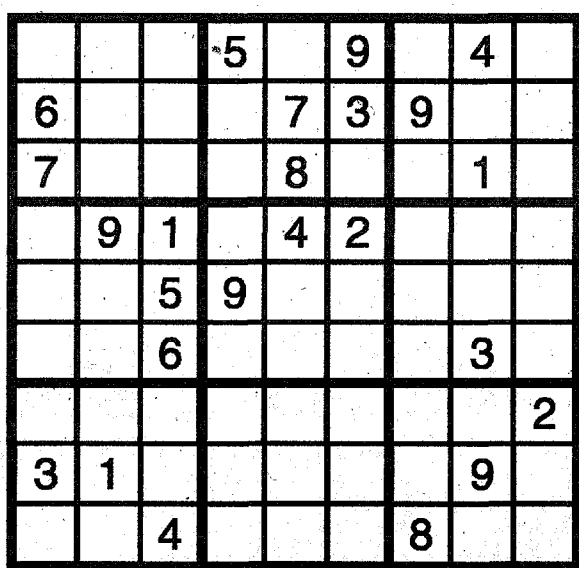
#### Answer to Previous Puzzle

JOE ODOR KATE  
AROC WIDE AWRY  
ROOF VIC REAR  
EAVE REDIYE  
BRANDY LEE  
ROSS KISMET  
OAT ADOPT RAG  
RIBBON OGRE  
ELM MAROON  
AWARE MAUL  
NAME JON YEAS  
KNIT ATON WYO  
ADDS NERO ENS

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## SUDOKU



#### Fun By The Numbers

Like puzzles? Then you'll love sudoku. This mind-bending puzzle will have you hooked from the moment you square off, so sharpen your pencil and put your sudoku savvy to the test!

#### Here's How It Works:

Sudoku puzzles are formatted as a 9x9 grid, broken down into nine 3x3 boxes. To solve a sudoku, the numbers 1 through 9 must fill each row, column and box. Each number can appear only once in each row, column and box. You can figure out the order in which the numbers will appear by using the numeric clues already provided in the boxes. The more numbers you name, the easier it gets to solve the puzzle!

## SEEK AND FIND

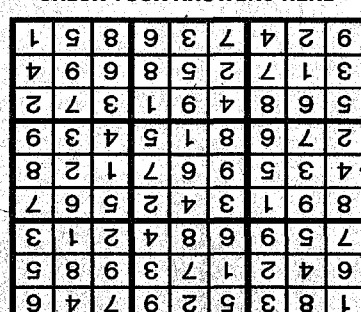
FIND THESE WORDS IN THE PUZZLE BELOW.

- |           |            |             |
|-----------|------------|-------------|
| ENVELOPES | PAPER      | RUBBER BAND |
| ERASER    | PAPER CLIP | SCISSORS    |
| GLUE      | PEN        | STAMPS      |
| MARKER    | PENCIL     | STAPLER     |

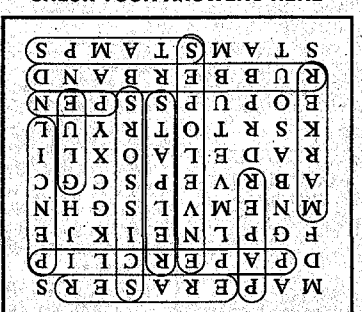
THE WORDS READ UP, DOWN AND ACROSS.

M A P E R A S E R S  
D P A P E R C L I P  
F G P L N E I K J E  
M N E M V L S G H N  
A B R V E P S C G C  
R A D E L A O X L I  
K S R T O T R Y U L  
E O P U P S S P E N  
R U B B E R B A N D  
S T A M S T A M P S

#### CHECK YOUR ANSWERS HERE



#### CHECK YOUR ANSWERS HERE



# Real Estate

#### New Hudson 3270

**BY OWNER.** 2 story, 2,027 sq. ft., 3 br., 3 1/2 bath, possible 4th br. in bsmt. On 1.17 acres, partially wooded. \$269,500. (248) 446-1584

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#### Redford 3350

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**GREAT**  
3 Bdrm. starter home. Motivated seller. Newer roof, C/A & furnace. \$94,900  
Cheryl Lynn  
Century 21 Row  
734-464-7111

#### NOVI 3290

**NOVI - 4 bdrm, 2 1/2 bath, colonial, 2900 sq. ft., on cul-de-sac, finished bsmt, in-ground pool, backs up to commons, Northville schools. \$405,000. 248-348-7343**

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Prudential Cranbrook  
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(248) 324-3800

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This premium 4,400 sq. ft. colonial has 5 bedrooms with 5 baths, gourmet kitchen with center island, granite on all counter tops, Brazilian cherry floor in 2 story foyer, dining room, library & kitchen, dual staircase with iron spindles, spacious 3.5 car garage!  
**Century 21 Hartford North (734) 525-9600**

#### Pleasant Ridge 3345

**SPECTACULAR PLEASANT RIDGE HOME!**  
1960 - 1,500 sq. ft. All brick Ranch. 3 bdrm, 2 bath, 2 car. Large Family Room & Large Sunken Living Room. Super high wood beamed ceilings. Corian countertops, built in ceramic cook top. Stainless appliances. 2 way gas fireplace. Tremendous landscaping, sprinkler system. Very large, very clean bsmt. Way too much more to tell. \$299,000 is a steal for this masterpiece! Mark your calendar. OPEN HOUSE from 2-4 on July 30th. Private showing by appt. West side of Woodward, 72 Maplefield Rd. Pleasant Ridge. 248-752-7412

#### Royal Oak 3370

**OPEN SUN. 1-4 ROYAL OAK**  
2329 N. Washington Ave. Over 2600 sq. ft., 5 bdrm., 3 bath cape cod on huge lot. Ultimate chef's kitchen, top of the line everything. Updates galore. \$499,000  
Barb 248-202-2272  
Max Brooch  
1821 W. Maple

#### By Owner

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Bungalow, many features, 3 bdrm, 2 bath, new windows, family room w/ fireplace, refinished oak both floors, bsmt. (kitchen/bath), garage & gazebo. \$187,000 248-797-2886

#### Southfield/Lathrup 3390

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3 Bdrm brick ranch, bsmt, garage, \$159,000 on quick sale only. 248-214-7258

#### Plymouth 3347

#### By Owner

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Charming bungalow! Blocks from downtown. 3 bdrm., 2 new baths, 2 car garage, 1,229 sq. ft., plus 869 sq. ft. finished basement. Many updates. \$253,500 586-650-0950

#### PLYMOUTH VICTORIAN

Absolutely Beautiful!  
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#### Redford 3350

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Cheryl Lynn  
Century 21 Row  
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313-538-2000  
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Century 21  
Century 21 Today, Inc.  
313-538-2000  
www.century21today.com

#### Royal Oak 3370

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2329 N. Washington Ave. Over 2600 sq. ft., 5 bdrm., 3 bath cape cod on huge lot. Ultimate chef's kitchen, top of the line everything. Updates galore. \$499,000  
Barb 248-202-2272  
Max Brooch  
1821 W. Maple

#### By Owner

**ROYAL OAK**  
Bungalow, many features, 3 bdrm, 2 bath, new windows, family room w/ fireplace, refinished oak both floors, bsmt. (kitchen/bath), garage & gazebo. \$187,000 248-797-2886

#### Southfield/Lathrup 3390

**GEORGEOUS**  
3 Bdrm brick ranch, bsmt, garage, \$159,000 on quick sale only. 248-214-7258

#### Southfield/Lathrup 3390

#### Just Reduced!

**SOUTHFIELD**  
2 bdrm. 1200 sq. ft. ranch, \$2500 decorator allowance & a 2001 Ford Escape SUV incl. Call Cheryl at: 248-593-9494  
Robinson Realty  
30700 Telegraph Rd.

#### JUST LISTED!

**TOTALLY REMODELED**  
3 bedroom, 3 bath contemporary. Master bedroom suite. Great room with marble fireplace. 2 car attached garage. \$279,900  
MLS#26111741  
CENTURY 21 TODAY, Inc.  
(248) 647-8888

#### South Lyon 3400

#### By Owner

**BEAUTIFUL HOME**  
Well-maintained 4 bdrm, 2.5 bath on wooded half-acre lot in one of Lyon Twp's finest subs. Must see. Visit, Code # 668299. Priced below appraisal at \$369,500. Call for appt. 248-446-0133

#### West Bloomfield 3440

**GROSSE ILE:**  
Vastoverlook  
Georgian Colonial overlooks Detroit River & Canada! 4200 sq. ft., elegantly decorated w/custom amenities. Under an acre, w/dock & hoist! \$1,299,000! Carol Ladomer, 734-552-9900, Island Realty/734-671-2280

#### West Bloomfield 3440

**WEST BLOOMFIELD 7626**  
Lakepoint. Contemporary quad, wooded park-like setting. Middle Straits Lake w/access, 4 bdrm., 3 full bath, workshop, doorval/pool, deck & private, fenced yard, (100x105), next to Bloomer Park. 248-877-8490

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#### South Lyon 3400

#### Open





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187' frontage on 93' deep private lake. Great fishing, wooded building site, guaranteed buildable. \$149,900  
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Potential buildable lakefront lot on all sports chain of lakes. Eager to sell! \$89,000 negotiable (313) 929-4243

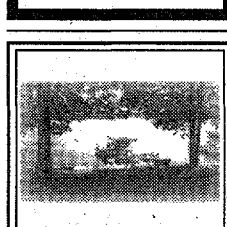
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**VACANT WATERFRONT IN NORTHEAST MICHIGAN.**  
Lake Huron, 106 ft. \$112,000, no wetlands, Clear Lake, 99 ft., \$38,000, no water, good fishing. Oquocque River, 279 ft. 10 acres, \$119,900. Fish in front, hunt in back. Black Lake, 11 to choose from. Ralph Stedman, 866-626-7002 Re/Max North 231-627-9991

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Best Choice Realty,  
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**SHANTY CREEK**  
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Ed Barter  
(248)-763-0120  
**Century 21**  
Century 21 Today, Inc.  
28544 Orchard Lake Rd.

**Cemetery Lots 3880**  
Knollwood Memorial Park  
Bronze companion marker, two #29 concrete vaults & 2 grave sites. 734-495-3033  
**hometownlife.com**

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Knollwood Memorial Park  
Bronze companion marker, two #29 concrete vaults & 2 grave sites. 734-495-3033  
**hometownlife.com**

## Cemetery Lots 3880

**Mausoleum Crypt Niche**  
for 2 Christian Memorial Cultural Center, Rochester Hills, Col.1015, Row C, Elevation H; includes cremation, Heritage Deluxe Casket, Display Hardwood Casket. Purchased 1995. \$8,000/best. 423-519-1968

**PARKVIEW CEMETERY**  
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**PARKVIEW MEMORIAL CEMETERY - LIVONIA, MI.**  
Section 262, graves 5 & 6. Contact Virginia M. LePla/trustee 410-208-0719 email: virginLEP@AOL.com

## Investment Property 3970

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Spacious 2 bdrm brick duplex, \$109,000 per unit. Principals only. 734-522-4271

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4030...Duplexes  
4040...Plots  
4050...Homes For Rent  
4060...Lakefront/Waterfront  
4070...Mobile Home Rentals  
4080...Mobile Home Sites  
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4110...Vacation Resort/Rentals  
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**Call 888-658-7757 or visit online: uptownapts.com**

**CANTON BRAND NEW**  
Unique Terrace, Carriage House, Townhome and Theatre Flat floor plans. Garages and fireplaces available. Includes full size washer and dryer and 9ft. ceilings. 1, 2, & 3 bdrms. in the superb Cherry Hill Village location.  
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**CANTON Country 1 bedroom, \$525, 2 bedroom \$625, 2 bedroom duplex \$775 (all utilities included). 734-455-0391**

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Summer Savings On All 1 and 2 bdrms  
Move-In July Rent Free  
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\$479/1/bd-\$555/2 bd. Includes Water & Carport. West Bloomfield School Small Pet Okay.  
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**1 MONTH FREE**

**\$199 MOVES YOU IN!**  
Small, charming community nestled in a stream side setting. Featuring a variety of unique one bedroom floor plans including cool 2 story lofts and 1 bedroom with French doors to den. Check out our new cherry hardwood floors and designer paint schemes from only \$695 PLUS A MONTH FREE! EHO  
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**From \$585**  
• FREE City Water  
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**Corporate Suites Available**  
(866) 238-1153  
On West Park Dr.  
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Moving into a cozy, 1 bedroom apt. with REDUCED RENT & SECURITY DEPOSIT.  
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Starting at \$545  
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**FIVE, FIVE, FIVE. ONE MONTH FREE**  
To Qualified Studio, 1 & 2 Bdrm Applicants. Available in town Birmingham.  
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## Apartments/Unfurnished 4000

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• \$200 Moves You In  
• 1 bdrm, single story  
• Central air/patio  
• Pets welcome  
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1 brm. \$590, 2 Bdrm., \$660  
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**PLYMOUTH** - Large 1 bdrm, very clean, \$550 incl heat/water. Laundry on-site. 2 bdrm also avail. 248-446-2021

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Selected units only.  
**FREE HEAT & WATER Newly Upgraded 1 & 2 Bedrooms**

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Spacious 1 & 2 bedroom, C/A, Carport, Pool. \$565-\$665  
**50% off 1st 3 Months W/good credit!**  
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**One Bedrooms, \$595**  
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Professionally managed by First Holding Corporation

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Spacious 1 bedroom, private entrance, blinds, walk in closet, laundry on site. \$485/month. \*w/approved credit.  
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**Westland 2 Bdrm, 1 bath, no pets, \$500/mo. + sec. includes water. (734) 344-9915**

**Westland All new large 1 bdrm. \$450/mo. 32455 Lenawee. (734) 658-8823**

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**Westland 1st Month FREE Plus \$300 Sec. Dep.\***  
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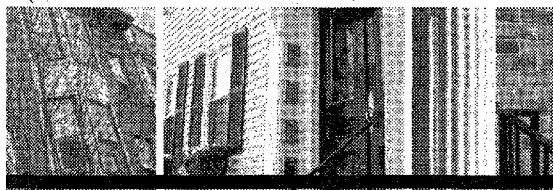
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**NORTHVILLE FOR LEASE** 2 bdrm, 2 bath, 1 car attached garage, all appliances, built 2004, incl. pool & clubhouse. \$1350 mo. Call Sam. 248-722-1937

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**OAK PARK** clean 3 bdrm. condo. Section 8 vouchers welcome. No pets. \$950 mo. 313-204-1989

**PLYMOUTH** - 900 sq. ft., 2 bdrm, 1 bath, washer & dryer in-unit. Stove, refrigerator, dishwasher, c/a, storage room, carpet, no pets, no smoking. \$775/mo. 517-688-5155

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**WESTLAND/NORWAYNE** 2 bdrm, fenced, renovated, no pets, credit check, Section 8 OK. \$600/mo. 734-722-5075

**WESTLAND/NORWAYNE** Area. 3 Bdrm. duplex, newly remodeled. \$700 + sec. 2 Bdrm. duplex newly remodeled \$600 + sec. 248-420-0573

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**PLYMOUTH** Charming downtown 1 bdrm lower w/wood floors. \$690/mo. No Pets/ non-smoking. 734-354-1957

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**BIRMINGHAM** - 3 bdrm, 2.5 baths, garage, air conditioned, fireplace. 488 Willis. \$3200/mo. 313-570-9626

**BIRMINGHAM** 3 bdrm, newly finished hardwood floors, C/A, new kitchen, new roof, new paint, across from park & tennis. 2 car garage, full bsmt, sunroom, deck. Washer/dryer. \$1700/mo. \$3200/mo. 313-570-9626

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**BIRMINGHAM** 3 Bedrooms, 2 baths, 2 garage, Central air, Laundry facilities, Basement, Immediate Occupancy. Quiet Street backs up to park. \$1750 - 248-421-6509

**BIRMINGHAM** - 982 Hazel, Nice, updated 3 bdrm, 1 1/2 bath, oak floors, appl. \$1175, 248-689-8382

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**Canton/Westland/Livonia** - 3-4 bdrm, bsmt, garages, fenced, rent to own or possible land contract. Agent, 248-478-6660

**CLARKSTON** 5 acres w/ pond. EZ access I-75. 1600 sq. ft. 2 bdrm, 1 bath, 25x80 pole barn. \$1800 mo. (248) 642-1072

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**FARMINGTON HILLS** Beautiful area! Clean 3 bdrm. New appliances, Exc. schools. No pets/ smoking. \$1200 mo. + security. References. 248-821-7440

**FARMINGTON HILLS** Nice and clean 4 bedroom home. Master on main floor with private bath, 2.5 baths, great room, fireplace, hardwood and marble floors, full basement, 2 car garage, central air home for rent or rent to own. Great location! \$3200 248-449-5456

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**FARMINGTON** Near 9 mile & Middlebelt, 2 bdrm. house with garage. \$775 mo. + utilities. 1 1/2 mo. security, one year lease. No pets. 248-442-8850

**FARMINGTON** Nice 3 bdrm. bungalow, hardwood floors, bsmt, 2 car garage. \$1200/mo. 248-348-6965.

**FERRANDE DOWNTOWN:** West of Woodward, 4 Bdrm., 1 bath, updated, bsmt. garage, pets, yard, new windows & carpet. \$1195 mo. MUST SEE! 248-872-1198

**GARDEN CITY** 3 bdrm brick ranch, bsmt, C/A, 2 car garage, \$875/mo. + security. No pets. 248-344-7466, 248-345-1339

**GARDEN CITY** 4 Bdrm., 1 bath bungalow, 2 car garage w/ workshop. Rent to own or as low as \$795/mo. Call Jennifer 734-521-0184.

**GARDEN CITY** Remodeled 3 bdrm brick ranch, finished bsmt, 2 car, C/A, 2 baths, option, \$900. 248-788-1823.

**INKSTER** 29643 Glenwood, Cherry Hill & Middlebelt, 3 bedrooms, basement, \$625 mo 248-476-6498

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**INKSTER** Remodeled 2 bdrm ranch. Mechanic's oversized 2 car plus garage, utility room, option. \$450. 248-788-1823.

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**LIVONIA** 4 bdrm., 1 1/2 bath, all updated in & out. No smoking inside. Pets maybe. \$1225. 248-755-3125

**LIVONIA** - 4 bdrm colonial, corian countertops, 2.5 bath, bsmt, 2 car, \$2200, D&H Properties, 248-888-9133

**LIVONIA** - Brick home in beautiful Rosedale Gardens, S. of Plymouth & W. of Merriman. 3 bdrm, 2 bath, kitchen, dining room, 2 fireplaces (wood & gas), finished bsmt, on 1 1/2 lots, fenced. Completely remodeled with ALL NEW: roof, windows, furnace, electric service, vaulted ceilings with fan, kitchen cabinets/counter top and tile floor. ALL NEW: appliances, bath fixtures, tub/showers, carpet, paint. 2 car garage, concrete drive. Refinished oak floors in 3 rooms. Non-smoking. Ref., Credit report and Sec. Dep. req. \$1500/mo (neg.) Call: 810-629-1400, 734-525-2350

**LIVONIA** - Clean 3 bdrm, 1.5 bath, finished bsmt, 2.5 car, all appliances, fenced. Pets ok. \$1245/mo. (734) 422-7230

**LIVONIA** - Levan/7 Mile. Clean 3 bdrm, 1 1/2 bath, ranch, bsmt, garage. No smoking/ pets. \$1400. 248-388-2005

**LIVONIA** - Plymouth/ Farmington Rd. 3 bdrm, 2 bath, finished bsmt. \$1250/mo + sec. deposit. No pets. 248-421-8062.

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**PLYMOUTH** - Charming 3 bdrm bungalow, 2 bath, finished bsmt. \$1600/mo. rent to own option. 734-564-1590

**PLYMOUTH TWP.** 2 bedroom, 1.5 bath, all appliances, air, fenced yard, basement. No dogs. Avail. now. \$1050. Credit ref. 248-661-3641

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**REDFORD** Sharp 3 bdrm, finished bsmt, garage, option to buy avail. Immediate occupancy \$850. 248-788-1823

**REDFORD SHARP** brick 2 bdrm, bsmt., Beech/7 Mile, \$825/mo. READY! 248-738-1180

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**WEST BLOOMFIELD** 2 bdrm C/A, appliances, garage, deck, lake view, \$1200. ShareNet Realty 248-642-1620

**WEST BLOOMFIELD** Furn-ished, 2 bdrm, lakefront, Avail Sept-June, \$1000. Dave 260-615-1532; 248-417-7700

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**WESTLAND** 3 bdrm., 1000 sq. ft., fenced back yard, rent w/option to buy, \$995/mo. 248-889-1232

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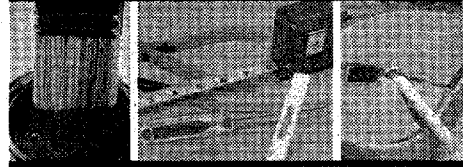
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# GETTING THEM TO STOP KILLING THE MESSENGER



**WORKWISE**  
by  
Mildred L.  
Culp

You've never seen so many fangs. People working with you become angry, shouting like little children too young to know how to overcome differences, let alone control their emotions. The behavior seems to come from another planet. Your co-workers repeatedly attack you and your character, as if they have a right to do so. You're stopped in your tracks, amazed at the unrestrained lack of professionalism. What's driving these people to react with infantile behavior when you're just trying to get the work done?

You may well represent a form of change your co-workers view as a challenge to their modus operandi. If that's the case, you need to learn how to get your team to stop killing the messenger, says David Cadden, School of Business professor at Quinnipiac University in Hamden, Conn. You're really a threat if you seem different, because that amplifies their discomfort.

Jennifer Long, founder and principal of the Selby Group in San Francisco, has spent 12 years delivering training called "Successfully Addressing Conflict." She mentions that being upbeat has its downside, potentially threatening everyone else, who feel as if bears are attacking their cave. Watch out for another major stumbling block: They

may not understand the reason for the change, according to Mark Harris, OD consultant at Harris Development Group L.L.C. in Deerfield, Ill. Conflict consultant Jim White of JL (sic) White International Inc., in Monterey, Calif., adds that some individuals may lack the energy for change. Their fear and anger may well suggest, Long points out, that they're overwhelmed while they try to process what's happening. Their productivity goes down.

## PERSON-TO-PERSON

Your first instinct might be to confront the attacks head-on, particularly if you find them the dominant issue. Long advises blunting them by capturing their hearts and minds, not just telling them to obey, (by speaking) openly and constructively with the ones attacking you. This will likely bring the attacks to a standstill and give you a running start at building teamwork. Be certain to listen.

Another method is to communicate that you want the attacks to stop by finding out what's causing them.

Acknowledge their feelings, Harris states, by saying something like, "Obviously, this must be very uncomfortable. You sound upset. Then speak unemotionally and without being judgmental so you can determine what they find offensive. Maintain the focus upon underlying issues."

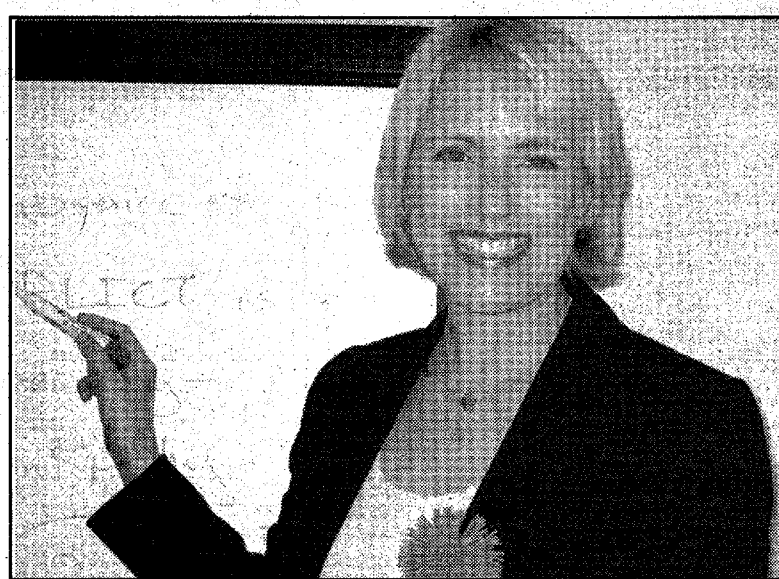
Cadden, of Quinnipiac, offers a more straightforward, all-inclusive process, when you and the team are at

loggerheads. It involves guiding the attackers so that they can articulate a solution to the overall problem, the one at the root of the conflict. This would seem to be an extremely fruitful approach when working with people with whom you have tremendous personal differences. Cadden advises beginning by differentiating between the symptoms of the problems and their fundamental source. Become very clear about that source so you can communicate it to the others.

Know what you really need out of this process (and then) what you want, he states. Do the same for the warring faction.

If they're wildly different, he suggests, ask yourself what common goal would be acceptable to the others. Have the others come up with that system suggestion so they can view it as their own.

The last directive might appear to involve sleight-of-hand, but it doesn't. Its success depends upon the team's grasp of



Jennifer Long delivers a training seminar called "Successful Addressing Conflict".

the underlying problem and your ability to lead them to possible solutions. You must guide the process to resolution.

Long sums up the situation by predicting that more change will result and that these techniques offer an opportunity to experiment in extremely difficult situations. If they work, you may be able to accelerate the change. It's never too soon to prepare for the next call for change.

(Dr. Mildred L. Culp is an award-winning journalist. Copyright 2006 Passage Media.)

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Become a Certified Heating/Air Conditioning Tech in 30 days (EPA/OSHA certification). Offer Financial Aid/Job Placement Assist. Call M-Sunday 800-341-2571

## HVAC

Exp'd Technicians & installers needed, we've been around for 49 years check us out and see why. 248-348-4242  
Dan Wood Plumbing & Heating Services, Inc

## JANITOR

Local northwest suburban ice arena has an opening on their janitorial staff. We are looking for a responsible self starter with some janitorial background. This is a fulltime position with minimal travel between two facilities in Livonia. You will be responsible for maintaining the cleanliness of the locker rooms, showers, restrooms, lobby and spectator seating as well as concession stands. Back ground screening is req'd. We offer a competitive wage plus benefits. Call 734-422-5172

## JANITOR- PART TIME

Needed 5 days a week \$8.00/hr. Please fax resume to 734-534-0310

## JANITORIAL, Mon-Fri.

3pm-7pm. or about. Trash, vac cum, mop. Experienced. (734) 424-9247

## JOURNEYMAN PLUMBER

With 10 yrs exp: Water Heater, Boiler & Boiler control knowledge. Please Fax resume to 734-455-8869

## JULY OPENINGS

Excellent pay, flexible schedules, sales/service, no exp. required, conditions apply, ideal for students ages 17+  
(248) 426-4405

## FIRE ALARM INSTALLER

REDFORD  
Benefits. Pay based on exp. Fax resume to 313-255-9898

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## GOVERNMENT JOBS

Earn \$12-\$48 per hour  
Full medical/dental benefits  
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## HAIR STYLIST & NAIL TECH

Commission or rental.  
Hiring bonus + perks.  
Livonia: (734) 812-1233

## HAIRDRESSER NEEDED

Immediate opening. Better Clips 20281 Middlebelt Rd. Livonia. Hourly pay & profit sharing. Clientele waiting.  
248-477-9440

## HOUSE CLEANING

MOLLY MAID IS NOW HIRING  
Good pay. No weekends or evenings. Paid training. Co. car. Weekly pay. Positive atmosphere. Come in today!  
32437 Schoolcraft, Livonia.

## HOUSEKEEPERS

Part-time, day hours for American House Senior Living in Northville. Please apply in person: 42000 Seven Mile Rd., Northville.

Help Wanted-General 5000

## LEASING AGENT

Apt. community in Southfield looking for sharp, organized & dependable individual who enjoys working with people to join our leasing team. Customer service and computer knowledge helpful. This is a full time w/competitive pay & benefits. Fax resume to 248-557-0906. EOE

## LIFE & DISABILITY REP.

FULL-TIME - EXPERIENCED  
Wanted for quoting & service. Wage plus benefits.  
Fax resume to: 248-675-4520

## MACHINE SHOP HELPER

Day Shift, full time. \$8.75/hour. duties include deburring, cleaning parts and inventory control. At least 3 months shop related experience required. Basic computer skills helpful but not required.

## Benefits include Profit sharing/401(k); health, drug, dental, short/long term disability, and life insurance; vacation, and sick/personal days. Shop, air conditioning. Located near 10 Mile and Grand River. Resumes will be accepted until 5 pm 8/1/06. EOE

FAX to 248-426-5631 OR e-mail to HR@acecontrols.com

## MACHINISTS

Areas most advanced Machine Shop looking for high skilled workers. Openings in:

## CNC LATHE

## CNC MILL

## INSPECTION

Days, Overtime. Air Conditioned. Paid Medical, Benefits. Delta Research  
32971 Capitol St., Livonia  
For interview: 734-261-6400 or fax resume: 734-261-0909  
www.deltarecorp.com

## MAINTENANCE

Needed for Plymouth apt. community. Must have minimum of 2 years experience in carpentry, electrical & HVAC. Must have strong leadership capabilities, a valid driver's license and ability to pass a background check. Apt. available after 30 days, incl. benefits and advancement opportunity.  
Fax resume to Denise at: 248-569-1508

## MAINTENANCE

Person needed for Farmington apt. community. Must have experience in carpentry, plumbing, electrical & HVAC. Position requires on-call responsibilities. A criminal and driving check will be run prior to employment. Apt. available after 30 days, includes benefits and advancement opportunity.  
Call (248) 476-8080.

## MAINTENANCE TECH

Full time position with apt community in Farmington Hills. Must have own tools. Please apply in person 248-474-4400

## MAINTENANCE TECH WESTLAND AREA

Must be HVAC certified. Please fax resume to 734-729-8431

## MAINTENANCE TECHNICIAN

Full time for Farmington Hills Apt. complex. Carpentry, plumbing and electrical experience required. Must have own tools. Please fax resume to 248-442-7510.

## PAINTER

Apt. painter. Own tools & transportation. 734-699-9871

## PRESS BRAKE LEADER

\$16-\$17/hr., exp. required. Must be able to set up own job. Full time with good benefits.

## Apply in person:

Sure Fit Metal Products  
30990 Industrial Rd.  
btwn. Middlebelt/Morrim  
Livonia 734-522-9310  
or fax resume to:  
734-522-1454

## PROPERTY MANAGER

Exp. w/seniors and book-keeping, property management and/or real estate backgrounds desired. Managing a senior living facility for American House Senior Living Residences. Salary & Benefits open and based on exp. Send resume to: Barbara Barrel at: ahrresumes@comcast.net

## RESEARCH ASSOCIATE

Part-Time  
Boyden Detroit  
Michigan's largest retained executive search firm is looking to expand our staff. We are currently seeking candidates for a Research Associate position to be located in our Birmingham, Michigan office. Candidates must be able to work a flexible schedule (16 to 30 hours/week). Qualified applicants should have a minimum of three years' business experience, excellent verbal and written communication skills and the ability to work on a variety of projects simultaneously. If you feel you meet these qualifications, please send your resume and salary requirements to:  
Barbara A. Swan  
Research Director  
Boyden Detroit  
344 N. Old Woodward, Ste 304  
Birmingham, MI 48009  
bswan@boyden.com

## SCREW MACHINE OPERATORS

With 3-5 years exp. Exc. pay. 734-464-6856 Leave message

## SEWER: Experienced for embroidery company. Part-Time. Email resume: info@americanembroidery.org

## SHOP HELP

Steel Industries Inc. is currently looking for the following positions: Heat Treat Operators, dayshift, and Press Helpers, day and afternoon shifts. Candidates should have some manufacturing exp. Must be able to read a tape measure and have basic math skills. Hi-lo exp. is a plus.

## We offer a competitive salary and benefits. If interested, apply in person Monday-Friday, 9:00 am to 4:00 pm @ 12600 Beech Daly Road, Redford. No telephone calls. EOE

## SPA COORDINATOR

Benefits, hourly + commission. Exp. necessary! Spa Juliana, 444 S. Main St., Plymouth

Help Wanted-General 5000

## MAINTENANCE TECHNICIAN

Multi-family apartment community located in Westland area seeks full time maintenance technician immediately. Experience in all facets of maintenance, including electrical, plumbing and grounds. HVAC experience preferred. Must have basic set of tools for use on the job. Competitive Salary & Benefit package. Fax resume to: 734-728-0917 EOE/EHO

## Maintenance Technicians

We have full-time Maintenance Technician positions available at our Plymouth location. Ideal candidates will have 2+ years experience repairing and maintaining high speed filling and packaging equipment. Strong mechanical and electrical troubleshooting skills required. Allen Bradley PLC experience a plus. Technical certification or degree preferred. We offer a competitive benefits package. Send resume to Maintenance Tech. E-mail: hr.manufacturing@hotmail.com or mail: P.O. BOX 701248 PLYMOUTH, MI 48170 fax (734) 416-3810 EOE

## MECHANICS

Plymouth area trucking company is looking for reliable mechanics. Exp with tractor trailers. State or ASC certification in heavy trucks and/or CDL A certified or the ambition to achieve these qualifications. Fax resume to 734-455-9457

## MILL HAND

Tool & fixture work. CNC/Proto trk/heavy mill. 5 yrs exp. Days, benefits. 734-522-4780.

## Mortgage Accounting Clerk

Mortgage accounting exp. required. Must be proficient in use of Microsoft Office. Full-time position. Fax resume to: 248-355-0589 or email: pgroosbeck@mvs-mortgage.com

## NAIL TECH

Needed for salon in Plymouth &/or Northville. Ask for Kim 734-459-4001

## NAIL TECHS WANTED

Commission or booth rental available. Starting Sept. 1. Please call: (313) 510-2514

## Oil Change Technicians

10 Minute Oil Change experience or will train. Full 8/0r part-time. Apply in person: 34680 W. 8 Mile Rd., Farmington Hills. 1/2 mile W. of Farmington Rd. 248-476-1313

## PAINTER

Apt. painter. Own tools & transportation. 734-699-9871

## PRESS BRAKE LEADER

\$16-\$17/hr., exp. required. Must be able to set up own job. Full time with good benefits.

## Apply in person:

Sure Fit Metal Products  
30990 Industrial Rd.  
btwn. Middlebelt/Morrim  
Livonia 734-522-9310  
or fax resume to:  
734-52





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## Help Wanted-Dental 5040

**ORTHODONTIC ASSISTANT**  
Dependable, detail oriented person with great attitude. Part-Time. Experience necessary. Commerce Twp. Fax resume to: (248) 360-7879

## RECEPTIONIST/ OFFICE MANAGER

F/T, Dental exp. req. Livonia office. 734-674-7728

## Help Wanted-Medical 5060

**BUSY OPHTHALMIC PRACTICE**  
with multiple physicians/locations seeking 2 new team members. Great benefits, competitive wages. Fax resume 248-647-5604.

**CHARGE NURSE PM & MIDNIGHTS**  
Full & Part-Time. Contingent, Sing On Bonus, Flexible Hrs. Great Team.  
Call: (734) 284-4620

**COA COT-PART TIME**  
3 days per week. Exp'd. Refraction A. scan. Both Canton & 13 Mile & Telegraph offices. Call Kay 248-433-3639

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RN for Staff Training & Infection Control.  
**NEW OWNERSHIP**  
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Sign-On Bonus & Flexible Hrs.

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AT  
careerbuilder.com

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## Help Wanted-Medical 5060

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Angela Hospice

**REGISTERED NURSES**  
Full Time  
40 Hours  
Home Care

**REGISTERED NURSE**  
Full Time  
Weekends  
On-Call Services  
Fax: 734-779-4601  
or visit website:  
www.angelahospice.org

**MEDICAL ASSISTANT**  
Fulltime. Exp req in all aspects of family practice, including X-Ray. Competitive pay & benefits. Fax CV to 248-474-1066 or Call 248-722-9540

**Medical Assistant**  
3-4 days p/week for pediatric office in Novi. General office skills. 2-5 yrs exp. Must know how to administer vaccinations. Fax to 248-348-4772

**MEDICAL ASSISTANT**  
Experienced, full or part time. Please Fax resume to: 248-851-3830

**MEDICAL ASSISTANT / RECEPTIONIST**  
For urgent care. Must have experience. Fax resume to: 734-844-9550.

**MEDICAL BILLER**  
Proven Exp. is a must. Neurology practice in Taylor. Fax resume to: 772-325-0165

**MEDICAL RECEPTIONIST Internal Medicine**  
Full time. Competitive pay, benefits, short-term disability. Exp. preferred. Mail Resume to: 990 W. Ann Arbor Trail, #207, Plymouth, MI 48170

**Medical Office Receptionist**  
Livonia AL. Exp'd people motivator, energetic, responsible. Excel a must. 248-212-4740 Email to: LPWAD@AOL.COM

## Help Wanted-Medical 5060

**MEDICAL RECEPTIONIST**  
Experienced for busy medical office in Novi. Excellent pay, benefits. (248) 926-6673

**MEDICAL RECEPTIONIST**  
Front Desk, Experienced, Full or Part-Time. W. Bloomfield Allergy Practice. Fax resume (248) 626-2248

**MEDICAL RECEPTIONIST**  
part time for Farmington Hills Podiatrist office. Call Joann: 248-855-6888

**MEDICAL RECEPTIONIST & MEDICAL ASSISTANT**  
For afternoon or evening shift. Fax resume to (734) 522-6114

**MEDICAL BILLER:** medical office in Novi. Some exp. needed. Must be hard working & professional. (248) 926-6673

**OPHTHALMIC ASSISTANT/TECH**  
Full time position in established clinic. Compassionate professional needed with minimum of 1-year experience in ophthalmic assisting. Strong communication skills necessary. Competitive salary with excellent benefits package. No weekends. Please fax resume to Karen at 313-274-7544.

**OPTICIAN/DISPENSER**  
Tired of retail hours? Join our quality driven independent eye care practice. Please call Val: (734) 421-5454

**OPTICIANS**  
Full & Part time. Plymouth. Fax Resume to: 517-548-3838.

**PHYSICAL THERAPIST**  
Full-Time. Wayne County area. Call: 734-844-0800 or Fax: 734-844-0808

**RECEPTIONIST/MANAGER**  
Parttime for CVI office in Farmington Hills. Call 248-635-5507

**RN**  
Outgoing self-assured RN to give vaccinations & provide information for travelers. Part-time. Flexible hours. Training provided. (248) 851-5633 Fax: (248) 851-5634

**RN/LPN**  
West Bloomfield Allergy Practice. Full or part-time. Fax resume to: 248-626-2248

**FIND IT ONLINE**  
HOMETOWNLIFE.COM

## Help Wanted-Medical 5060

**STILL SEARCHING?**  
LOOK  
For  
Career Marketplace  
on the front cover of the Employment section for more careers!  
Observer & Eccentric

**SURGICAL TECHNICIAN**  
Busy infertility clinic & surgery center located in Rochester has an immediate opening for a contingent/part time surgical tech. Applicants must be self motivated, able to multi-task and work independently. Please fax or email resume to 248-844-9127 or JVFMichigan@yahoo.com

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**TRANSCRIPTIONIST**  
Flexible hours, great pay, exp. in medical transcription preferred. Send resume to Box 1398, Observer & Eccentric Newspapers 36251 Schoolcraft Livonia, MI 48150

**VETERINARY ASSISTANT**  
Experience preferred. Full or Part time. Call 248-478-5400

**VETERINARY TECHNICIAN**  
High-quality practice looking for experienced technician to join our team at our beautiful high-tech facility. Cherry Hill Animal Clinic, 211 Newburgh, Westland, 48185. Call Barb at: 734-632-0185 Fax: 734-326-3841 or Email: bmacdonald@ameritech.net

**BAKERS ASSISTANT**  
For upscale bakery. Fast paced position. Finishing pastries and packaging. Must have bakery exp. Call 313-563-5161

**BARTENDERS**  
Permanent, part time, exp'd. For nights & weekends. Apply Mon-Fri., 2-4 at: Four Friends Bar & Grill 44282 Warren Rd., Canton.

## Help Wanted-Food/Beverage 5080

**BENNIGAN'S GRILL & TAVERN IN PLYMOUTH**  
For a limited time we are hiring for the following positions:

**Host Staff**  
**Line Cooks**  
**Servers**  
Some exp. helpful, positive attitude a must.  
Please apply in person, no phone calls. 40441 Ann Arbor Rd. Behind Don Massey Cadillac and Steak and Ale.

**COMERICA PARK Sportservice**  
**JOB FAIR**  
Mon, July 31  
10am-2pm

Eastpointe Community Ctr 16435 E. Eight Mile Rd Eastpointe, MI 48021

•Concession Cashiers  
•Vendors  
•Commissary/  
Housekeeping Workers  
•Retail Cashiers  
MUST bring ID.  
Must be 18. M/F/V/D.

**COOK** -Small family restaurant in Northville, PT to start. Some exp. Good pay. Health ins. avail. Call 734-420-2141

**COOK WANTED(Coney Island)**  
Exp'd Excellent wages. Plato's Place in Garden City. Apply in person or Call 734-751-6913

**Cooks/Pastry Chef Needed**  
Private Dinner Club in Farmington. Must have experience. Call 248-477-1000 Leave voicemail for the Chef

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Career Marketplace  
on the front cover of the Employment section for more careers!  
Observer & Eccentric

**LITTLE ITALY** of Northville  
Now Hiring: Experienced Servers, Kitchen Help, Bartenders & Bussers. Apply within: 227 Hutton. (248) 348-0575

## Help Wanted-Food/Beverage 5080

**Hilton Garden Inn Plymouth**

Is now accepting applications for:

• Servers  
• Cooks  
• Front Desk Agent  
**Experience Preferred**  
Apply in person at: 14600 Sheldon Rd., Plymouth MI  
Phone: 734-354-0001 Fax: 734-354-5121

**PREP WORK**  
Part time. Some exp req. Retirees welcome. Located in Dearborn Hts. 313-274-1730

**Restaurant Management**  
**Unit Managers**  
**Shift Managers**  
Expanding Livonia Franchise  
19311 Farmington Road (North of 7 Mile Road)  
Fax: 248-478-3037 or Email Resume to: livoniamcd@aol.com  
Teresa or Wanda  
248-478-4691

**SNACK BAR, PARTY HOST, LANE ATTENDANT & BAR / WAITRESS**  
Needed. Apply in person. Merri-Bowl Lanes 30950 Five Mile Rd., Livonia, MI, 48154

**WAITSTAFF**  
Apply in person Farwell & Friends Restaurant, 8051 Middlebelt btwn Joy Rd & Ann Arbor Trail. 734-421-6990

## Help Wanted-Food/Beverage 5080

**SERVERS**

**Immediate Openings**  
Part-Time  
Flexible Hours  
Breakfast, Lunch, Dinner  
Weekdays & Weekends.  
Training available.  
An opportunity to serve the senior citizens of the Farmington Hills area.  
A great job... better than fast food.  
Apply at:  
Grand Court Farmington Hills 38550 Grand River Farmington Hills, MI  
No Phone Calls.

**SERVERS & BARTENDERS**  
Exp. Fine Dining "Shiraz Steakhouse"  
Apply in person  
248-645-5289  
30100 Telegraph (between 12 & 13 Mile)

**WAIT STAFF**  
For family run restaurant in Livonia. Smiling faces only with upbeat attitude.  
Call: 734-748-3685

**WAITSTAFF**  
Apply in person Farwell & Friends Restaurant, 8051 Middlebelt btwn Joy Rd & Ann Arbor Trail. 734-421-6990

## Help Wanted-Food/Beverage 5080

**WEDDING CAKE ICER/DECORATOR**

Must have professional exp in wedding cake design for upscale bakery specializing in wedding cakes. 313-563-5161

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**WELL BREAD Services**  
COMERICA PARK  
**LINE COOK**  
**HOURLY CHEFS**  
Must have 3-5 yrs exp. FAX Resumes ONLY to: 313-471-2699 Attn: M. Szubecak

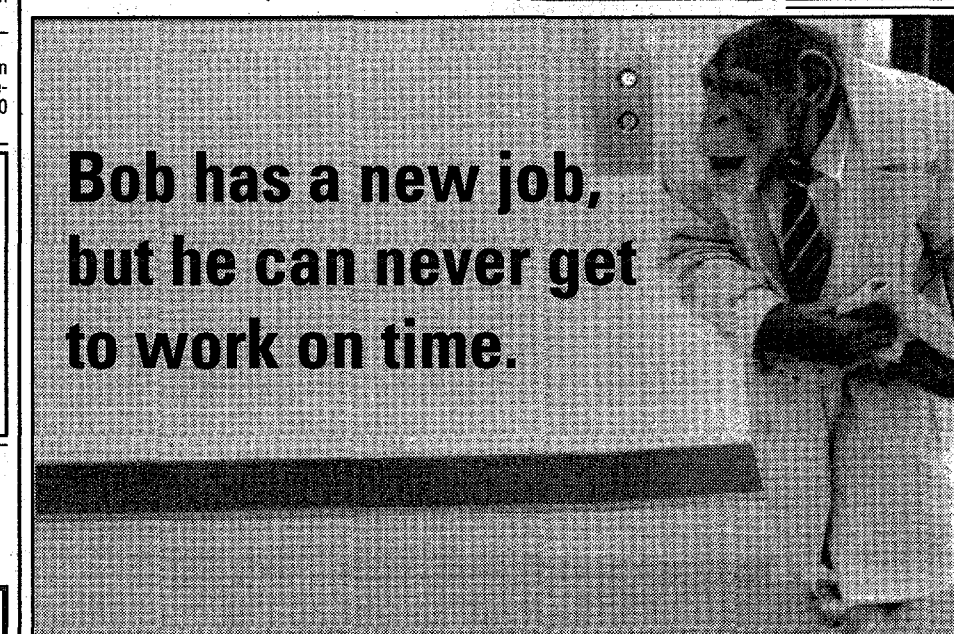
## Help Wanted-Professional 5110

**MARKETING PROJECTS COORDINATOR**

Full-time position for a creative and progressive thinker available immediately in an innovative marketing department. Skills required include: strong organizational, project coordination, editing, and proofreading. Ability to multi-task a must. Duties include: assisting with various design work, website updates, customer interaction and miscellaneous marketing tasks. Must be proficient in Quark, Photoshop, Illustrator and PowerPoint. Some travel possible.

Please forward resume and salary requirements to: jobs@arfuel.com Fax: 775-213-3742 or mail: Human Resources, Arfuel Corporation, PO Box 1387, Ann Arbor, MI 48106-1387.

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**WANTED**  
**FULL TIME**  
**Sales Assistant**

Based out of our Livonia office, this position provides support to our sales reps. Good potential for career growth. High school diploma (some college preferred) or equivalent required, with 6 months to one year general office experience. Excellent customer service, communication and computer skills are essential, with ability to accurately type 35-40 wpm. We offer a great work environment plus excellent benefits.

Please submit resume to: (preferred) email: employment@hometownlife.com

THE  
**Observer & Eccentric**  
NEWSPAPERS

36251 Schoolcraft Rd, Livonia, MI 48150  
fax: 734-953-2057

Please reference job code: SA06.15

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**Adult Carriers Needed**

**WAYNE COUNTY**

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Deliver newspapers two days per week on Thursday morning and Saturday evening in the Wayne County area.

**(734) 953-2242**

**Ask For Carol Miller**

OE08453876

**CAREER MARKETPLACE**

**CREDIT SPECIALIST**

The award-winning Observer & Eccentric Newspapers has a full-time opening for a Credit Specialist in its Livonia office. The Credit Specialist is responsible for contacting and collecting on delinquent accounts, researching customer payments and invoicing, and other related tasks.

Our Credit Specialist will need two years of previous collection experience; should be able to reconcile advertiser account balances; will exhibit top-notch written and organizational skills; and be proficient in a Microsoft Office environment. The successful candidate will also have a general understanding of collections and credit principles, and will possess an excellent phone manner. This is a multi-tasking position that requires the ability to work independently and will interface with all levels of management.

Previous experience working with PBS accounting databases and a bachelor's degree in business or a related field are preferred, but not required.

Interested applicants may submit their resume and salary requirements (referencing Job Code CS0613) by:

E-mail (preferred): employment@hometownlife.com

Mail: The Observer & Eccentric Newspapers Human Resources Department 36251 Schoolcraft Road Livonia, Michigan 48150

Fax: 734-953-2057

OE08456230

The Observer & Eccentric Newspapers is committed to diversity and is proud to be an equal opportunity employer.

**MAINTENANCE TECHNICIANS**

We have full-time Maintenance Technician positions available at our Plymouth location. Ideal candidates will have 2+ years experience repairing and maintaining high speed filling and packaging equipment. Strong mechanical and electrical troubleshooting skills required. Allen Bradley PLC experience a plus. Technical certification or degree preferred. We offer a competitive benefits package.

Send resume to: Maintenance Tech  
E-mail: hr\_manufacturing@hotmail.com  
or mail: P.O. BOX 701248  
PLYMOUTH, MI 48170  
fax: (734) 416-3810 EOE

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• Plymouth Larry Wyatt 734-420-5555  
• Berkley Steve Szpiech 248-546-6500  
• Commerce Twp. Mike Iagnemma 248-960-1990

OE08456278

**Sales Service Specialist - Trainees**

Full service Beverage/Refreshment Company in Plymouth is looking for talented individuals to sell and service established routes.

Requirements for this position include excellent customer service skills, sales skills, a good driving record and the desire to grow within our company. This is an entry-level position with advancement opportunities available.

**please mail your resume to**  
Attn: Sales Service Specialist Trainee  
PO Box 701248, Plymouth, MI 48170  
or fax: (734) 416-3810 or  
e-mail: hr\_manufacturing@hotmail.com

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living you've never seen  
before. In a pair of mag-  
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stature and elegance are

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on Sunday, July 30th, 11am – 6pm  
featuring virtual golf swing analysis and unimaginable confectionary  
creations. Refreshments will be served from 11am – 4pm.  
3072 Alpine Dr., Troy, MI

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By Tenisha Mercer  
Avanti NewsFeatures

The CX-7, the first sport utility vehicle derived from an all-Mazda platform, made its debut this spring, but we couldn't help but thinking: What took so long?

Designed from Mazda 6 and Mazda 3 suspension and engine parts, the 2007 Mazda CX-7 is a crossover vehicle that blends car attributes and SUV cargo features. Similar to a sports car, there are form-fitting bucket seats, a high-mounted shifter and a stylish, three-dial instrument cluster.

But there are cargo-like features, too, such as folding rear seats.

Engineered with Mazda's Zoom Zoom theme, the CX-7 combines bold aerodynamics, speed and style. With a base price of \$24,310, the CX-7 is distinct and looks a lot more expensive than it really is.

Part sport utility vehicle, part sports car, this is not a SUV for the faint of heart. The CX-7's sloping, 66-degree windshield is as sleek as most sport cars.

Strong lines run through the A-pillars and along the hood's edges and front fascia.

A five-point grille and bold front fenders are similar to most Mazdas.

From the side, there is a rising belt line, a curved roof and a prominent fender. From the rear, round tail lamps and dual exhaust outlets extend the sports car features. Although the design is what draws you in, the performance makes the CX-7 a keeper.

Meshering performance and a distinctive appearance, the CX-7 is refreshing to look at and fun to drive. The CX-7's powertrain is based on the Mazdaspeed 6, with a four-cylinder, 2.3-liter engine with 244 horsepower and 23 miles per gallon.

A new turbocharger with enhanced throttle response at a low rpm cuts boost lag. Nudge the throttle and you get acceleration that rivals a much larger engine.

You can't overlook the CX-7's sportiness. Inside, the instrument panel is patterned after a double roof with a small roof over the meter cluster in front of a large roof that cuts across the entire instrument panel.

A three-spoke steering wheel and sculpted bucket seats give the CX-7 a high-quality feel. The interior

Advertising Feature

## Thursday DriveTime



The 2007 Mazda CX-7 is a crossover vehicle that blends car attributes and SUV cargo features.

design is detailed, with two-tone trim that extends from the front doors to the cargo space.

There's enough room for five passengers, and a rear seat that splits and folds allows drivers to maximize cargo space. The cargo floor is 70 inches with a flat load surface. Using the rear seat, the cargo length is 39 inches.

There's also a glove box, floor console and door pocket design that are flexible enough to accommodate different items. The center console can hold a small laptop, and there is space for sunglasses and coins. Front door pockets can hold beverage bottles.

Keeping with its sports car theme, shifting on the six-speed Sport AT automatic transmission is crisp.

The CX-7 offers drivers the choice of a front-wheel drive or an active torque split all-wheel drive, which uses a computer with the rear differential to deliver as much as half of the available torque to the rear wheels.

Anti-lock brakes and a Dynamic Stability Control system enhance torque and handling during different driving conditions.

Crafted from a light, stiff body, the CX-7's delivers a smooth ride and nimble handling with tight, precision like steering.

Mazda's Advanced Impact Energy Distribution and Absorption System helps protect occupants during front, side and rear crashes.

Bolstered by high-strength steel, the CX-7's large and straight frame help absorb crashes.

There's plenty of entertainment options, including an optional Sirius satellite radio and touch screen DVD navigation system with voice commands and rear cameras. A premium BOSE sound system that is

equipped with nine speakers and a six-CD changer is also available.

The CX-7 is available in three trims, but six air bags, anti-lock brakes, Dynamic Stability Control and a Traction Control System are standard.

The touring edition adds leather to the seats, steering wheel and shift knob, heated and power adjustable driving seats and a retractable cargo cover.

A Sport Model is sold, as well as a top-of-the-line Grand Touring with a black sport seat stripe, high intensity headlamps, fog lamps, body colored mirrors, chrome door handles and automatic interior climate control.

Mazda isn't marketing the CX-7 to the typical SUV segment — families with kids — but I don't see any reason why families with kids wouldn't sport this vehicle. It's got sport and style written all over it, so much so that Mazda bills the SUV as the soul of a sports car.

The CX-7 is the first of three crossover vehicles that Mazda plans to unveil in North America, but if the crossover is any indication, the automakers' efforts should be successful because it appeals to a wide market.

Write auto columnist Tenisha Mercer at [avanti1054@aol.com](mailto:avanti1054@aol.com) or <mailto:avanti1054@aol.com>. @2006, Fracassa Communications.

2007 Mazda CX-7  
Vehicle class: Five passenger sport utility vehicle.  
Power: Four-cylinder engine.  
Mileage: 18 city / 24 highway 4WD.  
Where built: Japan.  
Base price: \$23,750 for Sport Model.

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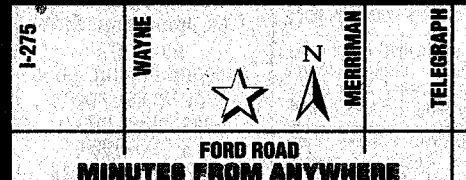
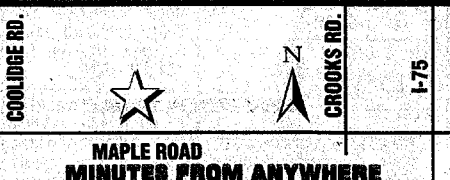
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**7100 Estate Sales 7100**  
**NORTHVILLE** Thurs., 12-6: Fri. & Sat., 10-3, 42284 Ludlow Ct., 5 Mile, N on Bradner. For info & photos, www.classicestate.net  
**PRESTIGE ESTATE SALE** Fri & Sat, July 28-29, 10-4 1255 VILLA, BIRMINGHAM E. off Adams Rd., 2 blks S. of Maple Rd. Former antique dealer's sale! Welch dresser circa 1830s, chairs, sofas, chests, lamps, primitive corner cabinet & trunk, mirrors, bdrm set, silver, crystal, brass, books, patio, tools, appliances, more! 586-662-7373  
**7100 Estate Sales 7100**  
**ROCHESTER ESTATE SALE** July 28th & 29th, 9-4 428 TAYLOR S off University Small home, great sale! Grandfather clock, tools, waterbed, refrigerator, enamel table, clothes, jewelry. COLLECTIONS: music boxes, lighters, cups/ saucers, postcards, & gunball machines. Also crystal, milk glass, many antiques & much more.  
**SALES BY HERITAGE** #s 8am  
Sell it all with Observer & Eccentric 1-800-579-SELL

**7100 Estate Sales 7100**  
**ROYAL OAK ESATE SALE** July 28-29 from 10AM-4PM 923 Englewood, W. of Hilton, N. of 13. Visit: www.americanestateales.com for details or call (248) 739-4197  
**WESTLAND - Thurs-Sat, 8am-4pm.** Collector's items, antique furniture, kitchen items, women's clothing size 14-16, craft items. 1410 Marie St., E. of John Hix, N. of Palmer.  
**WHITE LAKE ESTATE SALE 3 DAYS ONLY** July 27-29, 10-4pm. EVERYTHING MUST GO!! LUXURIOUS FURNISHINGS: Estonia baby grand piano, formal dining room table with 8 chairs, kitchen table with 6 chairs, master bdrm set, baker's rack, ornate Venetian mirror, chenille couch, Carrington Hill mauve leather couch w/matching leather chairs, bar stools, chairs, art & household furnishings. TOO MANY TO LIST!! 10755 OXBOW  
**LAKESHORE DRIVE:** 3 miles west of Williams Lake, off M59, to Teggedine, 2 streets south to Oxbow Lakeshore Drive. No reasonable Offer Refused!!  
**FOR MORE INFORMATION CALL (248) 787-9437 Mark**  
**7100 Estate Sales 7100**  
**ARMORE - Cedar, with hard** wood laminate, very good cond., 62" high, 59" wide, 22" deep. Must sell! \$225/best. 734-266-9197  
**7100 Estate Sales 7100**  
**BED - 1 SET, 2 PIECE, QUEEN PILLLOW TOP MATTRESS** New in plastic, sell \$125. 734-891-8481, Can Deliver.  
**7100 Estate Sales 7100**  
**BED - 1 SET, 3 PIECE KING PILLLOW TOP MATTRESS** New in bag, only \$195. Deliverable. 734-891-8481  
**7100 Estate Sales 7100**  
**BED - A BRAND NEW PILLLOW-TOP KING SET** In plastic, must sell! \$175. Can deliver. 734-231-6622  
**7100 Estate Sales 7100**  
**DINING ROOM SET** Thomasville Cherry, w/6 chairs, buffet, china server. Custom pads. Exc. cond. \$1000. (248) 375-1656

**7100 Household Goods 7160**  
**BED - Full-size Mattress Set** New, still wrapped, with warranty, sacrifice \$100. Call 734-891-8481  
**Contemporary Oak Entertainment Center** Five sections, lighted display, 109x76x22, \$1300/best. 248-569-1223  
**COUCH - 3 SEATER** 2 seater loveseat. Queen Anne chair & ottoman. Blue w/ wood trim. \$250; Futon w/ wood trim & 2 mattresses. \$150. (248) 553-8213  
**DAY BED** white frame, 2 twin mattress, exc. cond \$465. 248-661-8278  
**BED - A BRAND NEW PILLLOW-TOP QUEEN SET** In plastic, must sell! \$115. Can deliver. 734-231-6622  
**DINING ROOM SET** Oak, country-style, table, 6 chairs, extension leaf, matching hutch with display lighting, new cond. \$350. 734-453-9566, 734-634-1476  
**DINING ROOM, 8 pc., \$300;** spinning wheel, tea cart, antique sewing machine. 248-596-0969  
**DORM LOFT Double.** Mint! Used 1 yr. Custom built. Sande & sealed. Allows max. floor space. \$250. 734-261-6534  
**FOR SALE** Table w/ 6 chairs, china cabinet w/ Credenza, cherrywood, formal, beige velvet cushions very good cond. \$1200/ all. 734-421-9132.  
**FURNITURE** Entertainment center, bdrm set, misc. furniture. Like new! Call (248) 358-1147 for info.  
**FURNITURE** Sofa, burgundy/ green/ blue plaid, \$300; pair of wing-back chairs; \$250; chair w/ ottoman; \$175; sofa table, \$50. All like new. (248) 652-3042  
**FURNITURE** Queen size bed-room set, black lacquer w/gold trim \$400; dining room set, 4 chairs & 2 captain chairs \$400; etagere - brass w/5 shelf \$150; brass & glass coffee table \$100; wood-bank beds (can separate to twin beds) \$75. 248-802-3747  
**MOVING SALE - Thomasville** bdrm set, Drexel dining room set, 32" screen TV, leather sofa, Romance series Royal Oulton "Diana" petite china (service for 8), like new. Reasonably priced or best offer. 734-459-8985  
**FURNITURE** Queen size bed-room set, black lacquer w/gold trim \$400; dining room set, 4 chairs & 2 captain chairs \$400; etagere - brass w/5 shelf \$150; brass & glass coffee table \$100; wood-bank beds (can separate to twin beds) \$75. 248-802-3747  
**MOVING SALE - Thomasville** bdrm set, Drexel dining room set, 32" screen TV, leather sofa, Romance series Royal Oulton "Diana" petite china (service for 8), like new. Reasonably priced or best offer. 734-459-8985

**7100 Household Goods 7160**  
**FURNITURE** Bedroom suite, Lexington, Queen-sized, oak, 7 piece, exc. cond. \$3500  
Childs Ethan Allen bedroom set, white Formica top, solid maple, 10 pieces: 3 dresser, 2 armoire, desk, nightstand, bookshelf, chair, bed. Good cond.  
Two Victorian-style loveseats, Red Baroque. \$600 each. Call Michael or Sue, (248) 449-7964  
**FURNITURE** Dining room table (Hendredon) w/2 leaves, sofa, 2 chairs & 2 end tables. Fair price. 248-455-5213  
**LEATHER COUCH** Chair, ottoman set, brownish/black like new, \$485, & desk/best 313-533-9878 / 313-333-6763  
**MISC. ITEMS** - 3 piece Lexington entertainment center, cherry, includes armoire/2 end units \$1200. Sherrill 44" round table with 4 chairs, wrought iron & cherry \$400. Slip covered tan chenille sofa with ottoman \$250. JBL 7 piece THX speaker system amp \$75. Sony 5-disc CD changer \$50. 248-203-9737  
**MISC. ITEMS** Proform Spacesaver Treadmill \$300; Lifestyle Treadmill \$70; Redwood "bunk bed" w/mattresses \$50; Tent sleeps 5 \$35. 734-524-5087  
**MOVING SALE - queen sofa** bed, coffee table, 2 end tables. Cherry wood china cabinet. Oak wood desk. Must sell quickly!! 248-561-6112  
**MOVING SALE:** Furniture under 3 mos. old. Bdrm set, living room sets, etc. \$6500 ea. set. 248-388-9580, Nirvan  
**OAK & CHERRY FURNITURE** End tables, bedroom set, kitchen table/hutch, dining room set. 248-601-2025  
**PATIO SET** Oval table, 6' x 3.5', 4 chairs, 4 cushions (dk green w/white stripes). Umbrella w/stand. \$499. 248-661-8278

**7100 Household Goods 7160**  
**PERSIAN RUGS** Top quality, hand woven, for sale by private owner. Very reasonable price, all sizes & colors. 100% wool and wool & silk mix. Installation payments avail. 248-357-3911, 313-838-7900  
**POOL TABLE** w/all accessories, \$500 or best offer. Freezer full size upright, \$500 or best offer. 734-728-0885  
**ROCHESTER HILLS- Moving,** Crate & Barrel slip cover sofa, Country French kitchen table, barstools, desk, home decor. Kids stuff. (248) 475-7863  
**SERTA PERFECT SLEEPER** Queen sized mattress set w/ deluxe frame, never used, in plastic, \$250 (was \$346); black futon bunk bed, twin on top, full bottom, rarely used. No mattress. \$100 for futon & cushion, \$80 for tuff (was \$318). (313) 377-8518.  
**SOFA BEDS (2)** 2 GOLD CHAIRS, 2 XL beds w/ frames, contemporary bookcase w/ light, marble coffee table, Henron dining table, w/ chairs, lift chair, more. Please call for appt., 248-561-9660.  
**SOFA, ETHAN ALLEN** Burgundy floral, exc. cond., like new. \$400. (734) 340-3494  
**SOLID OAK TWIN BED** with trunk bed. Dresser & mirror, two mattresses, \$300 734-455-9044  
**TYPEWRITER, ANTIQUE** Underwood, 11" color TV; 3 piece metal tables, picnic table w/ 2 benches. (248) 855-9585  
**WATERBEDS (2)** Complete! Two matching super-single waterbeds each complete with 6-drawer base, bookcase headboard, liner, heater, controller, mattress and all hardware. You just add the sheets! \$150 734-981-3180  
**Appliances 7180**  
**MISC.** Whirlpool heavy duty washer & electric dryer, \$350. Roper washer & gas dryer, \$300. Frigidaire refrigerator, like new 18.2 cu. ft., \$350. 734-546-3981  
**TV** Toshiba, TheaterWide, HD TV, 65" screen, 58" high x 53" wide x 29" deep, with custom stand, 26" high, hardly used, \$2000. Call The Frank Boos Gallery, 248-643-1900





# Market Place

Observer &amp; Eccentric

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## 7100 Pools, Spas, Hot Tubs

**HOT TUB** New in Box, with warranty. Colored lights, waterfall. Financing. Deliverable. \$1,975. 313-586-0008

**HOT TUB** Great Looking 6-person Hot Tub For Sale in Fowlerville. Runs Great, Like Brand New. 3 years old. Chemicals, cover, steps, manual included. \$2000/best. CELL 989-710-0029

## 7200 Bargain Buys

**KITCHEN HUTCH** Charming all wood w/ cream finish. Newer, w/ lighted glass top plus drawer, cupboard. \$325. 734-464-0584

## 7210 Living Room!

Sofa 3 piece sectional, color matched armchair, exc. cond. \$250 for sofa. \$100/ chair. 248-661-3595.

**Oak Dining Set** Like New! 6 chairs, leaf & oak table \$300, Graco Stroller/Carrier \$50, Cherrywood Changing Table \$50, Medela Pump in Style \$100 248-921-1221

## 7215 Exercise/Fitness Equipment

**PILATES Reformer** Bench Maple, includes accessories. Originally \$4000, sell \$2400. 248-723-0847

## 7310 Commercial/Industrial Machinery For Sale

**LOGAN LATHE** Porta mag, drill press, band saws, machinist/ power/ hand tools, hydraulic lifts. Must sell! (248) 545-8146

## 7310 MILLER GOLDSTAR 300 WELDERS

\$1200/best (248) 310-1056

## 7340 Electronics/Audio/Video

**ELECTROSTATIC SPEAKERS** Acoustat Spectra 22. Black cloth/ oak bases. 66" high x 21" wide. Sound fantastic! \$850. (313) 937-8989

**TWO 12" ALPINE RTYPE SUB WOOFERS** with box, 1600 Watt Legacy amplifier \$350/best 248-264-6201

## 7400 Hospital/Medical Equipment

**LIFT RECLINER** Mauve color, like brand new \$500 Firm! 734-455-2181

**SCOOTER & POWER WHEEL CHAIR CARRIER-UNIVERSAL** Bed is 48" long by 28" wide & can be mounted on all class 3 & certain class 2 hitchers, 3 straps, like new. Best offer. Call: 734-201-7702

**WHEELCHAIR, ELECTRIC** Used twice, like brand new, never left the house. \$1000 firm. (248) 651-9174

## 7480 Lawn, Garden & Snow Equipment

**LAWN EQUIP.**, riding mowers, tractors. Used, good cond. \$350-\$2000. ALSO small engine repair. (248) 673-1724

**LAWN MOWER: DIXON ZTR #4425** 46 cut. Exc. cond., never used commercially. \$975/best. (248) 347-4498

**SEARS** - 12.5 hp. lawn tractor, good condition, \$250/best. 248-624-8086

## 7490 Lawn, Garden Material

**LAWN TRACTOR** 1982 Wheelhorse Lawn tractor w/ mower deck, 2 cylinder engine, runs smooth, new battery. \$500/best. 734-664-0674

## 7500 Miscellaneous For Sale

**Contractor Retiring** 8' x 10' Fiberglass step ladders \$30 each. 3 Steel Gang boxes All in good condition \$100 each. Call after 5pm 248-437-0127

**DINING room furniture**, corner cabinet & hutch. Dishes (12 piece + extras). Chest. Lighthouses. Doll Stone collectibles. Exercise bike & misc. 248-477-6092

## 7500 INSTANT BUSINESS & INCOME POTENTIAL!

10 beverage vending machines (all or will split). Sell Red Bull, Coke, Pepsi, Starbucks Doubleshot. \$1950/ea, or best 248-318-9165.

## 7510 Musical Instruments

**CHARLES WALTER PIANO** 43" console, new '95, A-1 cond., cherry, private \$6,500. Sold new, \$9,000. 888-619-1557

**GRAND PIANO** - Steinway, ebony, M size, tip-top shape, beautiful sound mahogany finish, original owner. exc cond, \$6500. 248-495-5082

**GRAND PIANO** - Wurliitzer, 1950's, mahogany, finish in good cond, needs tuning, with bench. \$1500. 248-851-4031

**PIANO - SOMMER** Upright Grand \$1200. (734) 462-3648

**STEINWAY STUDIO 1939** Sheraton style. A-1 cond/ tone. One owner. Private. Asking \$5500. 888-619-1557.

## 7520 Sporting Goods

**BUSHNELL LASER RANGEFINDER** Pinseeker 1500 w/ slope. Like new! \$325. (248) 844-1042

**ELLIPTICAL MACHINE** Original cost \$2000 will sell for \$1,200/best. 20 hours only! 734-427-7785

## 7520 Sporting Goods

**ESTATE SALE** Mint cond. shotguns, 12, 20, 28, 410. Over/under, Lytic, rifles w/scopes, S/L 1000 P/W reloaders w/supplies (all gauges). 734-464-3819

## 7540 Wanted to Buy

**WANTED: SHOTGUNS, RIFLES, PISTOLS, TOOLS (HAND & POWER).** CALL ANYTIME, 586-216-6200

## 7550 Playground Equipment

**RAINBOW SWING SET** Eagle's Nest, 4 swings, sand-box, Exc. cond. \$950. You disassemble & take. SOLD

## 7580 Cats

**Kittens to good home.** 3 males, 2 females, black & white, dewormed & flea dipped. (734) 828-7279

## 7640 Dogs

**BEAGLE PUPS AKC** Purebred. 8 wks old. 6 Mile & Newburgh 2 tan/white & 2 tri-color. First shots & wormed. \$200. Adorable! (734) 591-1227

## 7640 "It's All About Results"

Observer & Eccentric  
1-800-579-SELL

## 7640 Dogs

**BULL DOGS** AKC Male & Female English Bulldogs puppies available. Champion bloodlines & come with health certificate, wormings, updated shots, small baggie of puppy food & full AKC registration & 1 year health guarantee. The puppies available now are \$700 each. Puppies available now for more information contact: lisabulldogs@gmail.com \$700 - 5471292556

## 7640 CHINESE CRESTED PUPS

AKC. Top Quality! Shots, wormed. 734-634-2630

**Cocker Spaniel Puppy** 8 week male Black & white, WKC \$400 734-422-1066

## 7640 GERMAN SHEPHERD PUPS

AKC, Black & Tan, 1st shots \$500-\$600 248-396-1123

## 7640 GOLDEN DOODLE PUPS

Low/ no shedding! AKC parents on-site. Great w/ kids. 734-634-0773

**GOLDEN DOODLES** Pick of the litter. Brunette boy. \$750 with micro chip, vet checked. Some training. 248-760-1818

## 7640 Icelandic Sheepdog Puppies

Gentle, friendly, great family dog. 25-35 lbs. adults. 248-236-8598

hometownlife.com

## 7840 Dogs

**JACK RUSSELL PUPS** Born June 5, 2 females, 1 male, smooth hair, long legged. \$350. 734-454-0455

**JACK RUSSELL TERRIER** Gray/tan/white, male. 9 weeks old, purebred. Includes cage. \$600 248-390-4285

**LabraDoodle Pup** Male, 6 mos. old, blonde, 30 lbs, shots up to date, gentle with kids. Good dog. \$200 313-815-0627

**LABS AKC** English stocky black, see parents, guaranteed. \$600 up. 517-545-1649

**MIXED BREED "Rufus"** - 8 yr. old male, friendly, very cute, medium sized tan & white, has been adult's companion. \$50. Christy, (313) 485-6509

## 7840 POINTER LAB MIX

Beautiful pup! Black w/ white markings. 6 months. Neutered & shots. 248-770-9711, 248-375-2133.

**PUGGLE PUPPY** Beautiful, 12 weeks, crate trained (including crate), great with kids and other pets \$500/best. 248-330-0200

## 7880 Horses & Equipment

**FOR LEASE** Beautiful Walking Horse @ 10 Mile & Beck. \$170/mo., Prefer experienced riders. 248-767-0089

## 7880 Household Pets

### ADORABLE PUPPIES!

Westland  
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Come See The Difference!  
Great Selection

- Many popular breeds...
- More than 40 puppies in store weekly
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- Well socialized
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## 7930 Lost & Found-Pets

**Lost Kitty** Please help! Named Minnie. Long, fuzzy, brown/ white/tan fur, blue, crossed eyes. Very friendly. WE ARE VERY WORRIED. \$100 REWARD 734-427-0188

**LOST PARROT** Green with orange on wing, 13" Answers to "Bernie". 24 yrs old. Reward! 734-634-7395

## Make this a reality...

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**LOST: RHODESIAN RIDGE-BACK** "Nellie" Tan w/ white on chest. 70lbs. Red collar. 11 Mile & Middlebelt, July 7. REWARD! (248) 474-5548

## MISSING CAT

\$500 REWARD

Female Sedona, declawed, mostly grey, white dot under chin. Friendly. June 21, Plymouth area, 5 & Bradford. (734) 674-0455 or 734-420-3603

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WHERE GREAT DEALS UNFOLD!  
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# Garage Sales



Look for These

Garage Sales

On The Internet!

www.hometownlife.com

## 7110 Garage Sales

### \*\*HUGE TENT SALE\*\*

10,000+ Movies & Games DVD, VHS PS, PS2, XBOX, GC

July 27, 28, 29 10a - 8p  
In the ET Parking Lot  
33201 Plymouth  
(corner of Farmington Rd)  
Livonia-734-513-6161

**BELLEVILLE** Estate Sale. Furniture, work-out, microwave, books, CDs, etc. 41924 Arthur, off Haggerty, btwn 94 & Tyler Rd., Thurs.-Sun., 11-7.

## 7110 BEVERLY HILLS

15725 Birwood, btwn. Greenfield & Pierce Rd., S. of 14 Mile, July 27, 9-4. Antique Mr. & Mrs. chairs, collectibles

**BIRMINGHAM** Thurs. & Fri. July 27 & 28, 9am-5pm, 1411 Westboro, 4th St. N. of Maple, E off Adams. Furniture, household items, clothes, misc.

**BIRMINGHAM** - 3 Family, 887 Winton Dr. Fri. 28, Sat. 29, 8:30-4:30. Child/adult clothing, toys, baby crib/mattress & car seat, Peg Perego tri-chair, lg. old metal mirror, fishing gear, student fridg., office chairs, scanner, computer stuff, household goods, etc.

## 7110 BIRMINGHAM

PROCEEDS BENEFIT BREAST CANCER!

1966 Bradford, Eaton & 14 Mile. Sat. 9-3pm.

**BIRMINGHAM**, 921 Brookwood, N. of Maple, E. of Glenhurst, 7/28, 9-4 & 29, 9-1. 1960's Playboys, comics, antiques, toys, display case, babyclothes & equip., furniture, cameras, lamps, clock, pottery, lots of misc.

**BLOOMFIELD** - Quality home items, designer clothes, furniture, teak. W. off Adams, btwn Big Beaver & Wattles, 759 Robinhood, Fri. 9-4, Sat. 9-12.

**BLOOMFIELD** Attn Dealers: Glass, antiques, art, bar stools, Waterfall dresser & armoire, 205 E Berkshire, N/Square Lake, E/Woodward, 10am Thurs.-Sat. 248-338-4995

**BLOOMFIELD** - 5 Family Garage Sale. Designer clothes, antiques, furniture, collector toys & jewelry. Fri.-Sat., 9-5pm. 445 South Cranbrook Cross, S. off Maple, W. of Cranbrook.

**BLOOMFIELD HILLS** July 28-29, 9-2. 6575 Halyard (Maple/Inkster). Furniture, tools, antiques, toys, household goods, & clothing.

**BLOOMFIELD HILLS** Sat. & Sun., July 29-30, 9:00am to 6:00pm. 916 Candlestick Ct., corner Eastways and Candlestick Ct. Mower, Fuji bikes, 2001 Jeep, household, clothes, toys, antiques

**BLOOMFIELD HILLS, NEIGHBORHOOD GARAGE SALE!** Balmoral Orchards Sub. Just W. of Franklin Rd. btwn Quanton & Walnut Lk. Rd. Many home included. Thurs.-Sat. 7/27-29, 9-4. Furniture, toys, etc. Tons of great stuff!

**CANTON** July 27-29; 9-5. 6 garages opening. 41549 Haggerty at Haggerty wood court. Furniture, seasonal items, misc from A-Z.

**CANTON** - Thurs.-Sat., 9-4pm 6506 Paul Revere Lane, off Morton Taylor, S. of Warren. Some furniture & collectibles. Misc items.

**CANTON** Fri & Sat. 9-3pm. Tools, furniture, electronics, John Deer riding lawn mower. 43683 Antietam Dr., S. of Cherry Hill, off Sheldon Dr.

## 7110 CANTON

GARAGE/ MOVING SALE 242 Harvard, Cherry Hill & Sheldon, Fri & Sat., July 28 & 29, 9am-3pm.

**CANTON MULTI-FAMILY** Sale. Baby clothes, household items, furniture, toys. Thurs-Sun, July 27-30, 9-5. 43659 Lancelot, Parkview Estates.

## 7110 Garage Sales

### CANTON

July 28, 29, 30, 43915 Michigan Ave., btwn Sheldon & Morton-Taylor. Lots of different items!

**CANTON** - Moving Sale! Thurs-Sat., 9-4pm. All must go! Entertainment center, kitchen set, sewing machine, books, store fixtures. 4048 Berkeley Ave., SW corner of Beck & Geddes. 734-673-4871

**CANTON** - Cleaning Out Two Homes! Retired Longaberger, Scrapbooking Supplies, Collectibles and Much More! 7909 Beck Road, June 27-29, 9 a.m.

**CANTON** - July 27-29th, 9-5pm. 1681 Longfellow, E. of Canton Ctr Rd. N. off Saltz. Wall arch, electronics, toys, kitchen/household items!

**CANTON: DEER CREEK SUB-DIVISION** Sale. Fri. & Sat., July 28 & 29, 9am-5pm. Off Lotz, N. of Palmer. Clothes, furniture, toys, books, more!

**CLARKSTON** 6911 Rattalee Lake Rd., Near M-15 & Allen Rd., July 28-29, 9-4pm. HUGH GARAGE SALE!

**CLAWSON** Multi-Family Yard Sale - Fri-Sat., July 28-29 SCUBA gear (woman small wetsuit), dorm essentials, art, books & Christmas. 313 Renshaw, S of 14 & E of Main

**DEARBORN HEIGHTS ESTATE SALE**, July 27-29, 9am-5pm. 27235 Wilson Dr., E. of Inkster, S. of Ford Rd. Antique Sommer upright grand piano, antique furniture, glassware, collectibles. Pool table, tools, more!

**DEARBORN HEIGHTS HUGE ESTATE SALE** July 28-29, 10-6pm, July 30, 12-5pm. 6659 Rockdale (Outer Drive/Ann Road Trail)

**DEARBORN HTS.** Fri.-Sun., 10-5pm. Couch, maple hutch, computer, desk, baby cribs, dishes, leather recliner, misc. 8658 Columbia St., S. of Joy, W. of Telegraph.

**FARMINGTON** - Multi-family, antiques, furniture, collectibles plus EVERYTHING ELSE! 22405 Power Rd., at 9 Mile, July 27-29, 9-6pm.

**FARMINGTON HILLS SUB GARAGE SALE** - N. of 11 and W. of Orchard Lake, Farmington Hills. July 20-22 and 27-29, 9am-7. Many clothing (designers), household items, furniture, etc.

## 7110 FARMINGTON HILLS

STRATHMORE SUB SALE! Thurs., Fri., Sat., 9am.

13 & Haggerty

## 7110 FARMINGTON HILLS

3 Family Garage Sale. Thurs-Sat. 9am-6pm. 28848 Grayfield Drive, between 9 & 10 Mile Rds., E. of Middlebelt.

**FARMINGTON HILLS** Multi-family sale, July 28 & 29, 9am-5pm. 24532 El Marco, N. off 10, E. of Orchard Lake.

**FARMINGTON HILLS** Multi-family sale. 38801 Cornwall Court, S. of 9 Mile, E. of Haggerty. July 28-30, 9-6. Baby items, toys/games, bikes, Beanie Babies & much more!

**FARMINGTON HILLS** - 2 Home Sale! 29660 and 29770 Fox Club, N. 13 btwn Drake & Halsted. Furniture, household goods. Thurs. & Fri. July 27th & 28th, 9-4pm.

## 7110 FERNDALE

YARD SALE

Sat., July 29, 10am-4pm, 631 St. Louis. Variety of items. Crib, household, etc.

## 7110 GARDEN CITY

3 family sale, Thurs. July 27 thru Sat., July 29, 9-6, 32240 John Hawk, Avon, mattresses, clothes, furniture, etc.

**GARDEN CITY** 30250 Dawson, July 28 & 29, Fri., 9am-5pm. Sat., 8am-4pm. Kitchenware, furniture, great items for a dorm! Everything must go!

## 7110 Garage Sales

### Garden City

31779 Chester, btwn. Ford & Warren, off Merriman, July 28-29, 9-5, 2003 Harley, tools, furniture & much more! 734-658-9537

**GARDEN CITY** - Moving, Sold 55 yr old home. Need to dispose of your name it! July 28 & 29, 9-6pm. 6029 Lathers, N. of Ford, E. of Middlebelt

**HIGHLAND** Fiber Artist Garage Sale, July 27-29, 9am-5pm. 1385 Clyde Road, between Hickory Ridge & Milford Roads. Books, Equipment & Fabric Scraps. Hand dyed clothing, Silk & Velvet Scarves. Handmade shirts. Wool, Cotton, Rayon & Silk. Yardage. Furniture, household and much, much more! 248-889-3111

**HOWELL - WILLOW CREEK SUB SALE** Huge road btwn Grand River & golf club. July 27 & 28, 8am-3pm; July 29, 8am-12 noon.

**LAKE ORION** 3975 Kaaleas (off Silverbelt btwn Adams & Laper), 7/27-28-29, 9-6. Two family, boys clothes, toys, furniture, infant thru 6 yrs. Household items, trundle bed, entertainment center. Much more!

**LIVONIA** July 27 & 28, 9am-5pm, 37904 Summers, W. of Newburgh, N. of Schoolcraft. Electric dryer, Nascar die-cast, Starting Lineup, household goods, toys, antiques, men/women/junior clothing.





# Automotive

Observer &amp; Eccentric

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## 8000's Autos/RV's

- 8000... Airplanes
- 8010... Jet Skis
- 8020... Boats/Motors
- 8025... Camper/Kayak/Sales/Rental
- 8030... Boat Parts/Equipment/Service
- 8040... Boat Docks/Marinas
- 8050... Boat/Vehicle Storage
- 8060... Insurance, Motor
- 8070... Motorcycles/Mini Bikes/Go-Karts
- 8080... Motorcycles-Parts & Service
- 8090... Off Road Vehicles
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minum wheels, clean, \$6,995.  
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the 70's, \$4,995. Check out  
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gas mileage, \$9500.  
Stk P19718  
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Power moon, leather,  
Immaculate! Dark Red  
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convertible, only 12K, shaker  
hood, \$18,995.  
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auto, only 70K, Call  
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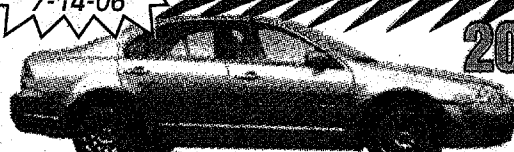
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## 2006 LINCOLN ZEPHYR

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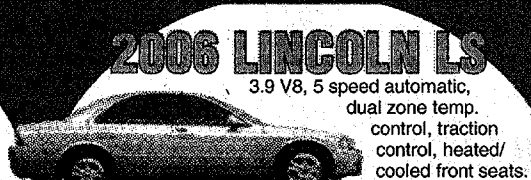


## 2007 MERCURY MARINER

3.0 V6, 4 speed automatic, moon & tune pkg., air, power 6-way driver's seat, 6 CD stereo, power moon-roof, cargo cover.

39 Mo. Lease **\$265\*\***  
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## 2006 LINCOLN LS

3.9 V8, 5 speed automatic, dual zone temp. control, traction control, heated/cooled front seats.

39 mo lease **\$375\*** OR **Buy For**  
**\$36,810\*\***  
Less \$13,000 Rebate  
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7 at this price  
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## 2006 TOWN CAR SIGNATURE

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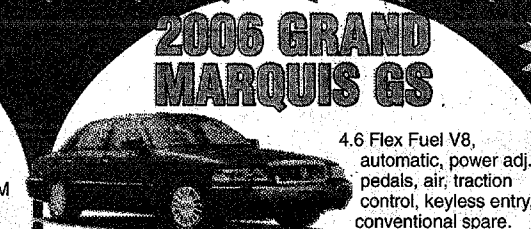


## 2006 MERCURY PREMIER

3.0 24V V6, 4 speed automatic, driver & passenger power seats, adjustable pedals, air, traction control, AM/FM 6 CD stereo, reverse sensing system, leather.

36 Mo. Lease **\$356\*\***  
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43 at similar savings

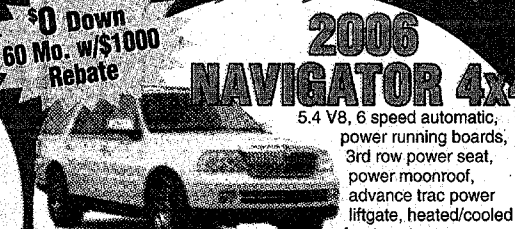


## 2006 LINCOLN MARQUIS GS

4.6 Flex Fuel V8, automatic, power adj. pedals, air, traction control, keyless entry, conventional spare.

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**\$17,212<sup>75</sup>\***

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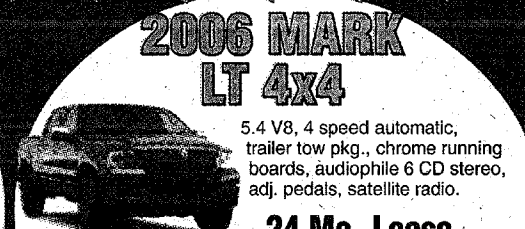


## 2006 LINCOLN NAVIGATOR 4x4

5.4 V8, 6 speed automatic, power running boards, 3rd row power seat, power moonroof, advance trac power liftgate, heated/cooled front seats.

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5.4 V8, 4 speed automatic, trailer tow pkg., chrome running boards, audiophile 6 CD stereo, adj. pedals, satellite radio.

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## Leave your cat indoors

ABOUT ANIMALS, DR. BRAD DAVIS - D2



## Front load washers causing confusion

APPLIANCE DOCTOR, JOE GAGNON - D4



## Loire wines perfect for summer meals

FOCUS ON WINE, RAY & ELEANOR HEALD - D6



INSIDE  
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Food Calendar 6

# D

Thursday, July 27, 2006

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Fridge

Lofted Bed

Dresser

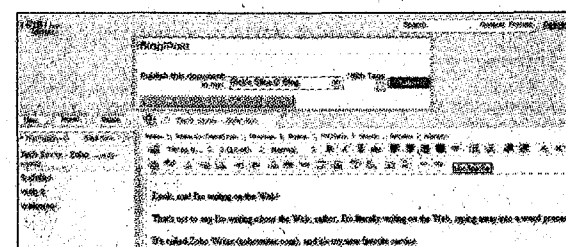
Half-lofted Bed

Dresser

Futon

COURTESY OF GORMAN'S

The College Loft system by Teen Bungalow of the Stanley Furniture Company (\$2,759) at Gorman's Home Furnishings and Interior Design in Troy is a setup for work and sleep. It features two bunk beds and a trundle bed (shown below). The space underneath could be used for storage instead of a bed.



Zoho Writer can save documents in Word format or publish them directly to your blog.

## Service brings word processing to the Web

Look, Ma! I'm writing on the Web! That's not to say I'm writing *about* the Web; rather, I'm literally writing *on* the Web, typing away into a word processor that operates inside a browser window.

It's called Zoho Writer (zohowriter.com), and it's my new favorite service.

A Web-based word processor may sound like little more than a novelty, but trust me when I say it's incredibly practical. It enables me to write using any Internet-connected computer.

And because my documents are stored online, I don't have to copy them back and forth between flash drives as I go from one PC to another.

Wherever I sign on, there they are.

Zoho Writer is entirely Web-based: There's nothing to download or install. Just fire up your browser (it supports Firefox and Internet Explorer; Mac users will need Camino or Firefox), head to the Zoho Writer site, and start typing. It really is that simple.

And simple to use. Anyone adept with Microsoft Word will be able to pick up Zoho Writer instantly. It employs familiar-looking toolbars and all the features most people need from a word processor.

For instance, it offers bullets, numbering, tables, search-and-replace, embedded images, a highlighter and even a spell-checker.

PLEASE SEE WORD PROCESSING, D4

## Collections with class

Dorm pieces give lessons in style, practicality

### How to organize your dorm room

- Use a footlocker-style trunk to transport items to school. Once you arrive, this trunk can be used as storage as well as an end or coffee table.
- Instead of leaving your suitcases empty while not in use for traveling, fill them up with extra clothes or linens.
- Help your storage situation with the following: A tall bookcase is useful and expands your storage capabilities. File cabinets and expandable files will keep your papers organized and secure. Corral your CDs and DVDs with a multimedia rack or CD storage box.
- Help your studying habits: Put up a bulletin or magnetic board to keep track of your projects and deadlines. Add a hutch on top of your desk for handy access to your textbooks.
- Maximize your closet space. Use multi-tiered racks or hangers for your pants and slacks. Use stacking crates for your sweaters, shirts or blouses.

From Art Van Furniture

BY MARY KLEMIC  
STAFF WRITER

The dorm room has become more and more of a home away from home.

And furniture designers have learned from college dorms as they put together collections for young people.

Furnishings are available that earn high marks in style as well as practicality, providing such necessities as spaces for work and for sleep.

The pieces could also move with the student to his or her first apartment.

Furniture should provide "the three S's: storage, study and sleep," said Jeff Roberts, co-owner, Gorman's Home Furnishings and Interior Design.

"(Students) are always looking for space-saving ideas," said David Van Elslander, Art Van Furniture Clearance Center buyer.

Loft beds and futons are ways to maximize space.

Loft beds create room underneath for a desk, seating, storage or a mini refrigerator. They can be assembled in the dorm.

PLEASE SEE DORM DESIGN, D5



COURTESY OF ART VAN FURNITURE

This office sleeper arrangement (\$897) at Art Van includes a black metal frame with fold-up bed.

Closet

Closet

OFF THE AIR WITH DICK PURTAN  
& PURTAN'S PEOPLE

## Friends are important indeed

This week's guest columnist is another member of Purtan's People, Wendell Ledbetter, putting things in perspective.

According to a recent study out of Duke University, in the past two decades the number of people who say they have no one to confide in has doubled.

You know what that means. It means that there are now twice as many people who have no one to confide in. (It's a math thing.)

A friend is defined as someone who's there when you really need them — sort of like that little blue pill. (That's a different story.) The Duke study also showed that most people are more dependent on families, like ... the Manson family.

But I believe that one close friend is all anyone really needs — unless that one close friend is Kim Jong Il.

Friends are important because, as the British poet John Donne once said, "No man is an island." (Kwame Kilpatrick comes mighty close.)

This new study reaffirms the importance of friendship because, as our morning show engineer Ankles Stewart always says, "What good are friends if you can't take advantage of them?"

PLEASE SEE FRIENDS, D3



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# Keep your cats indoors

It seems like people do things I don't understand all the time.

I'll never get smoking. If I developed a cancer-causing agent that's expensive, too, I would have no idea how to get people to try it. Somehow they just do.

The biggest thing I just don't get would be the need people have for letting their cats go outside.

Oh, people have tried to teach me. Some owners feel so strongly that their lecture me when I suggest their cat's injuries could have been avoided by being indoors.

They say going outside is part of being a cat. It's really not.

In fact, there really is no good reason for cats to go outside.

When you argue that cats shouldn't go outside, you have an arsenal of reasons, for the cat, for the family and for the environment.

## CATS AND CARS

First, being outside and being safe don't go together. Everything from dogs and other cats to raccoons and coyotes can be a risk to your cat.

Too often I have someone come in with a cat that has an abscess, caused by a fight with another cat. The abscess gets treated and flushed, and antibiotics initiated. That's simple.

Then we have to wait to see if the cat becomes positive for an infectious disease, like feline leukemia (FeLV), or feline immunodeficiency virus (FIV). They pass from cat to cat through wounds, and from close-range hissing.

Once they're positive for one of these there's no cure. The diseases are eventually fatal.

In an injured cat, the wounds might be the least of their problems.

Of course, we have the old standby when it comes to killing pets: cars.

People coming in with an animal hit by a car often direct their anger at the driver, and sometimes I am sure they deserve the hatred.

But usually the driver is just driving down the road when a dog runs in front of him. He has little time to react. While the car belongs in the street, the animal doesn't.

Usually a dog just sneaks out of a yard, but other people feel their dog should wander the neighborhood, and

the driver is at fault. Those individuals should look in the mirror when handing out the blame.

This faulty logic reaches to cats, also. People think their cat should be able to run around. Well, the street is dangerous, and animals won't understand that danger.

## PEOPLE

Another danger? How about people? A few years ago, a video was sent to us to prep for a radio interview, showing the things that teenagers have done to cats and dogs. I won't even mention any of the acts, but they were atrocities that the teens would videotape to enjoy again later.

The acts were appalling enough, but the fact the punishment was less than a slap on the wrist made them even more offensive, especially when you consider that a common thread among serial killers is a history of torturing animals.

As far as I am concerned, they could have locked those people up in stocks in the city center for people to kick and pelt with fruit.

To avoid access to cats by these people, it's simple enough: Keep the cat inside.

## POISONS

Beyond the confrontational situations, cats can be injured or killed in passive manners, also.

Some toxins that we would never ever keep near our pets might be out in the open in another person's yard. The simplest one to talk about would be ethylene glycol, which you might know better as antifreeze.

Sweet and yummy to them, critters tend to love it.

Unfortunately, it tends to be the last thing they love as the poison acts quickly to destroy their kidneys, and they die relatively quickly.

Treatment is possible, with fluids and alcohol given intravenously, but the treatment usually can't even be initiated fast enough to make a difference.

Add to this that a cat might be sick and dying in someone else's garage, and the likelihood of treatments working becomes incredibly small.

## ENVIRONMENT

When I mention environmental issues, I'm not talking about the cat who makes messes in other people's lawns, which is bad, too. I am speaking

about the effects on the bird populations.

"House cats are non-native predators," the Audubon Society writes on its Web site. "By killing millions of birds each year in North America alone, cats have a negative and dangerous impact on bird populations."

Not only that, the society points out the disparity between the life span of indoor and outdoor cats, saying, "According to the American Humane Society, cats that are allowed to roam outside live an average of three years while indoor cats typically reach an average age of 15 years."

Everyone will immediately say that they know an outdoor cat that lived to be 36 years old and was never sick a day in its life.

I'm not saying that outside cats should amble on over to the pet cemetery on their third birthday, then lie down and wait.

Just like smokers tend to have more health problems and their life tends to be shortened, it isn't a blanket occurrence. George Burns lived to be 643 years old, or something like that, and he smoked cigars every day.

Facts are – and even smokers won't debate – smoking increases your chances of having health problems and can significantly shorten your life.

The same can be said of being an outdoor cat. The risks are plentiful and extreme, and can be lethal. They don't affect every outdoor cat, but they could, at any time, and generally eventually do.

It's like wearing a seat belt. You don't need a seat belt when you drive, unless there's an accident. You could drive without a seat belt for your entire life without incident. It's just that the one time when you do need it, when an accident happens, you'll be really sorry you don't have it on.

So do the things to keep you around longer and healthier. Treat yourself right and be happy and healthy as long as you can.

And do the same for your cats. Keep them inside.

Just like with children, sometimes you have to show a little "tough love."

**Dr. Brad Davis** is medical director for the VCA of Garden City, 2085 Inkster Road, Garden City 48135. Mail questions or comments there. He also hosts the nationally syndicated radio show *Animal Talk*. Visit [www.animaltalkradio.com](http://www.animaltalkradio.com), and write to [Brad@animaltalkradio.com](mailto:Brad@animaltalkradio.com).

## GARDEN CALENDAR

### Shrub roses

Roger and Nancy Lindley, owners of Great Lakes Roses, present a series of educational programs for the public. The popular programs are at the historic 1890s barn and display garden at Great Lakes Roses, 49875 Willow Road in Sumpter Township. Admission is free. Reservations aren't required. Each presentation lasts about 1 1/2 hours. Dress for the weather. For information, visit [www.GreatLakesRoses.com](http://www.GreatLakesRoses.com) or call (734) 461-1230.

The schedule includes Hardy Shrub Roses (1 p.m. Sunday, July 30, repeated 11 a.m. Monday, July 31). The program will feature a slide lecture and garden tour.

### Garden tour

Michael Saint of Good Earth Landscape & Interior Design LLC in Clarkston announces a tour of his gardens, with donations going to The Master Gardeners Society of Oakland County. The tour will take place 1-4 p.m. Sunday, Aug. 6. Donation \$5. Saint's goal is to raise \$1,000. For more information, e-mail [MichaelSaint@goodearthlandscape.com](mailto:MichaelSaint@goodearthlandscape.com) or call (248) 620-7188. Go to [www.goodearthlandscape.com](http://www.goodearthlandscape.com) for a locator map.

### Rose workshop

Rose Propagation Workshop will take place 1 p.m. Sunday, Aug. 6, at Great Lakes Roses, 49875 Willow Road in Sumpter Township. The hands-on workshop will be repeated 11 a.m. Monday, Aug. 7.

Reservations are requested. The \$25 material fee will be collected at the door. Call (734) 461-1230.

Participants will prepare and root roses from cuttings, and learn other techniques for easy at-home propagation.

### Drought-tolerant plants

Learn how to spend less time watering and more time enjoying your garden in a class at The Community House, 380 S. Bates in Birmingham.

The class, Drought-tolerant Plants, will take place Wednesday, Aug. 9. Fee is \$22. To register and for more information, call (248) 644-5832 or visit [www.communityhouse.com](http://www.communityhouse.com). Instructor Sue Grubba is the owner of Creative Scapes, an advanced master gardener and a senior instructor at the Michigan School of Gardening.

### Hidden Lake classes

Classes offered at Michigan State University Hidden Lake Gardens in Tipton include Ornamental Grasses for the Home Landscape (6:30-8:30 p.m. Thursday, Aug. 3; cost is \$16), Stone Troughs (10 a.m. to noon Saturday, Aug. 5; \$45), Seven Steps to Success with Roses (6:30-7:30 p.m. Tuesday, Aug. 8; \$16) and European Hand-tied Bouquets (6-8 p.m. Wednesday, Aug. 9; \$20).

Pre-registration is required. Call (517) 431-2060. The ornamental grass class will feature an indoor slide lecture and a walk through the display gardens.

The stone troughs class is a workshop in which

participants will learn how to make a beautiful, durable, hyper-tufa container for gardening that is lighter in weight than a stone trough. Dress to make a mess. The troughs will have to sit for a few days before they can be taken home. The roses class will feature a slide program presented by Nancy Lindley, owner of Great Lakes Roses. She will have items for sale after the presentation.

In the bouquets class, Helen Miller, florist and owner of Flowers & Such in Adrian, will teach you how to make attractive flower arrangements using plants available right outside your back door. Bring pruning shears, scissors and a sharp knife.

### Master gardener

The Michigan State University Extension-Oakland County Master Gardener Training Program will begin Aug. 22 and run through Nov. 14.

Seats will be offered on a first come-first served basis. The application fee is \$25 and the class fee is \$300. For an application, call MSUE-Oakland County at (248) 858-0887, or go to the MSUE Web site at [www.msue.msue.edu/oakland](http://www.msue.msue.edu/oakland) and look under horticulture and gardening. The 13-week class will meet 9:30 a.m. to 2:30 p.m. Tuesdays in the MSUE offices in the Oakland County Service Center, 1200 N. Telegraph in Pontiac. Each session will focus on a different horticultural topic that will prepare participants to fulfill a 40-hour community service commitment to earn master gardener certification.

### Hidden Lake Gardens

The Royal Oak Garden Club will go on a field trip to Hidden Lake Gardens in the Irish Hills 9 a.m. to 3 p.m. Wednesday, Aug. 2.

The tour bus will leave from the Mahany/Meininger Community Center, 3500 Marais in Royal Oak.

Cost is \$7, which includes the tour bus, admission and boxed lunch. Space is limited, so register early. Call Sherry Jurva at (248) 280-2540.

The 755-acre botanical garden features a greenhouse complex, a lake, a picnic area, a 6-mile, paved scenic drive, and thousands of labeled trees, shrubs and flowers.

Indoor plants include bamboo, banana, cocoa, coffee, sugarcane, tapioca and vanilla. A visitor center has informative exhibits.

### Volunteers sought

Do you live in a condo or apartment and miss gardening?

The Royal Oak Garden Club is seeking volunteers (club members only) to tend these Royal Oak community gardens now to October: Gilda's Garden, Community Center Garden, Community Center Iris Garden, Cemetery Garden and the Zoo Garden. Club membership is \$10 per year. Call Sherry Jurva at (248) 280-2540.

Send calendar items at least two weeks ahead of the event to Mary Kleimic, At Home Editor, Observer & Eccentric Newspapers, 805 E. Maple, Birmingham 48009, e-mail [mkleimic@hometownlife.com](mailto:mkleimic@hometownlife.com), fax (734) 591-7279 or (248) 644-1314.

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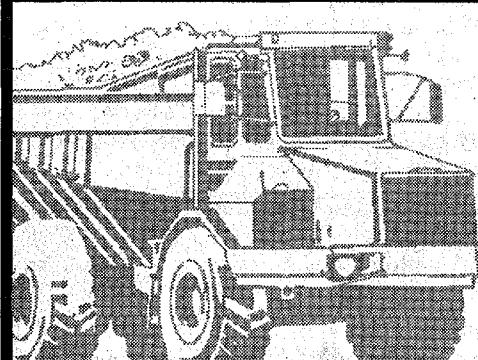
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DORM DESIGN

FROM PAGE D1

At Gorman's in Troy, Roberts showed the Stanley Furniture Company's Teen Bungalow College Loft System.

"It was originally inspired by college dorm rooms," he said. "It's trying to make dorm rooms as space-efficient as possible."

The system features two bunk beds, and a desk with a drawer, a pullout keyboard tray and an organizer. Electrical outlets are built in. There is room underneath for a trundle/storage unit that provides a third space for sleeping. The beds are larger than old bunk beds.

Collections by the University Loft Co. have a variety of elements. Sections come with one or two beds, dressers, storage units and office pieces.

"There are different configurations," Van Elslander said. "You can make any kind of arrangement you want."

University Loft displays at the Art Van Clearance Center on 14 Mile in Warren feature room for a storage love seat and other pieces underneath the bed.

Twin beds aren't the only option in arranging work space. At the Art Van Clearance Center, Van Elslander demonstrated an office sleeper arrangement.

This features a bed that folds up against the wall into a frame that is topped with a shelf, and a desk and file cabinet that move easily on wheels.

A futon can be used for seating or lounging, and converts to a bed.

The Click Clack is popular, Van Elslander said. This micro-fiber futon folds out to become a double bed, and has a storage area underneath.

Another option is the twin bed (with a Simmons mattress) housed in an ottoman at Art Van. The leather ottoman measures 45 inches by 34 inches and has room for storage underneath.

A Back-to-School Open House will take place noon to 3 p.m. Saturday, July 29, at all Art Van Furniture stores.

It will include information on setting up student study and living space.

Among suggestions for planning a dorm room are:

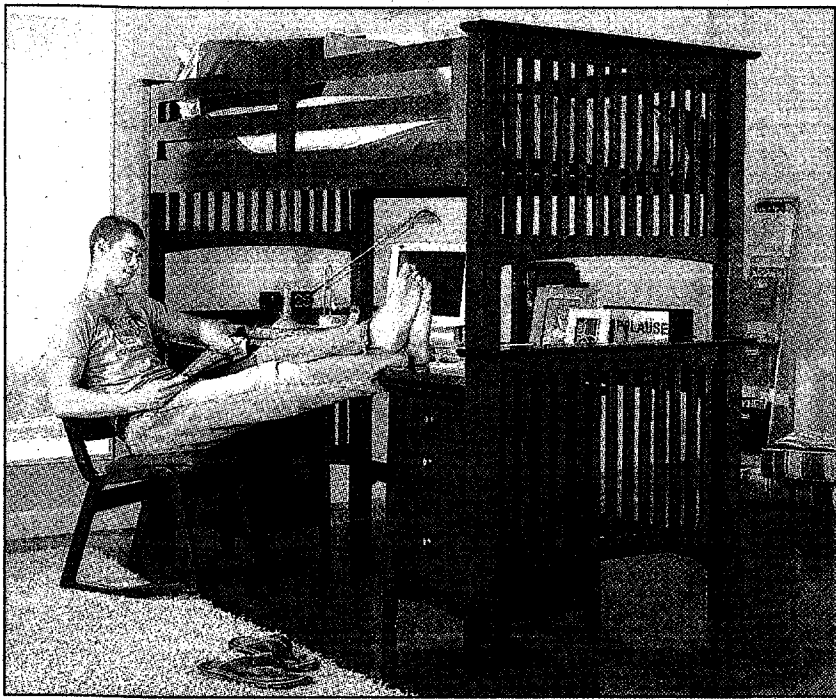
Find out if you can get a floor plan of your dorm room in advance to determine how much space you'll have and what, if any, furniture you'll be provided.

A good night's sleep is important, so don't hesitate to upgrade to a better mattress and box spring.

■ Gorman's Home Furnishings and Interior Design: Southfield, (248) 353-9880; Troy, (248) 649-2070; Novi, (248) 344-0880; Lakeside, (586) 843-2000; www.gormans.com

■ Art Van Furniture: Locations include Livonia, (248) 478-8870; Southfield, (248) 569-3770; Westland, (734) 425-9600; Ann Arbor, (734) 747-7170; Novi, (248) 348-8922; Royal Oak (248) 549-2900; Warren on Eight Mile, (586) 779-9530, Warren on 14 Mile, (586) 939-2100. Visit www.artvan.com

mklemic@hometownlife.com | (248) 901-2569



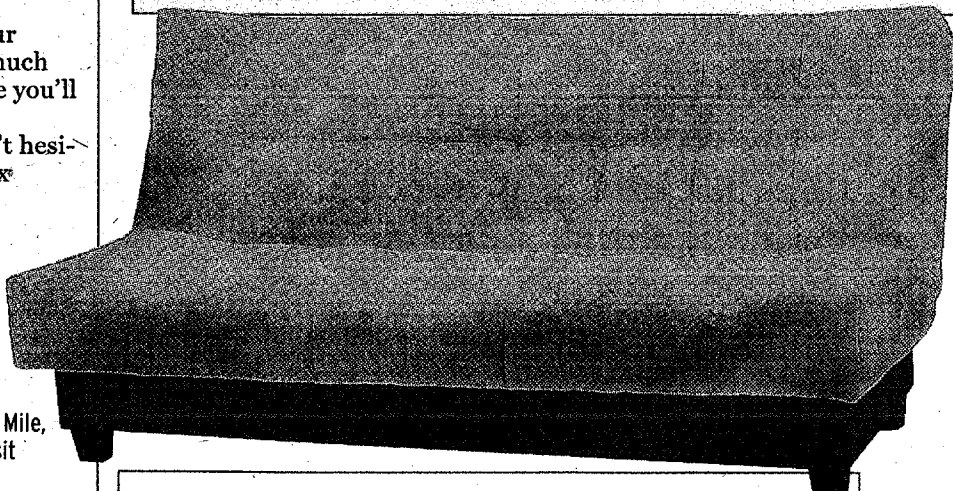
The University Loft office (\$899) at Art Van is a twin bed with a desk top. It is shown here in the dark wood Mission style. The moveable file cabinets are \$249 each, the upholstered desk chair is \$149.

PHOTOS COURTESY OF ART VAN FURNITURE

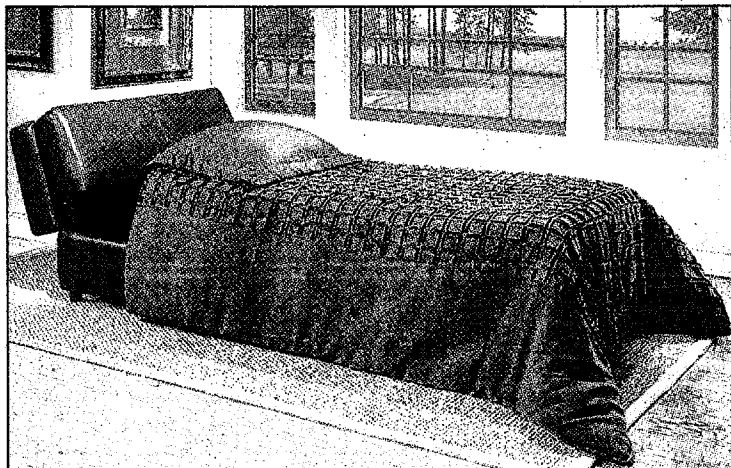
How to furnish your dorm room or apartment

- Cover the floor with a large area rug. This will be more comfortable and warmer than tile. Choose a rug with a pattern or flecks to disguise stains or soil.
- Look for easy-to-assemble furniture, which is less trouble to haul up stairs.
- Avoid back problems by exchanging your dorm chair for a comfortable, ergonomic office chair.
- Remember the essential pieces: a comfortable bed, a dresser for clothes, a storage or shelving unit, a desk with an ergonomic chair, a lamp, and a cozy reading chair, futon or sofa.

From Art Van Furniture



This brown micro fiber Click Clack futon (\$297) at Art Van folds out flat to be used as a double bed, and has room for storage underneath.



This 45-inch by 34-inch brown leather ottoman (\$297) at Art Van converts to a twin bed.

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# Loire wines delight the palate

Wine is an integral part of mealtime and the Loire Valley's unique wines provide special palate delights to pair with warm weather dishes.

The Loire is the longest river in France. For much of its 630-mile stretch inland, east from the Atlantic Ocean, the Loire Valley is vineyard country.

From there, Sancerre, with its mineral accents, is a delightful white. Violet-scented Chinon (She-naw), and raspberry-perfumed Bourgueil (Boor-goy) aren't

**Focus on Wine**

Ray & Eleanor Heald

foreground for most American wine lovers. But they should be, because they're not only unique, but modestly priced.

## WHITE LOIRE WINES

On a Loire wine label, Vin de Pays du Jardin de la France is an indication that the wine comes from the Loire region but not a specific appellation and they're allowed to carry the grape name.

Two value examples to try are: 2004 Destinea Sauvignon Blanc, Vin de Pays du Jardin de la France (\$8) and 2003 Destinea Cabernet Franc, Vin de Pays du Jardin de la France (\$9). If you've wondered what pure cabernet franc smells and tastes like, this wine is your palate educator. Serve it slightly chilled in summer.

Wines labeled with the origin Sancerre, Pouilly-Fumé, Quincy, Menetou-Salon and Reuilly are made 100 percent from sauvignon blanc.

Olivier Rivain of Joseph Mellot, a producer in Sancerre, said, "Quincy is the birthplace of sauvignon blanc and it's the oldest appellation in the Loire Valley."

Try these sauvignons with goat cheese, salads and grilled fish: 2004 Domaine des Rouesses Quincy \$15 (crisp and elegant); 2003 Joseph Mellot Reuilly "Les Milets" \$14 (vineyard lies only a little more than a mile from Quincy and illustrates the difference origin makes in a wine that comes across with pear-like fruit, charmed by flinty notes).

The 2004 Joseph Mellot

Menetou-Salon \$17 (crustacean shells from eons past found in the soil offer unique flavors); 2003 Joseph Mellot Sancerre "Le Chatellenie" \$20 (vineyard has limestone that offers mineral quality enhancing the wine's natural fruit); and 2003 Joseph Mellot Pouilly-Fumé "Le Troncsec" \$20 (floral, slightly flinty and overall lovely).

## RED LOIRE WINES

Saumur Champigny, Chinon, Bourgueil and St. Nicolas de Bourgueil showcase the beauty of cabernet franc, a grape variety that elsewhere in the wine world is generally used as a blending varietal.

Illustrating the excellence of cabernet franc from the Loire as a medium-bodied red wine for summer drinking pleasure are:

2004 Joseph Mellot Bourgueil "Le Fretval" \$12 (with white pepper notes over raspberry-like fruit); 2004 Joseph Mellot Chinon "Les Morinieres" \$12 (mineral notes from limestone soil); 2004 Joseph Mellot Saint Nicolas de Bourgueil "Le Moulingenet" \$14 (fruit laden with cigar box and white chocolate accents); and 2003 Joseph Mellot Saumur Champigny "Le Boisclair" \$14 (complex orchestration of cabernet franc).

## MUSCADET

No introduction to the wines of the Loire Valley is complete without including Muscadet from the Loire's Atlantic coast.

They are made from the melon de Bourgogne grape and well chilled make a splendid accompaniment to grilled fish, seafood salads and crab dishes.

Muscadet has two styles, sur lie (rounder and fuller mouthfeel) or not (crisp and more tart).

If possible, try the following side-by-side to interpret the difference for yourself: 2005 Domaine de La Louvetrie Amphibolite Muscadet \$10 (crisp, pear and white peach accents); and 2005 Château de La Cariziere Muscadet Sevre et Maine sur Lie \$11 (an outstanding, delicious wine at this price, grown by organic vineyard practices).

The Healds are contributing editors for the internationally respected *Quarterly Review of Wines* and Troy residents who write about wine, spirits and restaurants for the *Observer & Eccentric Newspapers*. Contact them by e-mail at focusonwine@aol.com.

## WINE PICKS

Think pink!

Drink well-chilled, dry and crisp Rosé wines for mid-summer treats. With their bright strawberry, raspberry and cranberry fruit aromas and flavors, they match salmon, sushi, grilled sausages, roast chicken, Mediterranean tapas, Caesar salad, grilled seafood, spicy Thai and savory barbecues perfectly. Try these and you'll be tickled pink!

**From South Africa:** 2005 Goats do Roam \$10.

**From Argentina:** 2005 Doña Paula Los Cardos Malbec Rosé \$10.

**From France:** 2005 Rosé des Karantes \$10, 2005 Jaboulet Cotes du Rhone Parallele 45 Rosé, 2005 Red Bicyclette \$11 and 2005 Perrin Cotes du Rhone Rosé Reserve \$11.50. For the ultimate in pink bubbles, Piper-Heidsieck Rosé Champagne \$45 and 1998 Pol Roger Brut Rosé \$92.

**From Italy:** 2005 Folanari Pink Pinot Grigio \$8 (off-dry).

**From Spain:** 2005 Marques de Caceras, Rioja \$8.50 and 2005 Bodegas Julian Chivite Gran Feudo Rosado \$12.

**From California:** 2005 Babcock Big Fat Pink Shiraz \$15, 2005 Kenwood Pinot Noir Rosé \$15, 2005 Valley of the Moon Rosato di Sangiovese \$16, 2005 Rosenblum \$18 (blend of gamay and grenache) and 2005 Tablas Creek \$27 (big and vinous).

The following restaurants have a special Think Pink card featuring Rosé wines: White Horse Inn, Metamora; Bombay Grille, Farmington Hills; Plymouth Crossing, Plymouth; Giulio's Cucina Italiana, Livonia; The Lord Fox, Ann Arbor; and The Pickle Barrel Inn, Willis.

If a retailer doesn't stock a specific domestic wine we recommend, ask that it be ordered from the distributor or order it direct from the winery.

## FOOD CALENDAR

If you have an item for the Taste calendar, please submit it at least two weeks prior to your event to Ken Abramczyk, Observer & Eccentric Newspapers, 36251 Schoolcraft, Livonia, MI 48150, e-mail kabramcz@hometownlife.com, or fax (734) 591-7279.

### Benefit dinner

Some of the country's most celebrated chefs will gather at Tribute restaurant Monday, July 31, to cook a one-of-a-kind dinner to benefit childhood hunger, as part of Share Our Strength. Dinner tickets are \$250 per person, which are all-inclusive and tax-deductible. For reservations, call Tribute at (248) 848-9393. Tribute is at 31425 12 Mile, west of Orchard Lake Road in Farmington Hills. Participating chefs will include Don Yamauchi and Eric Voigt of Tribute in Farmington Hills, Jimmy Schmidt of the Rattlesnake Club in Detroit, Michael Laikonis of Le Bernardin in New York, Shawn McLain of Spring in Chicago, Wally Joe of Wally Joe in Memphis, Michael Gaspard of Pappas Brothers Steakhouse in Houston, and Tara Lane of Blackbird in Chicago. This is a prelude event to Share Our Strength's Taste of the Nation Detroit set for Wednesday, Aug. 23, at the Diamond Center at the Rock Financial Showplace in Novi. For more information on this event, call (877) 26-TASTE, or visit [www.tasteofthenation.org](http://www.tasteofthenation.org).

### Grapevine

Register online at [www.grapevineschoolofwine.com](http://www.grapevineschoolofwine.com). For additional information, call (248) 990-4613.

### Gluten Free Dinner

Fried artichokes, penne with fresh tomato basil sauce, mixed field greens with white balsamic vinaigrette, steak Siciliano, Monday, Aug. 7, \$23. Giulios, 31735 Plymouth, Livonia (734) 427-9500.

### Vintage Wine Tasting

Viewpoint Estate Winery, 151 County Road 50 East, Harrow, Ontario, hosts Southwestern Ontario Vintners Association 2006 Vintners Wine Tasting, 1-4 p.m. Aug. 12, tickets \$50, available at SVOVA wineries, visit [www.vintagestasting.com](http://www.vintagestasting.com)

### Cooking classes

The Community House offers the following culinary classes to the public this summer. To register for classes, contact The Community House, 380 S. Bates, Birmingham, call (248) 644-5832, or visit online at [www.communityhouse.com](http://www.communityhouse.com).

### Gluten Free Baking

Students will learn the secrets behind favorite desserts using different flour combinations. Students will sample baked goods and take

home recipes. Class scheduled 7:30-9 p.m. Monday, Aug. 7, \$30, instructed by Julie Djurich, who has worked in the food and beverage industry for more than 10 years specializing in Eastern European, Italian and Mediterranean cuisines.

### Fresh Italian

Learn how to prepare a typical Italian summer evening meal that is rich in flavor, color and freshness: fresh pasta with peperonata (red and yellow pepper sauce); pan roasted chicken with rosemary, garlic and white wine; pomodoro e basilico (tomato and basil salad); macedonia ai frutti di bosco (berry fruit salad) with lemon sorbet. Students will sample and receive recipes.

Instructor Giovanna Cappi was born and raised in Italy. Class scheduled Italy 6:30 p.m. Tuesday, Aug. 8, \$24, \$6 materials fee paid to the instructor.

### Sushi

Learn how to make fancy sushi, like a California roll, salmon roll, cucumber roll, cucumber and avocado roll and veggie tempura. Take home samples. Bring a notebook and pencil, class is demonstration only. Instructor Changpheng Sayanthone, also known as Kriss, is co-owner and chef of Tokyo Sushi and Grill in downtown Birmingham, Troy and Auburn Hills. Class scheduled 7:30-9 p.m. Wednesday, Aug. 9, \$29.

### Time To Cook?

Learn a system that will teach you how you can prepare a month's worth of meals in one day, a process that will allow you quicker time in the kitchen, a way to organize your meal plans that will yield lower grocery bills, and less stress and less time in the kitchen.

Instructor Lynn Jarrett, coach, speaker and author, is a mother of three girls who decided after her second child to end the stress of meal planning. Her class draws men and women together to identify and meet the needs of their growing families. Class meets 7:30-9:30 p.m. Thursday, Aug. 10, \$25.

### Olive Oil and Balsamic Vinegar, Italian Style

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# Tricks of the trade Chefs help make great good food

BY DANA JACOBI

THE AMERICAN INSTITUTE FOR CANCER RESEARCH

I pay careful attention to what I eat in order to avoid gaining back weight I lost five years ago. To do this enjoyably, I watch chefs. Working with them, I have learned useful tricks for improving the flavor of dishes, from first courses to dessert, so they are both healthy food choices and pleasurable treats.

Chefs often steam vegetables, then finish them in a sauté pan with melted butter. This is a great technique as long as you are carefully sparing with the amount of butter used. One or two spoonfuls are enough to make chopped broccoli, Brussels sprouts, or kale more appealing. Another flavorful chef trick for veggies is braising them in reduced-sodium chicken broth. Yet another is sprinkling vegetables with grated or thinly-sliced citrus zest. For a real kick, try orange zest on kale, a combination I learned from a chef working in a Vermont restaurant. It adds zero calories but lots of flavor.

Have you noticed how chefs often add legumes to a dish? One of the best examples I have enjoyed is black beans tossed on a spinach salad, topped with thin nectarine slices and dressed with a balsamic vinaigrette.

At Copia, the great food and wine center in Napa, California, I learned about serving grilled salmon or halibut



AMERICAN INSTITUTE FOR CANCER RESEARCH

on a bed of the plump, little, dark green lentils sometimes called French or le Pay lentils. Doing this at home makes a simply-prepared fish look and taste like an elegant restaurant dish.

For dessert these days, pastry chefs have made creative fruit drinks and frozen creations quite the fashion. Blueberry Watermelon Freeze is one example. Inspired by Italian ices, this slushy, retro creation is so thick you can eat it from a spoon or sip it from a tall, frosty glass through a fat straw as it gradually melts.

This blueberry watermelon freeze is so thick you can eat it from a spoon or sip it from a tall, frosty glass as it melts.

## BLUEBERRY WATERMELON FREEZE

1 cup peeled and seedless red watermelon cut in 1/2-inch cubes\*  
3/4 cup frozen blueberries  
2 teaspoons finely-chopped fresh ginger  
1/4 cup apple juice concentrate  
1 tablespoon lime juice  
Fresh mint, for garnish, optional

In a blender, combine the frozen melon, berries, ginger, juice concentrate, and lime juice. Add 1/4 cup water. Blend until it is icy and fine-textured, stopping to scrap

down the sides of the blender two or three times. Pour it into a wide glass, and serve, accompanied by a spoon.

Makes 1 serving.  
\* Freeze peeled, cut-up watermelon in a resealable plastic bag.  
Per serving: 211 calories, less than 1 g. total fat (0 g. saturated fat), 53 g. carbohydrate, 3 g. protein, 4 g. dietary fiber, 20 mg. sodium.  
Dana Jacobi is author of The Joy of Soy and recipe creator for the American Institute for Cancer Research.

Every cook has a cole slaw recipe.

Some are mayonnaise based, others use oil and vinegar. They're made with chopped onion, celery, peppers, pickles, herbs, bacon, or other ingredients. But they all include cabbage. That, of course, can be green or red.

Cabbage is the ancestor of many of its more contemporary relatives, like Brussels sprouts and cauliflower. The word "cabbage" comes from the French word *caboche*, a colloquial word for "head." Cole slaw comes from the Dutch *koolsla*, meaning "cool cabbage."

The ancient Greeks, Romans and Egyptians all prized cabbage as a healthful food, and the modern world has the same opinion. Cabbage is one of nature's most nutritious vegetables.

Cabbage, however, is not necessarily a favorite with everyone. (Gas is sometimes one complaint that is heard.) And, since most cole slaws call for cabbage, an interesting change-of pace can be achieved by

using a combination of red, yellow and orange bell peppers. They make a unique and festive-looking salad, and their mild, slightly sweet taste is usually agreeable to one and all.

Bell peppers provide 14 times as much beta-carotene as the less-ripe green variety. They are also rich in vitamins A and C. Although there are varying degrees of certain nutrients and phytochemicals, depending on their color, they all are a good source of many health-protective substances.

Bell peppers are a good source of phenols, especially coumarins and terpenes, phytochemicals that help protect against cancer. And, in one study, red bell peppers were found to be especially high in anti-cancer antioxidants that target one type of free radical.

No summer picnic is complete without some type of slaw, but that doesn't mean it has to be predictable. In the following recipe, the colorful bell peppers offer a refreshing change and brighten up any summer outing.

## FIESTA SLAW

5 tablespoons fresh lime juice  
3 tablespoons reduced-fat mayonnaise  
5 cloves garlic, finely minced  
2 teaspoons canned chipotle chilies, rinsed, drained and chopped  
1 tablespoon honey  
1 large red bell pepper, cut into thin strips  
1 large green bell pepper, cut into thin strips  
1 large yellow bell pepper, cut into thin strips  
12 ounces jicama, peeled, cut into thin strips  
1/3 cup (packed) fresh cilantro leaves, minced  
Salt and freshly ground black pepper

Purée first 5 ingredients in a blender or food processor until dressing is smooth.

Place peppers, jicama and cilantro in a large bowl. Add dressing and toss to mix and coat well. Season with salt and pepper to taste. Cover and refrigerate until the vegetables soften a little but remain crunchy. (About 4 hours.)

Serve at room temperature.

Makes 10 servings. Per serving: 42 calories, less than 1 g. total fat (0 g. saturated fat), 9 g. carbohydrate, less than 1 g. protein, 1 g. dietary fiber, 42 mg. sodium.

Recipe courtesy of the American Institute for Cancer Research. AICR's Web site is [www.aicr.org](http://www.aicr.org).

## Chopped steak features Asian flavor

### ASIAN CHOPPED STEAK WITH WASABI-MAYO SLAW

(Start to finish 25 minutes)

**For the wasabi-mayo slaw:**

1/2 cup low-fat mayonnaise  
1 1/2 teaspoons wasabi powder  
3 cups packaged coleslaw mix  
1/2 cup thinly sliced red bell pepper strips

**For the chopped steak:**

1 pound ground beef (95 percent lean)  
1 tablespoon reduced-sodium soy sauce  
1 1/2 teaspoons minced garlic  
3 tablespoons reduced-sodium soy sauce (for basting)  
4 large romaine or Boston lettuce leaves

To make the Wasabi-Mayo Slaw, mix together mayonnaise and wasabi powder in small bowl until blended. Combine coleslaw mix, pepper strips and onions in large bowl. Add mayonnaise mixture; toss to coat slaw evenly. Cover and refrigerate until ready to use.

## QUICK RECIPE

Combine ground beef, 1 tablespoon soy sauce and garlic in large bowl, mixing lightly but thoroughly. Gently shape into four 1/2-inch-thick oval patties. Place patties on grid over medium, ash-covered coals. Grill, uncovered, 11 to 13 minutes to medium (160 degrees Fahrenheit) doneness, until no longer pink in center and juices show no pink color, turning occasionally and basting with 3 tablespoons soy sauce.

Place burgers in lettuce leaves; top evenly with Wasabi-Mayo Slaw.

Makes 4 servings.

Nutrition information per serving: 217 cal., 9 g fat (3 g saturated), 65 mg chol., 809 mg sodium, 10 g carbo., 1.9 g fiber, 24 g pro.

Recipe developed for AP by the National Cattlemen's Beef Association on behalf of The Beef Checkoff.

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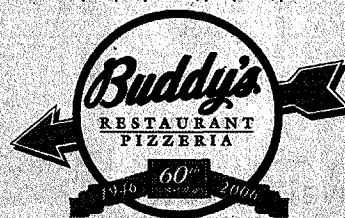
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# pink

Don't miss PINK's Summer Wedding Guide in today's newspaper

www.hometownlife.com

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## Local designers 'Make It Work'

By Wensdy White

As *Project Runway Season 3* heats up on Bravo, Haberman Fabrics in Royal Oak is hosting a hometown version of the big-city reality show.

The "Make It Work Fashion Challenge" invited local designers to compete for prizes ranging from a Bernina Sewing Machine to a personal critique by *Project Runway* mentor Tim Gunn of Parsons The New School of Design. Gunn is known for telling *Project Runway* contestants to "make it work" as they struggle to finish their design challenge on *Project Runway*.

Sixty-five designers submitted sketches and garments to "Make It Work," and were narrowed down to 10 finalists, who gathered July 15 at Haberman Fabrics for their "Final Challenge." Owner Toby Haberman gave each contestant \$100 gift certificates to spend on supplies to create



Toby Haberman

### "MAKE IT WORK" RUNWAY COMPETITION

When: 7 p.m. Aug. 1

Where: Haberman Fabrics, 905 S. Main St., Royal Oak

Ten finalists will show final challenge garments and compete for prizes at this benefit for the Barbara Ann Karmanos Cancer Institute. The evening will feature a Q&A with contestants and judges, including Kara Janx of *Project Runway* Season 2; Susan Howes, fashion editor for *WOUR*; and Ken Dewey, Director of the 5th Avenue Club at Saks Fifth Avenue. The audience may also bid on a trip to *Project Runway* Season 3's finale at Olympus Fashion Week in NYC, auctioned live by host Jon Jordan, style editor for *WDIV LOCAL 4*. Tickets: \$20, only available in advance at the store or through [www.habermanfabrics.com](http://www.habermanfabrics.com).



Tim Gunn

COURTESY OF BRAVO

tique the winner's portfolio. He won't be here — he can't make it because they're going to be filming at the time of our event, but we're going to mail it to him and he's going to give his professional, highly critical review of the book. This is not something he's done before, and according to Parsons, he has no intention of doing something like this again.

**What does "Make It Work" mean to you?**

It's learn how to handle your design challenges, continue to express your designs and show them and build your career. Seek out any opportunity you can and run with it — make it work.

**What do you hope people learn from your contest?**

Something they promote on *Project Runway* and we see every day at Haberman Fabrics is that people say they want to be a designer, but they can't put the design and fabric together. You don't know how everything is going to drape by drawing a pretty garment. If you have no experience in garment construction you really can't come up with a great design.

You just don't have it.

their last garment.

The finalists will present their work during a public runway show on Aug. 1. PINK caught up with Toby in anticipation of the exciting event.

**How did the idea for 'Make It Work' come about?**

Every day in this store we see very talented people, whether they are home sewers or professional designers. Many are looking for recognition and a place to show their designs. I like to be supportive of them. And, of course, at the store we

love *Project Runway* on Bravo. They have such a wonderful format that I thought it would be great fun to have a competition in that style right here at the store.

**Is Project Runway involved?**

They offered to help us with one of our judges, Kara Janx. And Tim Gunn from the show offered to be one of the amazing prizes that we're able to offer an emerging designer.

**What will Tim Gunn do?**

He is going to actually cri-

### list

#### Fashion on Campus Martius

Get ready for some stylish fun as Lamborghini of Troy and The Ambassador magazine host "Fashion on Campus Martius," 7-10 p.m. Friday, Aug. 11. The second annual runway show will feature fashion from Studio Couture, Vera Jane, the Pure Detroit Design Lab and Exclusive Styles. The Lamborghini models will also show collections from House of Dereon and Ryan Kenny, and jewelry by Denise Illich. Tickets, \$100, benefit The Detroit 300 Conservancy, and include entry to after-parties at Grand Central Lounge and Elysium before 11:30 p.m. Call (313) 477-3578.

#### Dress for the Cure

See the latest styles from Parisian, and contribute to a good cause by attending the "Dress for the Cure Fashion Show," 8 p.m. Thursday, Aug. 10 at the Rochester High School Auditorium (doors at 7 p.m.). The semi-formal evening, organized by

fashionista and RHS senior-to-be Lauren Thomasson, includes prize drawings, a silent auction and bake sale. Tickets, \$7, benefit the Breast Cancer Research Foundation. To reserve your seat, call Lauren at (248) 495-2760 or e-mail [dressforthecuretickets@yahoo.com](mailto:dressforthecuretickets@yahoo.com).

#### Carnival Kid Fest!

Get a jump on back-to-school shopping at Carnival Kid Fest, 11 a.m.-3 p.m. Saturday, Aug. 5 at Parisian Laurel Park Place. Enjoy children's fashion shows at 11 a.m. and 2 p.m., light refreshments, a character guest, face painting, a bean bag toss and putt-putt for prizes, and several register-to-wins with the drawings at 1 p.m. Call (734) 953-7500.

#### Plymouth Sidewalk Sale

Get great deals and shop local as downtown Plymouth hosts annual Sidewalk Sales, 9 a.m. to 9 p.m. Friday, July 28; 9 a.m. to 6 p.m. Saturday, July 29; and noon to 5 p.m. Sunday, July 30. Stop by Farmer's Market 7:30 a.m. to 12:30 p.m. Saturday! Call (734) 453-



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Goth cross tee by Susan Fixel for Bejeweled

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Customized sandals at Georgia's Gift Gallery in Plymouth

### Shop It!

Sidewalk sales in your town



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### Drink It!

Mojitos at the new Mixx Lounge in Novi

### Eat It!

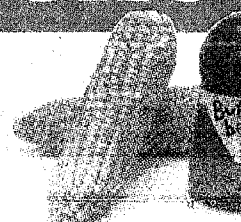
Key lime pie at Forté in Birmingham

### Do It!

Detroit Urban Craft Fair, hosted by Handmade Detroit 11 a.m.-8 p.m. Saturday, Aug. 5 at the Majestic Theatre

### Click It!

[www.BloggingProjectRunway.blogspot.com](http://www.BloggingProjectRunway.blogspot.com) — featuring Plymouth's own Patrick Cullen

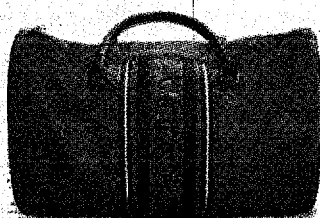


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Page 7





# Make it a Hart Plaza summer Jazz artist celebrates new CD at Club Bart

There's still time to make it to Hart Plaza for one of the venue's annual summer festivals on the Detroit River.

This weekend, the 35th annual Arab and Chaldean Festival is set to run July 29-30.

Among the festival's highlights is the art gallery. Located on the lower level of Hart Plaza, the area showcases numerous cultural exhibits including "1,000

years of Arab Medicine," "Arab Folklore and Customs" and "Arab Calligraphy."

The gallery allows visitors to experience Middle Eastern art, learn about the different countries of the region and come into contact with individual artists.

About 50,000 annually attend the event, a multicultural program aimed at people of all cultures.

This year's festival also includes a children's fair complete with arts and crafts projects and readings of Arab and Chaldean children's books.

Local businesses will serve up delicious Middle Eastern cuisine and sell beautiful jewelry and Arab-inspired art from emerging and recognized artists.

Another annual tradition, the festival's fashion show, goes up July 30, and will showcase attire from an array of Arab coun-

## CALLIGRAPHY AND MORE

**What:** 35th annual Arab and Chaldean Festival.

**When:** July 29-30.

**Where:** Hart Plaza, downtown Detroit.

**Admission:** Free.

For information, call (248) 960-9956 or visit [www.arabandchaldeanfestival.com](http://www.arabandchaldeanfestival.com)

## MORE AT THE HART

■ Caribbean International Festival, Aug. 12-14, [www.myccco.com](http://www.myccco.com) or (313) 255-2226.

■ African World Festival, Aug. 19-21, [www.maah-detroit.org](http://www.maah-detroit.org), or (313) 494-5800.

■ India Festival, Aug. 26-28, [www.festivalofindia-detroit.com](http://www.festivalofindia-detroit.com) or (248) 514-4071.

■ Detroit International Jazz Festival, Sept. 3-5, [www.detroitjazzfest.com](http://www.detroitjazzfest.com) or (313) 963-7622.

tries.

This summer, the Hart Plaza series closes with the Detroit International Jazz Festival on Sept. 3-5.

But if you can't make it to Hart Plaza this weekend, pick another weekend for soaking up the sounds, sights and tastes of another culture.

There's India, Africa and the Caribbean yet to go.

Jazz artist Tracy Kash Thomas will host a CD release party for her second CD, *There and Back Again*, at 9 p.m. Sunday, July 30, at Club Bart, 22726 Woodward, in fashionable Ferndale.

Thomas will perform two swinging sets of music from both of her CDs.

Cover is \$5.

Thomas is no newcomer to Detroit's music scene. She's been nominated in

the Outstanding Jazz Vocalist category for the Detroit Music Awards in 2004 and 2006, and her original tune *Wading in Waiting* was awarded Honorable Mention in the *Metro Detroit* Songwriting Contest. She was also invited to join Ian Anderson (Jethro Tull) and his band on stage as a guest flutist at his 2003 State Theater performance. Visit [www.cdbaby.com](http://www.cdbaby.com).

## Summer Surf Bash with Gary Hoey

Praised for technical prowess.

He incorporates a unique sense of melody and soul. His newly released CD, *Monster Surf*, combines a mix of hard rock and surf with modern day studio technologies.

Gary Hoey is coming to the Magic Bag at 8 p.m. Friday, Aug. 4, for a Summer Surf Bash with guest Space Nelson. There, fans will hear Hoey classics plus material from his new CD.

"I wanted the album first and foremost to groove, and I decided to build the foundation for a lot of the songs


with drum loops and samples," Hoey said. "This was a very different approach for me."

Hoey is such a legend, he was even given a big nod by respected surf guitarist Dick Dale, who in a recent interview named Hoey as one of his favorite guitar players. That praise led to a collaboration between the two on the instrumental classic *Misirlou* for Hoey's new CD.

Admission is \$15. The Magic Bag is located at 22920 Woodward Ave., Ferndale. Call (248) 544-1991.

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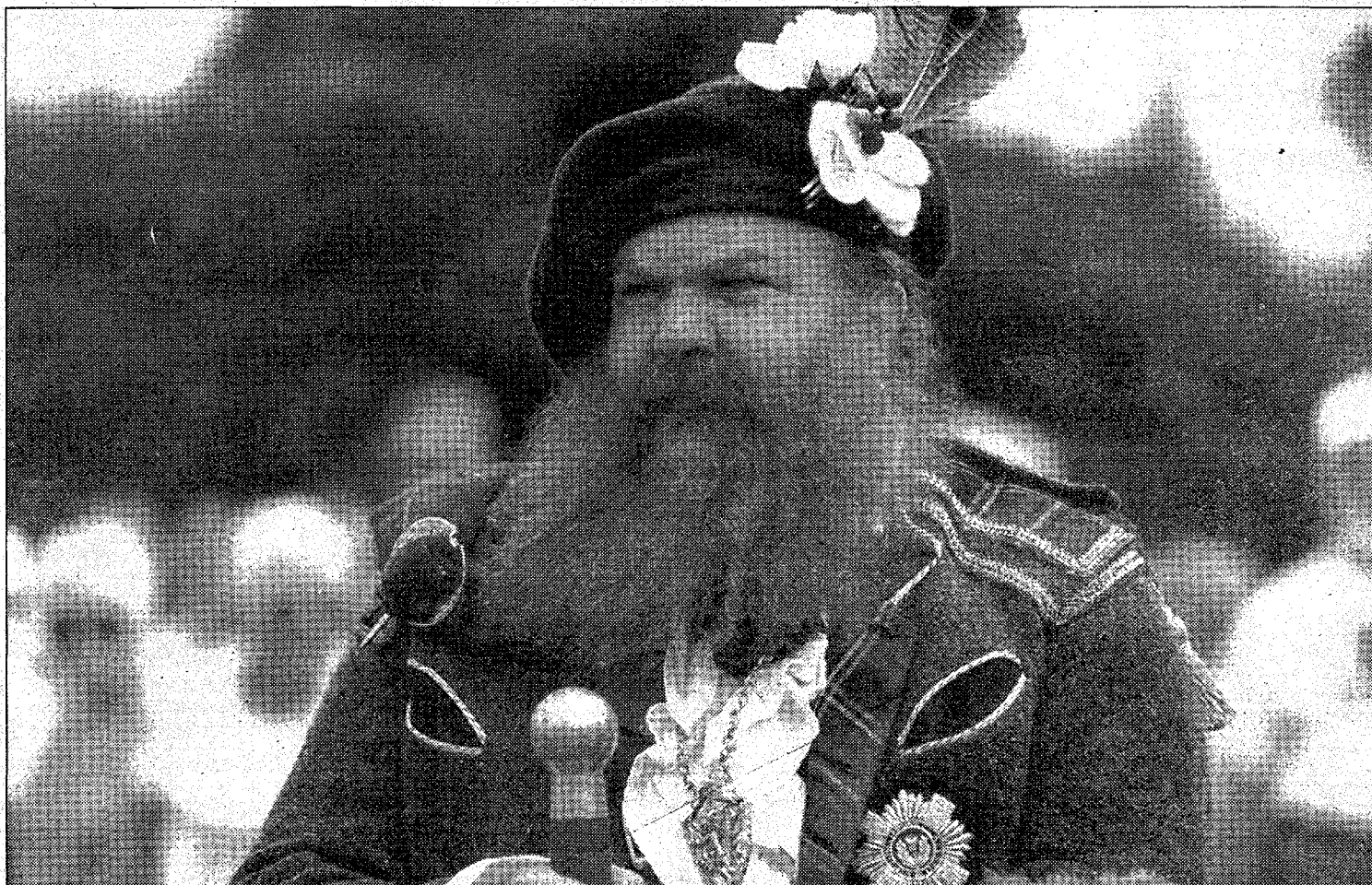
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**Tim Hortons** **104.3 WQMC** **BY CHANCE HOTELS** **PRESS & GUIDE The News-Herald ILE CAMERA**









The Highland Games celebrate Scottish heritage with food, traditional clothing, music and games.

# It's time for the Highland Games

It's said to be the longest-running Scottish festival in all of North America and it keeps growing.

The St. Andrew's Society of Detroit is celebrating the 157th annual Highland Games Friday, Aug. 4, and Saturday, Aug. 5.

It doesn't matter if you're Scottish, you're invited anyway.

This year's events include a Ceilidh (pronounced Kay-Lee), 5:30-11 p.m. Friday and includes music and food. The Highland Games are from 9 a.m. to 5 p.m. Saturday at Historic Greenmead Village in Livonia, near the intersection of Newburgh and Eight Mile roads.

The festival features a combination of Scottish history, pageantry, athleticism and good old-fashioned Celtic fun. Some of the many scheduled activities are:

- Bagpipe bands competitions



Caber tosses show skills in strength.

- Solo bagpipe competitions

- Drum major and drumming competition

- Parade of clans from across the country

- Highland dance competition

- Heavy athletics invitational

- Celtic fiddle demonstrations

- Wee Bairn's Games for children ages 4-11

- Time With Jean — songs and stories for kids

- Scottish food vendors and Celtic crafts/gifts

- Two entertainment tents



- Genealogy and clan tents
- A display of animals native to Scotland

Ticket prices for the Highland Games are \$10 in advance or \$15 at the gate, with free admission to children 12 and under. Tickets for the Ceilidh are \$15 and must be purchased in advance.

Tickets can be purchased through the St. Andrew's Society of Detroit Web site [www.highlandgames.com](http://www.highlandgames.com). Phone (248) 477-7375.



*Farmington*  
**HILLS**  
City of Farmington Hills

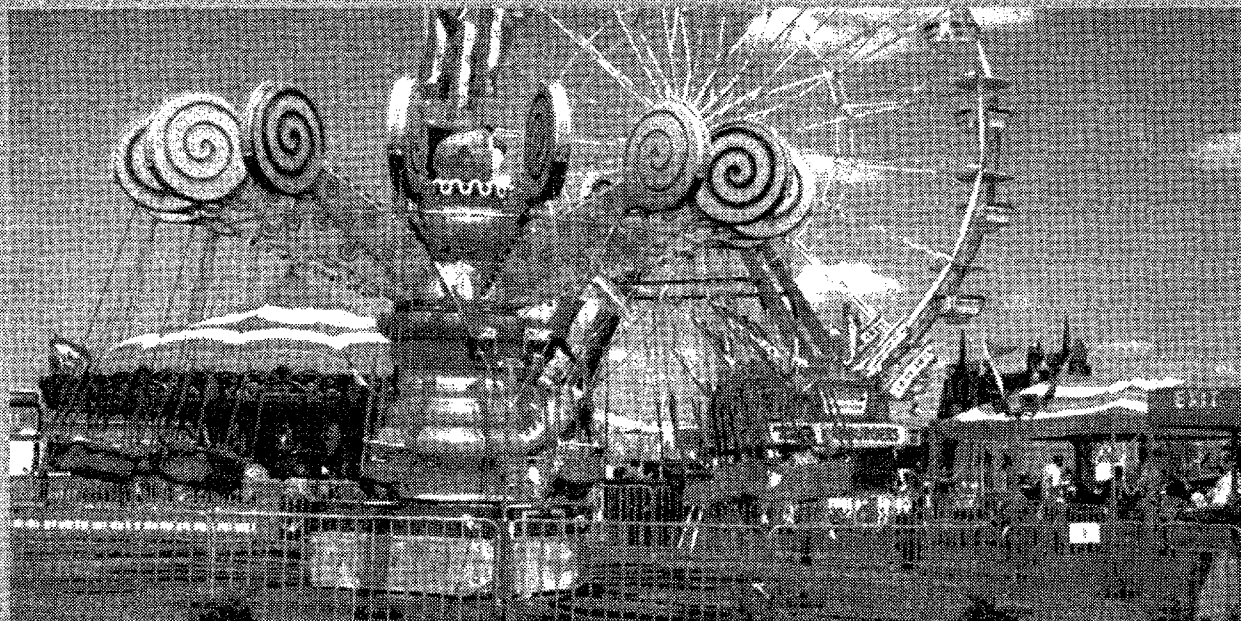
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Founders Park • 8 Mile Rd., 2 Mi. East of I-275

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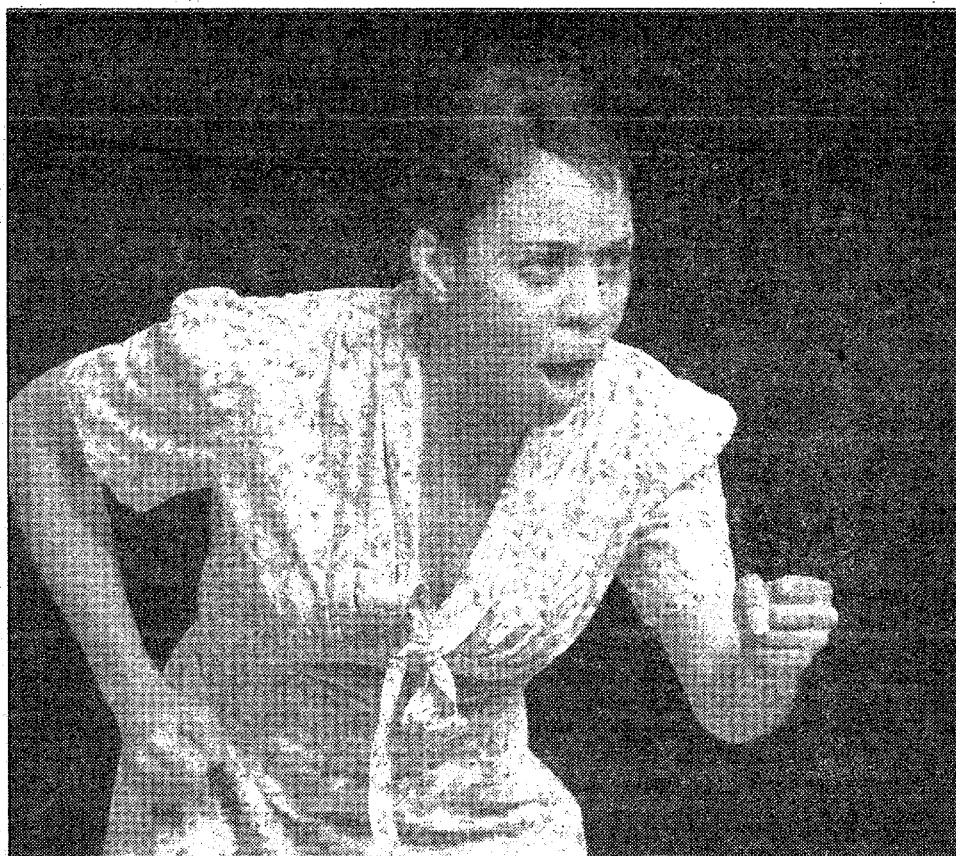


PHOTO COURTESY OF PLOWSHARES THEATRE COMPANY

Janee Ann Smith stars in the one-woman show, 'Pretty Fire.'

## One man, one woman

The one-person show from either gender running at local theaters

BY NICOLE STAFFORD  
STAFF WRITER

On stage

There's nothing tougher than a one-person show, says actor, director and theater educator Gillian Eaton of Plymouth.

Eaton, who was a member of the renowned Royal

Shakespeare Company and whose film credits include the Monty Python movie *Yellowbeard* and director Mel Brooks' *To Be or Not to Be*, ought to know.

Two one-person shows representing each of the respective genders are currently running in metropolitan Detroit, and Eaton is directing the one about and featuring a man.

*I Am My Own Wife* — yes, that's wife — is the final season offering from Performance Network Theatre. It continues through Aug. 27 at the Ann Arbor theater.

### ONE VOICE

■ "I Am My Own Wife" through Aug. 27, 8 p.m. Thursday-Saturday, and 2 p.m. and 7 p.m. Sunday, Performance Network, 120 E. Huron, Ann Arbor, \$24.50-\$34.50, discounts for seniors and students, call (734) 663-0681 or visit [www.performance-network.org](#).

■ "Pretty Fire," through July 30, 7:30 p.m. Thursday-Friday, 3 p.m. and 8 p.m. Saturday and 3 p.m. Sunday, \$17.50-\$22.50, Boll Family YMCA Theatre, 1401 Broadway, Detroit, call (313) 872-0279 or visit [www.plowshares.org](#).

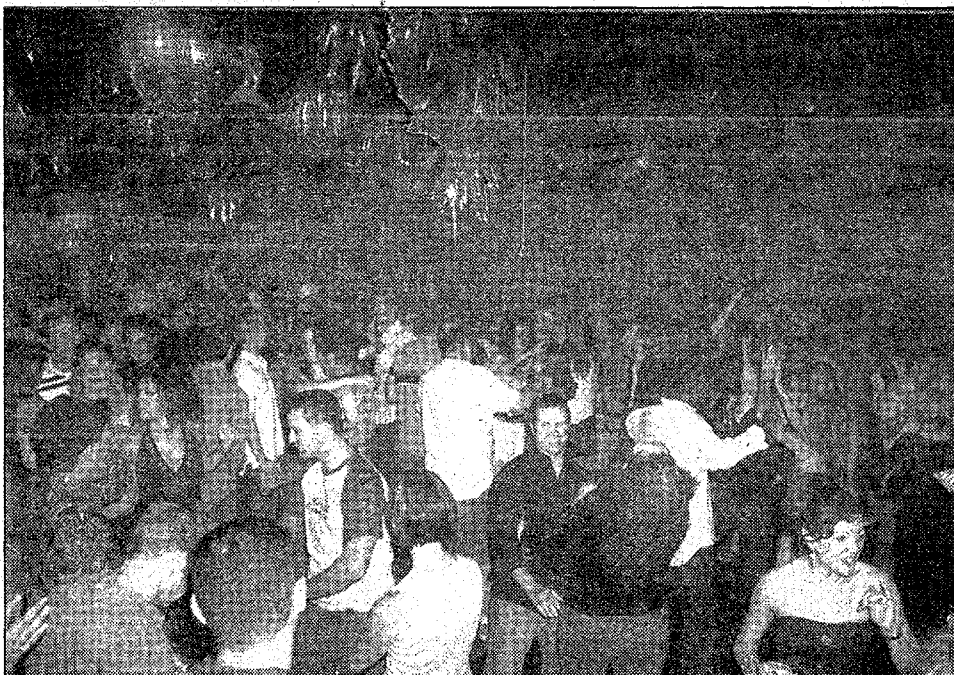
The celebrated one-man show is a true-life tale of the will to survive.

Meanwhile, *Pretty Fire* is being presented by the Plowshares Theatre Company at the new Boll Family YMCA theater in Detroit.

*Pretty Fire* is a young girl's lyrical story about growing up in a small town. The play, which closes July 30, stars Janee Ann Smith.

[nstaffor@hometownlife.com](#)  
(248) 901-2567





FERNDALE PUB CRAWL

Last year's Ferndale Pub Crawl participants danced the night away.

# Walk it, groove on it

## Check out Ferndale's new venues at annual pub crawl

BY NICOLE STAFFORD  
STAFF WRITER

**Pub  
crawl**

You ready to get your groove on? The 10th annual Ferndale Pub Crawl is the perfect excuse — and the perfect way to meet and greet the downtown's newest bars, clubs and restaurants.

Slated Friday, July 28, at 18 venues, the event is surely destined to be both a rowdy night out and see-and-be-seen affair.

The action begins at 6 p.m. at Boogie Fever — the crawl's gathering and departure point, but don't be surprised to find yourself back at the retro disco bar in the late-night hours for some groove time.

Along the way, you'll hit downtown Ferndale favorites like Howe's Bayou, Danny's, Bosco and Woodward Avenue Brewery.

The crawl even makes a stop at the Ferndale Elks club.

But with so many new and recently opened bars in the booming entertainment district, this year's pub crawl should feel fresh and different.

Recently opened bars on the tour include the swanky cocktail lounge Gracie's Underground (an off-shoot of Goodnite Gracie's in downtown Royal Oak), the wildly popular chain Buffalo Wild Wings, Sakana, a sushi lounge, and even Via Nove, an upscale Italian restaurant relatively new to the district.

Better yet, this is partying for a good

### WALK IT!

**What:** 10th annual Ferndale Pub Crawl, walking tour of more than 15 restaurants and bars.

**When:** 6 p.m. Friday, July 28. Gathering location, Boogie Fever, corner of Woodward and Nine Mile.

**Cost:** \$10 registration fee is donated to the Ferndale Community Foundation, Ferndale Police Auxiliary and Midwest AIDS Prevention Project. For details, call (248) 545-1435 or visit [www.ferndalepubcrawl.com](http://www.ferndalepubcrawl.com).

### WHAT'S NEW IN DOWNTOWN FERNDALE?

■ The Emory, upscale vibe with American fare and beer on tap, 22700 Woodward, (248) 546-8202.

■ Sakana, a sleek sushi lounge, 22914 Woodward, (248) 336-2555.

■ Gracie's Underground, off-shoot of Goodnite Gracie's in downtown Royal with same retro lounge style, 22757 Woodward, (248) 298-0330.

■ Buffalo Wild Wings, popular chain with wings and great sports-watching, 280 West Nine Mile, (248) 814-8600.

cause. All registration fees go to the Ferndale Community Foundation, Ferndale Police Auxiliary and Midwest AIDS Prevention Project.

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# Orchard Lake Fine Art Show

## August 4-6, 2006



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# Warped is back and still cooler than the rest

Catch  
summer while  
you can

The best festivals are coolest before they go mainstream. Arguably the same goes for bands — once everyone loves them, they just don't seem to be as cool.

Festivals come and go. Starting off interesting, attracting the underground youth. But then, usually, a few years later, the events get too big, too mainstream and turn into frat parties where crowds are more into getting drunk and yelling "wooo" rather than actually listening to the music.

But not the Vans Warped Tour.

If you're a woo-er, stay away.

If you aren't into hardcore/speed/death or any other form of heavy metal, stay away. But ... if you like your music loud, don't mind spending an afternoon on the hot concrete of Comerica Park's parking lot and dig action

sports and lots of skating expos, then Vans Warped Tour on Saturday, July 29, is for you.

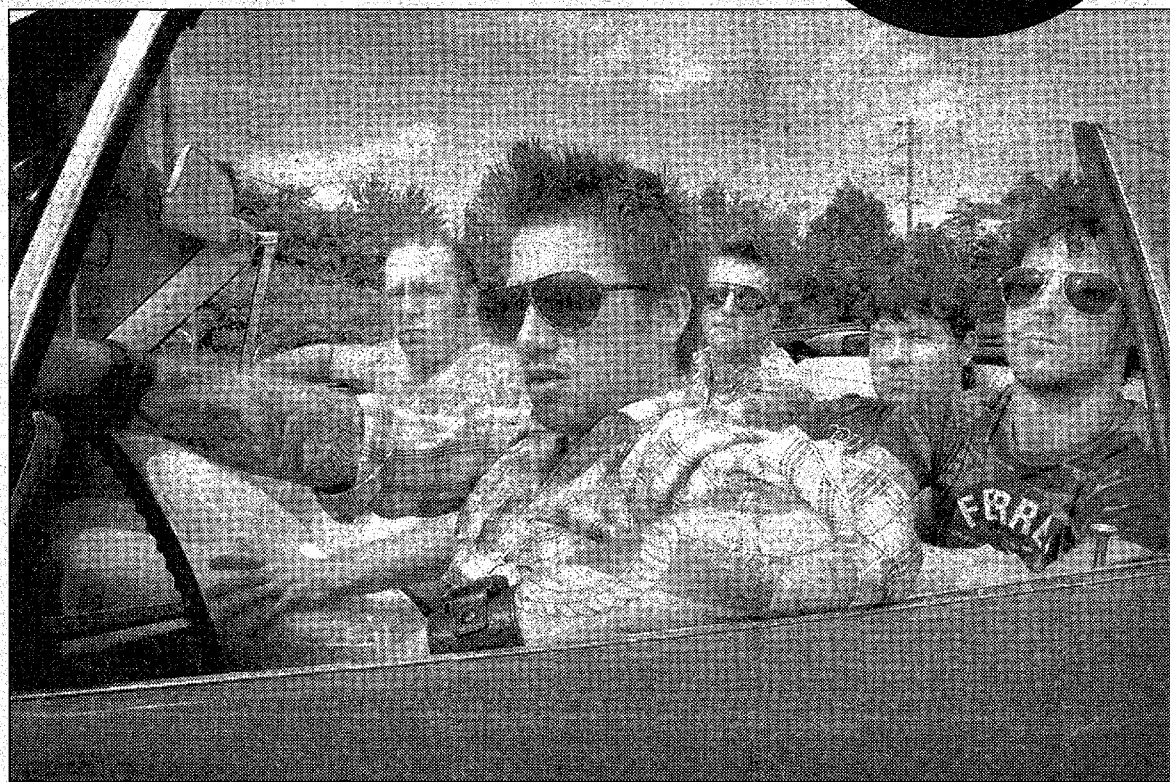
Skaters, punks, vegans, metal fans and others have been supporting Vans Warped Tour for 10 years.

It's an interesting lineup this year. The eternally cool Joan Jett & The Blackhearts will play. Also attracting big attention this year is Every Time I Die, known as

ETID.

The hard indie band is fast and furious and is promoting its album *Gutter Phenomenon* at Vans and after that will tour overseas with My Chemical Romance.

ETID's *Gutter Phenomenon* is a party-friendly free for all. Its video for *Kill the Music* features renegade actor Michael Madsen (*Reservoir Dogs*, *Kill Bill* and *Sin City*).



PLEASE SEE **WARPED, E16** Every Time I Die plays the Van's Warped Tour at Comerica Park on Saturday, July 29.

## Birmingham Concerts in the Park

If you prefer your music to be a bit more gentle, try Wednesdays in August at 7 p.m. in downtown Birmingham's pretty Shain Park just off Maple and Woodward.

It's the Summer Concert in the Park series. Shows are free. Seating is on the lawn, so bring a blanket or lawn chair, a picnic spread.

There's also a special concert at 3:30 p.m. Saturday, July 29. The world-renowned Air National Guard Band of the Great Lakes 555th Air Force Band will perform.

A crowd of thousands is expected to view this military concert band, one of the finest bands in the Air National Guard, combining military tradition

with a high standard of musical professionalism and excellence. They will be preceded by The Gentleman Songsters Chorus, an all-male chorus native to Detroit. Now back to the Wednesday shows ...

### AUG. 2

The Motor City's favorite a cappella group, Lorelei, opens for Air Margaritaville and their "adventure in paradise."

### AUG. 9

Jill Jack and Stewart Francke combine their talents as local singer-songwriters.

### AUG. 23

Experience the richness of African

culture with Mady Kouyate and Papa Hanne's West African Dance Ensemble.

Kouyate has performed all over the world and will play the 21-string kora. The Art of Motion Dance Company will perform Congolese dance and drum rhythms.

### AUG. 30

Birmingham's own guitarist, singer songwriter Michael King, performs with special guest, violinist Sonia Lee.

In case of rain, all performances will be relocated to the Seaholm High School Auditorium, 2436 W. Lincoln Street, Birmingham.

## Jazz in Canton

Canton's Downtown Development Authority has partnered with radio station V98.7 Smooth Jazz and Canton Leisure Services to host a "movable" jazz concert throughout the summer.

The concerts take place every Friday through August at various venues along Ford Road on a portable stage called "Canton Live." The shows are free and run from 6-8 p.m. Guests are encouraged to bring lawn chairs.

The concert lineup:

■ July 28: Sera's Nu Soul at Canton Wal-Mart

■ Aug. 4: Jesse Palter Quartet at Harvard Square

■ Aug. 11: The Kimmie Horne Show, Home Depot

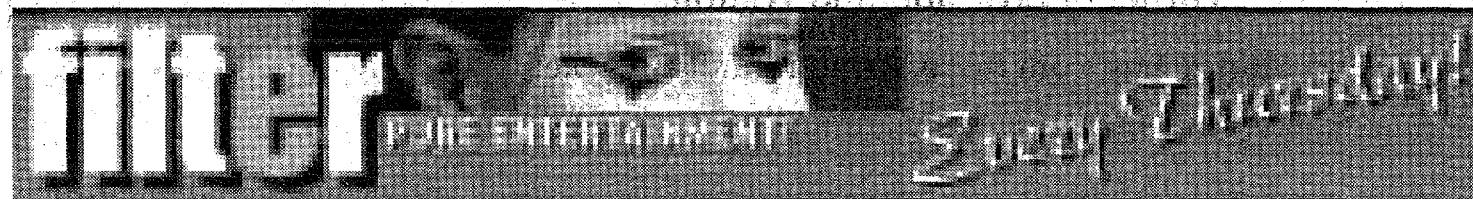
■ Aug. 18: John E. Lawrence & Friends, at New Towne Center (Kohl's)

■ Aug. 25: D. Lee & the Edge, at Max & Erma's

The last concert of the season will be held Friday, Sept. 8, at the Village Theater at Cherry Hill and features internationally acclaimed musician Alexander Zonjic and Friends.

The schedule is subject to change.

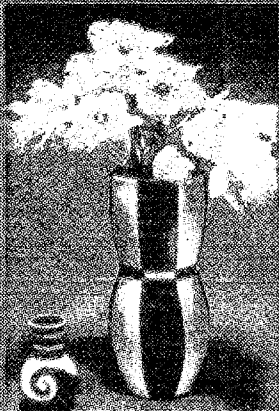
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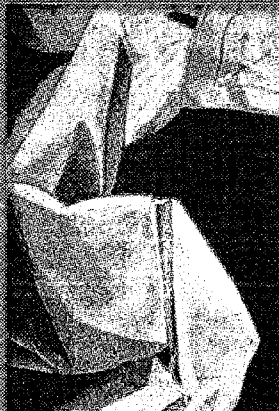
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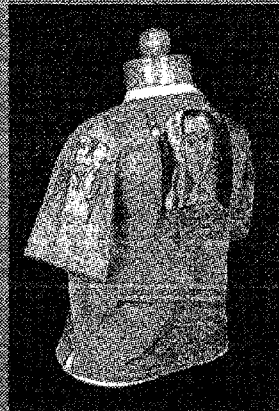
JoAnn Aquinto



Zora Pondell



Lynn Arbor



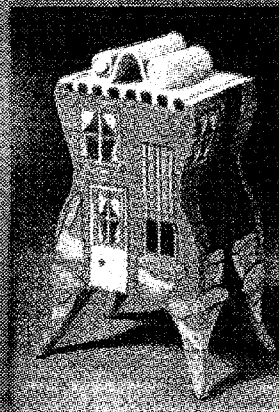
Becka Strachen



Sharon St Mary



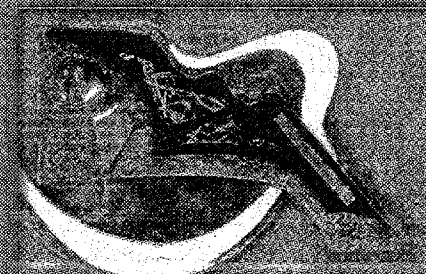
Dawn Gerardot



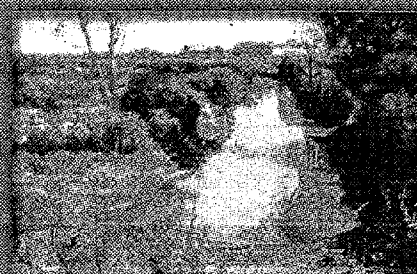
Kimberly Rorick



Laura Milliken



Alan Gibson



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# A place to party

'The Lawn' serves up hot time for concert-goers

BY JIM TOTH  
STAFF WRITER

It measures only a couple hundred yards in length, but it's as recognizable as any patch of land in Michigan.

"The lawn," sometimes referred to as "the hill," at DTE Energy Music Theater has served as the premier party place this side of South Beach for concert-goers for more than three decades. And by the looks and sounds during a recent Saturday night of high-energy rock 'n' roll, the electric atmosphere shows no signs of letting up any time soon.

Some 16,000 Cabo crazies of all ages recently packed the one-of-a-kind outdoor venue to rock with the legendary

Sammy Hagar on a night promising more excitement than a rendezvous with Paris Hilton. And more than half of those in attendance were more than happy to carve out their own niche on the lawn.

"We actually prefer lawn tickets to pavilion tickets," said Kim Ostrander, 41, of Fenton, who has frequented the venue for more than 25 years along with friend Wendy Johnson. "There's more fun. There's more partying and there's more people, more mingling and having a good time."

"I can remember my first concert on the lawn was 'Up, Up and Away in my beautiful, beautiful balloon' — The 5th Dimension — with my mom and dad," said Johnson, bel-

lowing out the familiar lyrics from the group's 1967 top-10 single. "My mom and dad were drinking and I was the chaperone. It was fun then and it's still fun today."

## ONE BIG BASH

A unique aspect of possessing lawn tickets, in which capacity is listed at 8,072, is the memories.

Oh, those memories — many remaining vivid and appreciated by the different generations.

"It's been at least 15 years (since the last time at DTE, then known as Pine Knob Music Theater), but I remember it like yesterday," said Bob Casoli, 45, of Shelby Township, who looked forward to making the trek back up the hill with bud Tom Dangelo.

"We used to roll down OLY balls down the hill at the end of the night," quipped Dangelo, also 45, and from Fenton. "I want to see what's changed (on the lawn). I remember coming here sitting on the lawn when it was \$4."

Older music fans remember DTE when it was called Pine Knob back in the 1970s and '80s. (Pine Knob opened in June 1972 with teen idol David Cassidy taking the stage for headliner Andy Williams.)

Hauling coolers, or kegs, or anything you could wheel was allowed, and certainly made for one interesting evening of partying.

Drinks would flow, Frisbees would fly, and friendships

PLEASE SEE DTE, E22

## Billy Idol still making audiences scream

He's one of the founders of punk, so show some respect.

When Billy Idol played here in Detroit in the '80s, women screamed ... a few even popped their tops in the frenzy.

Twenty-something years later and Idol is still sneering, raising his fist and touring ... and the women are still flashing and want to *Kiss Him Deadly* (sorry, we couldn't resist).

He's coming to DTE at 7:30 p.m. Monday July 31.

It's a cheap party on the lawn under the summer sun for \$10 a ticket. If you want pavilion, tickets are \$35.

Idol, born William Michael Albert Broad in Middlesex, England, became part of a group of teen punk rockers who befriended and followed the Sex Pistols.

He assumed the name Billy Idol while playing guitar for the band Chelsea. In 1976, Idol picked up the

mic and recruited bassist Tony James, drummer John Towe and guitarist Bob Andrews, and formed the legendary Generation X. (*Kiss Me Deadly*).

The group released three albums before splitting up.

Idol then relocated to New York City where he pursued a career as a solo artist.

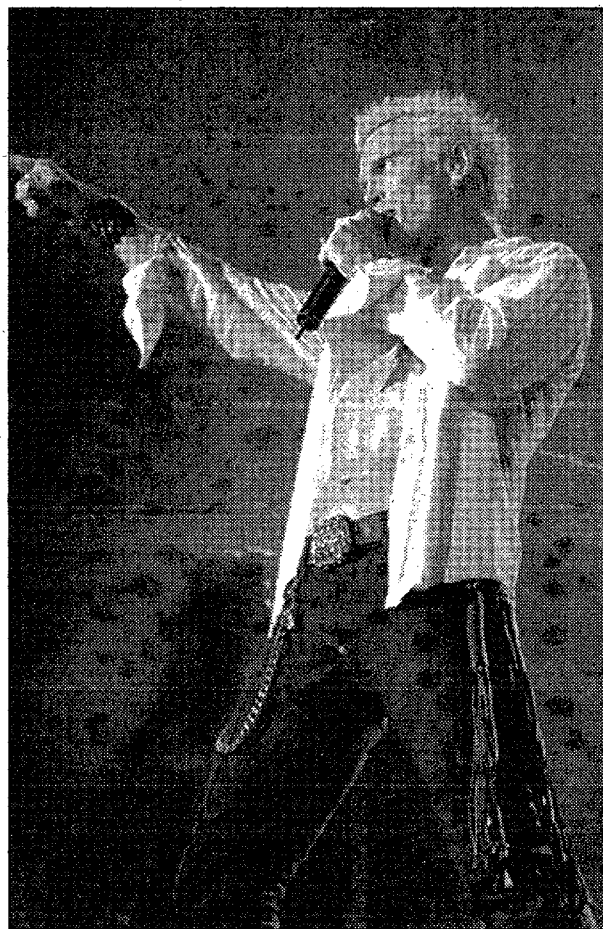
He partnered with guitarist Johnny Thunders and issued a self-titled debut in 1982.

He became a megastar with eye-catching videos for *White Wedding* and *Dancing With Myself* among others.

In 2005, 12 years after his last full-length release, Idol returned to his pop-rock roots with *Devil's Playground*. The album reached No. 46 on Billboard's 200 Top-Selling Albums chart.

He's still cool.

By Lana Mini



Billy Idol brings his sneer Monday, July 31, to DTE.

## DTE ENERGY MUSIC THEATRE SCHEDULE

### JULY

28 – Friday, Poison wsg Cinderella, rock  
29 – Saturday, Ashlee Simpson wsg Ashley Parker Angel, pop  
30 – Sunday, Beach Boys featuring John Stamos, classic rock  
31 – Monday, Billy Idol, rock

### AUGUST

1 – Tuesday, Doobie Brothers, classic rock  
2 – Wednesday, Doobie Brothers, classic rock  
3 – Thursday, PARKING LOT EVENT, Sounds of the Underground, hard rock festival  
4 – Friday, Earth, Wind & Fire, funk/R&B  
5 – Saturday, Boyz II Men wsg En Vogue  
6 – Sunday, The Temptations/The Four Tops, classic R&B  
8 – Tuesday, Tom Petty & The Heartbreakers wsg Trey Anastasio, rock  
10 – Thursday, 311 wsg The Wailers and Pepper, rock  
11 – Friday, Michael W. Smith wsg Third Day and Jars of Clay, Contemporary Christian  
13 – Sunday, Brooks & Dunn wsg Sugarland and Jack Ingram, country  
15 – Tuesday, The James Gang, classic rock  
17 – Thursday, Ted Nugent, rock  
18 – Friday, John Fogerty/Willie Nelson & Family, "The Long Road Home Summer Tour," pop/country/rock  
19 – Saturday, David Lee Roth, rock  
20 – Sunday, Mary J. Blige wsg Jaheim and LeToya, R&B  
22 – Tuesday, Reggae Sunsplash featuring UB40, Toots & The Maytals, Third World, Maxi Priest and Rik Rok  
23 – Wednesday, KC's Boogie Blast: The Ultimate Dance Party starring KC & The Sunshine Band, Gloria Gaynor, Tavares and Sister Sledge featuring Kathy Sledge, R&B/Disco  
24 – Thursday, '70s Soul Jam featuring The Stylistics, The Delfonics and Cuba Gooding Sr. of The Main Ingredient, R&B  
26 – Saturday LaserSpectacular featuring the Music of Pink Floyd, lightshow/tribute concert  
27 – Sunday, Hippiest 2006, classic rock  
30 – Wednesday, The Marshall Tucker Band wsg Molly Hatchet, The Georgia Satellites and Blackfoot, rock

### SEPTEMBER

1 – Friday, Hank Williams Jr. wsg Pat Green, country

PLEASE SEE SCHEDULE, E22



CATCH SUMMER WHILE YOU CAN

# Cool down at one of Michigan's many water parks

Tick tock, that's the sound of summer's clock.

Warm weather days are ticking away — but let's think of the glass as half full. We still have all of August and hopefully much of September left.

Michigan is water park world. They're everywhere.

Michigan's Adventure Amusement Park in Muskegon is attracting a lot of people this year because of its new rapid ride, "Grand Rapids."

It's a 1,500-foot-long rapid river ride that moves thrill-seekers through a rocky canyon filled with geysers and even a waterfall with a theme of the "logging era."

"We are extremely excited about the addition of Grand Rapids and believe it is the perfect centerpiece for our golden anniversary celebration," said Camille Jourden-Mark, vice president and general manager of Michigan's Adventure. "Our guests will love it. They will get drenched!"

The \$5 million ride is the largest in the park. On it, riders navigate the twists and turns of a river canyon. Seated in circular rafts, riders face each other, and watch fellow rafters get soaked by the spray and walls of waves. Guests must be at least 42 inches tall to ride Grand Rapids.

That's a cool way to stay, well, cool.

For the less adventurous, there's an observation platform so families and friends of riders can view the action from a dry vantage point.

Overall, Michigan's Adventure has more than 60 rides and attractions including six roller coasters. Since opening in 1998, Shivering Timbers has been consistently ranked as one of the finest wooden roller



coasters in the world by *Amusement Today's* Golden Tickets Awards.

Also new at Michigan's Adventure is Coasters, a classic 1950s-style diner with a jukebox, vintage seating, and neon fixtures. Hamburgers, cheeseburgers, French fries, milkshakes, malts, and casual meals. The 3,000-square-foot eatery is air-conditioned inside and also has outdoor seating.

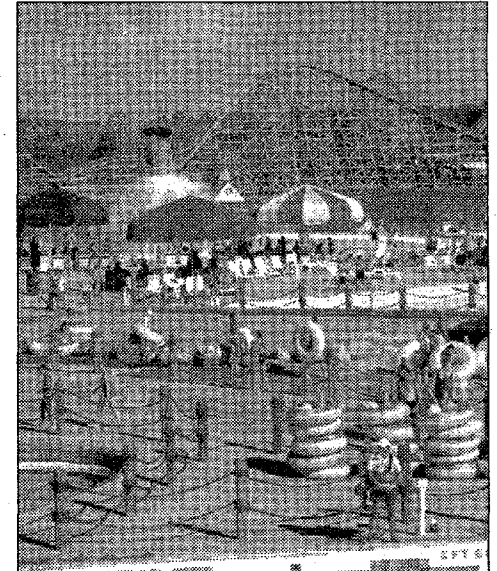
Throughout Michigan, there's water rides waiting for you to conquer. Here's information on some of the state's other water parks:

**Avalanche Bay Indoor Waterpark,** Boyne Falls, (800) GO-BOYNE, [www.avalanchebay.com](http://www.avalanchebay.com)

**Full Blast,** Battle Creek, (269) 966-3667, [www.fullblast.org](http://www.fullblast.org)

**Fun Tyme Adventure Parks,** Grand Ledge, Mason and Okemos, (517) 676-1942, [www.funfimepark.com](http://www.funfimepark.com)

Parks aim to offer rides for all ages — from the calm and cooling to the thrilling. The Muskegon-based park is known for its family-friendly rides and six roller coasters.



**Red Oaks Waterpark,** Madison Heights, (248) 585-6990, [www.oakgov.com/parksrec/ppark/red.htm](http://www.oakgov.com/parksrec/ppark/red.htm)

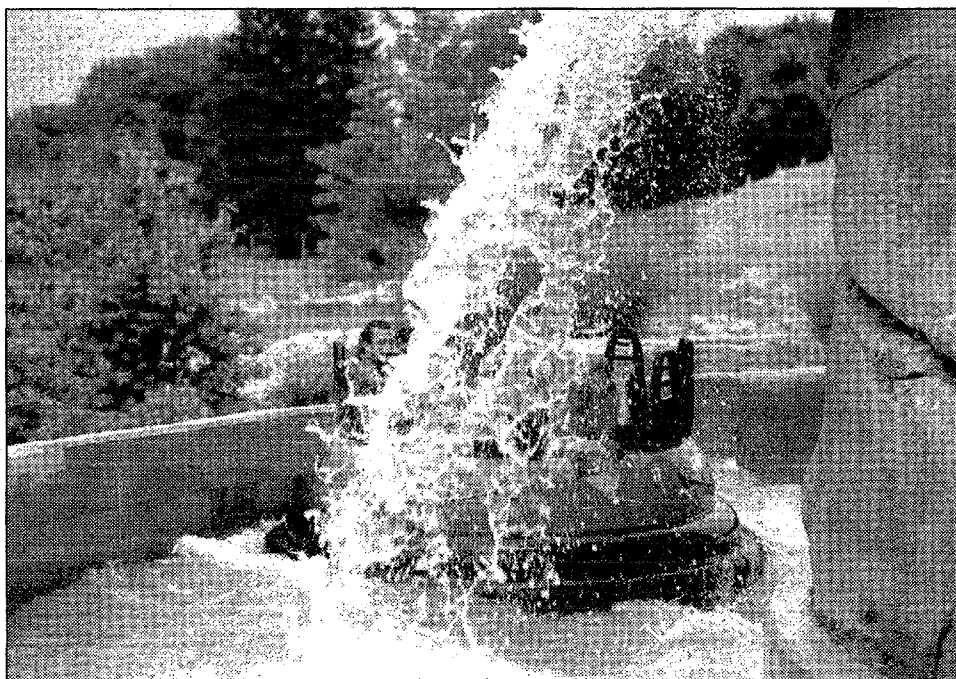
**Waterford Oak County Park,** (248) 858-0906, [www.oakgov.com/parksrec/ppark/waterford\\_wp.html](http://www.oakgov.com/parksrec/ppark/waterford_wp.html)

**Wild Buffalo Lodge,** Traverse City, scheduled to open later this year, [www.mytraversecity.com](http://www.mytraversecity.com)

**WildWater Adventure and Michigan's Adventure Amusement Parks,** Muskegon, (231) 766-3377, [www.michigansadventure.com](http://www.michigansadventure.com)

**Zehnder's Splash Village,** Frankenmuth, (800) 863-7999, [www.zehnders.com](http://www.zehnders.com)

Lana Mini



The new "Grand Rapids" ride at Michigan's Adventure Park represents the state's logging era — and soaks the riders.

[www.hometownlife.com](http://www.hometownlife.com)

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Includes two tender filet medallions, two jumbo shrimp, choice of soup or salad, pasta and fresh vegetable

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BILL BRESLER | STAFF PHOTOGRAPHER

Beans & Cornbread in Southfield 'cues up Baby Back Ribs and Rib Tips.

# 'Cueing up Finger-lickin', chin-dribblin' and lip smackin' ribs

BY ELEANOR HEALD  
CORRESPONDENT

Why do we like 'cueing up?  
Everyone who loves barbecued ribs probably has many reasons, but here are a few of mine.  
In the days of celebrity super chefs, stacked foods that resemble monuments on a plate, overly artsy food presentations and yes, sometimes, restaurant self-importance, barbecued ribs are finger-lickin', chin-dribblin', lip-smackin' and unpretentious eats — not a gastronomic tour de force.

Ribs have one drawback. You can't crave them and immediately satisfy that at home. The best are rubbed with tender care and slow cooked. That's where rib joints come in.

## A MATTER OF STYLE

Based on several factors, barbe-



cue has many regional variations. There's the type of meat, the sauce (thick or thin, sweet or hot, generally based on some combo of tomatoes, vinegar and mustard), the role played by smoke, the equipment and fuel used and how much time is spent cooking the meat at a specific temperature.

Southern 'Cue has state and county subcategories. Texas 'Cue is principally beef, not pork, tomato-

based sauce, thinned with vinegar and Worcestershire with added hot peppers.

Kansas City appears to be the place where barbecue rituals meet with slow smoking over hickory wood, spicy rubs and thick tangy sauce.

Memphis Style ribs are smoked in the same manner as other pork ribs, but only after a dry rub is applied. If a sauce is served, it's on the side at the table to be added as pleases the patron. A top example of this style 'cue is found at Livonia's **Bone Yard Barbecue** (with another location in Farmington Hills) where a side of cole slaw is hard to beat as an interlude from rib to rib.

Memphis Smoke puts its style in the name. Ribs here are smoky and come with southern-style sides

PLEASE SEE RIBS, E13

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RIBS

FROM PAGE E12

such as red beans and rice, country greens made from collards, mustard greens and Swiss chard. Top-flight blues bands call this place a second home.

MORE STYLE FAVORITES

St. Louis-style ribs are essentially spare ribs (as are Kansas City) and refer more to how the ribs are trimmed (brisket bone removed) and generally have a little more fat. When cooked properly, they are tender with loads of flavor.

**Famous Dave's Barbeque** ribs are classic St. Louis style hickory-smoked spare ribs with a proprietary sauce. Dave's claims to have won more than 150 awards for its pit-smoked ribs. The Rochester Hills, Westland, Roseville and Taylor locations have a newly-opened sister eatery in Novi. The to-go counters make take-out easy. Four-alarm flavored baby backs are also served as full or half slab.

Hickory-smoked St. Louis ribs are also a specialty at **Tavern 1999** in Plymouth.

St. Louis cut ribs, smoked over hickory wood, come in three types at **Red Hot & Blue** in Novi. Dry ribs (Memphis tradition) are smoked

WHERE TO GET FABULOUS 'CUE

**Beans & Cornbread**, 29508 Northwestern Highway, Southfield, (248) 208-1680

**Bone Yard Barbecue**, 30843 Plymouth Road, Livonia, (734) 427-6500 and 31006 Orchard Lake Road, Farmington Hills, (248) 851-7000

**Famous Dave's Barbeque**, 2945 Rochester Road, Rochester Hills, (248) 852-6200; 36601 Warren Road, Westland, (734) 595-1000; 13 Mile & Gratiot, Roseville, (586) 293-2900; Eureka and Telegraph, Taylor, (734) 374-2700; and newly-opened at 43350 Crescent Blvd., Novi, (248) 735-1111

**Memphis Smoke**, 100 S. Main St., Royal Oak, (248) 543-4300

**Red Hot & Blue**, 25750 Novi Road, Novi, (248) 374-8440

**Slows Bar BQ**, 2138 Michigan Ave. (at 14th Street), Detroit, (313) 962 9828

**Station 885**, 885 Starkweather St., Plymouth, (734) 459-0885

**Tavern 1999**, 447 Forest, Plymouth, (734) 414-1999

with a proprietary blend of dry spices.

Wet Ribs are slathered with a Mojo Mild BBQ sauce. Sweet Ribs are glazed with Suffern' Sweet BBQ Sauce and perfected on the grill. If you prefer savory to sweet, this latter

is not what you should order.

Wednesdays are rib lovers nights at **Station 885** in Plymouth. Then, a full slab of "falling off the bone," St. Louis-style baby backs with cole slaw and baked beans is \$12.

**Slows Bar BQ** in Detroit (where wait time for a table can be more than an hour on weekends) is famous for its meaty, moist and tender hickory and apple wood smoked baby backs and its smoky and rich St. Louis spareribs.

Backyard-style baby backs with a proprietary sauce are also among favorites at **Beans & Cornbread** in Southfield.

Texas-style beef ribs are offered as a special a few nights each week. And this is where you should also order a side of lip-smackin' mac & cheese!

Owner Patrick Coleman indicates that updates at **Beans & Cornbread** are on the drawing board.

They include expansion of the nine-year-old popular eatery to include a lounge and wine bar, plus some menu innovations. A new look, Coleman said, is slated for completion in October. For now, enjoy his finger-lickin' ribs!

**Eleanor Heald** is a nationally published writer and Troy resident who writes about restaurants, food, wine and spirits for the *Observer & Eccentric Newspapers*. Contact her by e-mail at [focusonwine@aol.com](mailto:focusonwine@aol.com).

P.F. Chang's offers Sichuan

P.F. Chang's China Bistro now offers Sichuan flavors. Of all Chinese cuisine, Sichuan (sometimes spelled Szechwan) is probably the best known worldwide.



"Chang's corporate chefs traveled to Chengdu city and observed the cooking style and brought back ideas that are authentic," said executive chef Ted Teeter at the Somerset location in Troy.

"Most Sichuan dishes are spicy but in the menu, offered as a multi-course 'Night in Chengdu' at \$21.95 per person, the Imperial Black Cod is not spiced."

The following is the multi-course presentation, yet each item can be ordered separately as noted.

Begin with Flaming Red Wontons, poached pork dumplings in a spicy garlic and sesame soy sauce, finished with scallions and pickled chili peppers (\$6.95). Served next is Tam's Noodles with Savory Beef and Shrimp. Uniquely textured noodles are stir-fried with sliced beef, shrimp and chili peppers in abalone sauce (\$13.95). Overall balance, harmony of flavors and noodle texture make it Teeter's favorite.

Then it's on to Ma Po Dou Fu, soft tofu and minced chicken, simmered in a fiery Sichuan peppercorn and chili bean sauce (\$8.95). A palate refresher of cucumber and tomatoes follows.

PLEASE SEE P.F. CHANG'S, E23

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Send, fax or e-mail items for consideration in Get Out! at least two weeks in advance, to Ken Abramczyk, *Observer & Eccentric Newspapers*, 805 E. Maple, Birmingham, MI 48009, fax (248) 644-1314 or e-mail [kabramcz@hometownlife.com](mailto:kabramcz@hometownlife.com).

## ART EXHIBITS

### Detroit Institute of Arts

The Art of Screenprint, at the Detroit Institute of Arts, 5200 Woodward, Detroit, \$3-\$6, (313) 833-7900 or visit [www.dia.org](http://www.dia.org).

### Cranbrook Art Museum

An exhibit of Philip Treacy's hats for muse Isabella Blow runs through Aug. 27, 39221 Woodward, Bloomfield Hills, \$4-\$6, call (877) 60-CRANBROOK or visit [www.cranbrookart.edu](http://www.cranbrookart.edu).

### Kresge Art Museum

*Cat Chow: Second Skin - Ingenuity Transforms Fashion into Art*, North Gallery; *In Vogue/In Prints: Period Fashion*, in the Works on Paper Gallery and *Personal Letters* by artist and Michigan State University alumnus John Scott, Old Masters Gallery, all exhibits run through July 28, [www.artmuseum.msu.edu](http://www.artmuseum.msu.edu), (517) 353-9834.

### Metalsmithing

*Critical Mass: Metalsmithing at Cranbrook under Gary Griffin*, through Oct. 15, 39221 Woodward, Bloomfield Hills, \$4-\$6, call (877) 60-CRANBROOK or visit [www.cranbrookart.edu](http://www.cranbrookart.edu).

### Moving Sculpture

*Time and Transformation*, through Sept. 17, University of Michigan Museum of Art's temporary space, 1301 S. University, U-M campus, Ann Arbor, (734) 763-UMMA or visit [www.umma.umich.edu](http://www.umma.umich.edu).

### More DIA

*Annie Leibovitz: American Music*, intimate portraits of those influenced by American roots music, Sept. 24 through Jan. 7, visit [www.dia.org](http://www.dia.org)

## ART GALLERIES

### Sherry Gallery

Abstractions of life paintings, through Aug. 26, 1274 Library St. at Grand River, Detroit, (313) 961-4500.

### Arnold Klein

Gallery's 35th anniversary celebration, urban views exhibition with Arms, Christo, Mershimer, Murphy and others, 11 a.m. to 5 p.m. Tuesday-Saturday, 32782 Woodward, Royal Oak, (248) 647-7709.

### Meadow Brook Art Gallery

Oakland University, 208 Wilson Hall, Rochester Hills, free, call (248) 370-3005 or visit [www.oakland.edu/mbag](http://www.oakland.edu/mbag).

### Orchard Lake Art Gallery

4301 Orchard Lake Road, West Bloomfield, (248) 538-9021.

### Oakland Community College

Student Art Show at the Highland Lakes Campus, Woodland Hall Library, 7300 Cooley Lake Road, Waterford. 8 a.m. to 10 p.m. Monday-Friday, 8 a.m. to 4:30 p.m. Friday, 9 a.m. to 3 p.m. Saturday.

### Paint Creek Center for the Arts

Artists' exchange show with Oasis Gallery from Upper Peninsula, show runs until Aug. 5, PCCA Main Gallery, 407 Pine St. (at Fourth) in Rochester, (248) 651-4110, [www.pccart.org](http://www.pccart.org)

## ART, ETC.

### Birmingham Community House

Sylvia Clark's works in oil are being showcased during the month of August in the Martha Maxwell Gallery located on the second floor of the Community House of Birmingham. 380 S. Bates, Birmingham, (248) 644-5832.



### Livonia Arts Commission

Nature Portraits, Richard Yesh, through July 29, Livonia Civic Center Library Gallery, 3277 Five Mile Road.

### Michigan Watercolor Society

59th annual Exhibition Travel Show, 217 Farnsworth, Detroit, [mwcsart.com](http://mwcsart.com), (313) 831-1250.

### Plymouth Community Arts Council

Instructor exhibition, through month of July, 774 N. Sheldon, Plymouth, (734) 416-4278, [www.plymoutharts.com](http://www.plymoutharts.com)

### Kresge Art Museum

Summer hours in July, 11 a.m. to 5 p.m. Tuesday-Friday, noon to 5 p.m. Saturday-Sunday, closed August, first floor of the Kresge Art Center, on Michigan State University campus, [www.artmuseum.msu.edu](http://www.artmuseum.msu.edu), (517) 353-9834.

## CLUBS

### 220 Merrill Street & Edison Lounge

Extensive drink menu, live music, dancing, eclectic and American nouveau cuisine, 220 E. Merrill, Birmingham, (248) 645-2150.

### 313.Jac's

Located upstairs at Jacoby's, 624 Brush in Bricktown, (313) 962-7067, 21 and over, doors open 10 p.m., cover \$5, [www.staticrecords.com/shows.htm](http://www.staticrecords.com/shows.htm).

### The Ark

316 S. Main, Ann Arbor, (734) 761-1451, [www.theark.org](http://www.theark.org).

### Bachelor's One

1967 Cass Lake Road, Keego Harbor, (248) 682-2295.

### Belmont Bar

Mademoiselle Mondays, \$10, for martini and manicure, therapeutic massage \$1 minute, punk nights Tuesdays, live rock Wednesdays, DJs and local bands on weekends, 10215 Joseph Campau, Hamtramck, (313) 871-1966.

### Blind Pig

Longtime hip music spot, 208 S. First St., Ann Arbor, (734) 996-8555. [www.blindpig-music.com](http://www.blindpig-music.com).

### Blue Martini

Live music 8-11 p.m. Tuesdays through Thursdays, and Saturdays and Sundays, 201

Hamilton, between Woodward and Old Woodward, one block north of Maple, (248) 258-3005.

### Bosco

Enjoy noWax nights at 7 p.m. every Wednesday, download music into your MP3 Player, take a number and wait your turn to be DJ and spin three songs, no cover, 21 and over only, 22930 Woodward in Ferndale, [www.thebosco.com](http://www.thebosco.com), (248) 541-8818.

### Buddha Lounge

Thursday, DJ Shug plays super sonic smooth music and beer pong tournament. Saturdays DJ Terrence Parker & Mo Reese; Sundays, Karaoke; Tuesdays, Deep House; Wednesdays Jamtramck jazz band. [www.gobuddha.net](http://www.gobuddha.net). (313) 535-4664.

### Club Bart

CD release party for There and Back Again, Tracy Kash Thomas, 9 p.m. Sunday, July 30, 21 and over only, 22726 Woodward, Ferndale, (248) 548-8746.

### Club 2000

Fat Twosdays with DJ Carl the Invisible Man 9 p.m. Tuesdays, hip-hop, 18 and over, 299 E. Woodbridge, Detroit, (313) 235-2233.

### Crazy Moe's Cafe

Food, dancing, music, 2 N. Saginaw St., Pontiac, (248) 322-5550.

### Danny's Irish Pub

Laid-back, small, friendly, 22824 Woodward, Ferndale, (248) 546-8331.

### Dino's Lounge

Live bands on weekends, football specials on Sundays, hip, laid back, friendly, 22740 Woodward, just south of Nine Mile in Ferndale, (248) 591-DINO.

### Edison's

220 E. Merrill, Birmingham, (248) 645-2150.

### Elysium

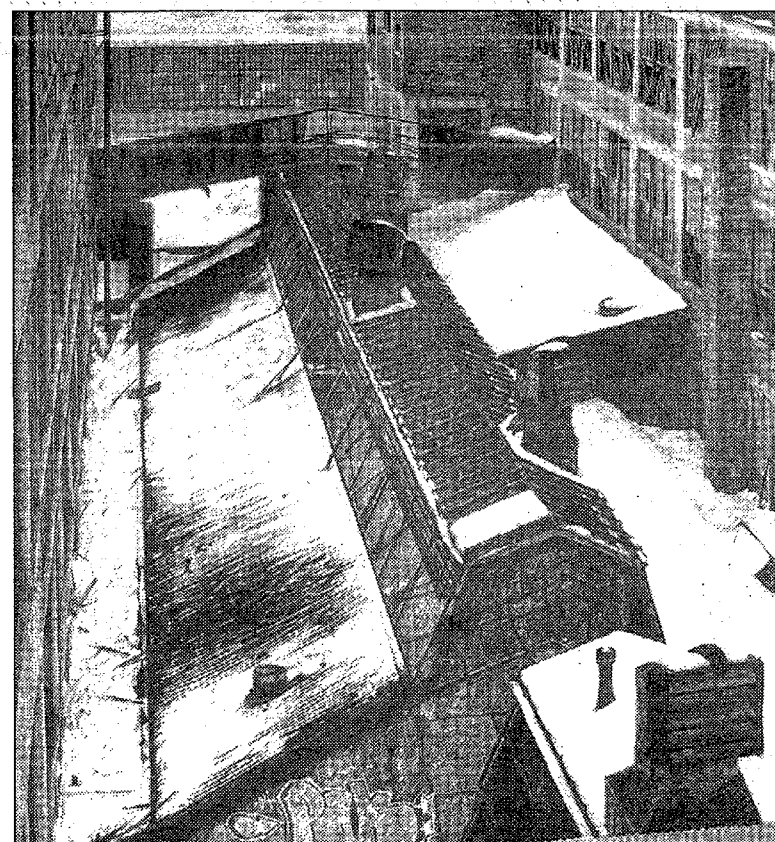
Lounge, dance and happy hour 3-9 p.m. Tuesdays-Fridays, nightclub hours Fridays and Saturdays, 9 p.m. to 2 a.m., (313) 962-2244, 625 Shelby, Detroit. [www.elysium-lounge.com](http://www.elysium-lounge.com).

### Emerald Theatre

Concert house, dancing. 32 N. Walnut, Mount Clemens, (586) 913-1920.

### Fiamma Grille

Roy Scoutz, 7-10 p.m. Tuesdays and Wednesdays, George "The Kat" plays saxo-



## ART

'Drawing with Bridge' by Stephanie Buers is part of the "Wish You Were Here" exhibit Aug. 4-25 at Birmingham-Bloomfield Art Center located at 1516 S. Cranbrook Road, Birmingham. Call (248) 644-0866 or visit [www.bbartcenter.org](http://www.bbartcenter.org).

phone, 7-10 p.m. Thursdays, 380 Main, Plymouth, (734) 416-0100.

### Ginopolis on the Grill

Don Swindell and Shuffle Play, with Swindell, Sheila Brown, Mike Lorenz and Jake Reichhart, 7:30-11:30 p.m. Friday and Saturday, 27851 Middlebelt (at 12 Mile) in Farmington Hills, no cover, (248) 851-8222.

### John Cowley & Sons Irish Tavern

33338 Grand River Ave., downtown Farmington, call (248) 474-5941 for more information.

### Leland City Club

Avant garde, open until 4 a.m., access through unmarked door on the First Street side of the Ramada Hotel building, 400 Bagley, Detroit, [www.lelandcityclub.com](http://www.lelandcityclub.com).

### The Locker Room Saloon

Wild Wednesdays with DJ Oz, Trivia Night and Ladies Night Thursdays, Funky Fridays with DJ Paul, Insane Saturdays with DJ Oz, 7790 Auburn, Utica, (586) 731-3323, [www.locker-roomsaloon.com](http://www.locker-roomsaloon.com), [www.ckpep.com](http://www.ckpep.com)

### Rainbow Room

Laid-back atmosphere, dancing, 6640 E. Eight Mile, Detroit, (313) 891-1020.

### X/S

High-energy dance club, 1500 Woodward, northeast corner at John R, Detroit, (313) 963-9797.

### Seldom Blues

Big Band Wednesdays with Johnny Trudell and his 18-piece band, 7-11 p.m., playing a mix of jazz favorites. The restaurant also features live jazz every night of the week, located in Tower 400, Level 1 of the GM Renaissance Center next to the Marriott, call (313) 567-7301.

### Sky Club

Tango, salsa, and Latin dancing every Wednesday beginning at 8 p.m., located above Sangria's Restaurant, 401 S. Lafayette, Royal

Oak, (248) 543-1964.

### Token Lounge

28949 Joy, Westland, (734) 513-5030.

## COMEDY

### Ann Arbor Comedy Showcase

Comedy Jamm, open mic night Thursday nights, starting 8 p.m. through October; Tony Rock, July 28 and 29, 314 E. Liberty, Ann Arbor, (734) 996-9080.

### JD's House of Comedy

Stand-up shows, 8 p.m. Thursday and 8 p.m. and 10:30 p.m. Friday-Saturday; Apollo amateur night, 8 p.m. Wednesday, \$10-\$15, 25333 W. 12 Mile, inside Star Theatre complex, Southfield, (248) 348-2420 or [www.ticketmaster.com](http://www.ticketmaster.com).

### Second City

*Bobble Heads of State*, performances are Wednesday-Sunday, \$15-\$20, 42705 Grand River, Novi, call (248) 348-4448. For tickets, call (248) 645-5555 or [www.ticketmaster.com](http://www.ticketmaster.com).

### Wise Guys Comedy Club

40380 Grand River, Novi, (248) 919-3216.

### Mark Ridley's Comedy Castle

Stand-up, 269 E. Fourth, Royal Oak, (248) 542-9900, [www.comedycastle.com](http://www.comedycastle.com).

### Joey's Comedy Club

Randy Lubas, July 27-29; 36071 Plymouth Road, Livonia, (734) 261-0555, also has comedy at second location, 5070 Schaefer, Dearborn, (313) 584-8885; [www.joeyscome-dy.com](http://www.joeyscome-dy.com).

## DANCE

### Tango for Two

Argentine tango by "I Tango," with attendance by Argentine ambassador to benefit DSO and Michigan Opera Theatre, July 29, Lutz Farm, Ann Arbor, (313) 237-3425 or [www.MichiganOpera.org](http://www.MichiganOpera.org).

### Dance Challenge



The sixth annual Michigan Dance Challenge. Ballroom Dance Competition for professionals and amateurs, plus a fabulous Saturday night show, Aug. 18-20, Hyatt Regency, Fairlane Town Center, Dearborn, for tickets call Mark Brock at (248) 561-7711, or visit [www.michigan-dancechallenge.com](http://www.michigan-dancechallenge.com)

### Get Ready For Dream Cruise

A Picnic experience at Fox & Hounds in Birmingham, 6 p.m. Thursday, Aug. 17: Great music and dancing to "Blu Pearls" Rockin Tunes, muscle car show, tickets are \$100, guests must be 21 and older, (248) 644-4800.

## DOWNTOWN DISTRICTS

### Chelsea

Sounds & Sights through Sept. 7, live entertainment, carriage rides, kids activities, art market, (734) 475-1145 or [www.chelseafestivals.com](http://www.chelseafestivals.com).

### Ferndale

3rd Thursdays on the Nine, live entertainment, July 20 and Aug. 17, Nine Mile, [www.downtownferndale.com](http://www.downtownferndale.com).

## FAMILY

### Oakland County 4-H Fair

July 27-30, races, rodeo, demolition derby, monster trucks, Springfield Oaks, 12451 Andersonville, Davisburg, (248) 634-8830, [www.oakfair.org](http://www.oakfair.org).

### Robot exhibit

"Robot City," new interactive exhibit, continues through Sept. 17, 5020 John R, Detroit, \$6-\$7, call (313) 577-8400 or visit [www.detroitsciencecenter.org](http://www.detroitsciencecenter.org).

### Cranbrook Institute of Science

"Playing With Time," runs through Sept. 4, 39221 Woodward, Bloomfield Hills, \$5-\$7, call (877) 60-CRANBROOK or visit [www.cranbrook.edu](http://www.cranbrook.edu).

### Detroit Science Center

Exhibits include *As Time Goes By*, new exhibit about the aging process, and *A Journey to Our Future*, now open to accompany center's new permanent Space Laboratory exhibit, 5020 John R, Detroit, \$6-\$7, call (313) 577-8400 or visit [www.detroitsciencecenter.org](http://www.detroitsciencecenter.org).

### Detroit Zoo

"The Peregrine Falcon: Return of an Endangered Species" exhibit with photos, interactive displays and videos, runs through Sept. 8, open daily during regular zoo hours, 10 a.m. to 5 p.m., at no additional charge, zoo admission \$7-\$11, (248) 398-0900, [www.detroitzoo.org](http://www.detroitzoo.org).

## FARMERS MARKETS

### Farmington Farmers & Artisans Market

9 a.m. to 3 p.m. Saturdays through Nov. 18, live music from 11 a.m. to 2 p.m. and a market basket giveaway, Walter Sundquist Pavilion & Riley Park, Farmington Road and Grand River, visit [www.downtownfarmington.org](http://www.downtownfarmington.org) for more information.

## FESTIVALS

### Dearborn Homecoming

Aug. 4-6, children's contests, carnival rides, fireworks, [www.cityofdearborn.org](http://www.cityofdearborn.org), (313) 943-2285.

### Chaldean Fest

Noon to 10 p.m. Aug. 12-13, lawn in front of Southfield's Civic Center along Evergreen, festival admission is free, [www.chaldeanfestival.com](http://www.chaldeanfestival.com), (248) 538-3700.

### Melon Festival

47th annual Howell Jaycees Melon Festival, Aug. 18-20, historic downtown Howell, (517)



## MUSIC

Glam/Crunk musician Butch Walker and his band headline St. Andrews Hall in Detroit at 7 p.m. Tuesday, Aug. 1, in support of Walker's album 'The Rise and Fall of Butch Walker and the Let's Go Out Tonites.' Tickets are \$15. Visit [www.ticketmaster.com](http://www.ticketmaster.com). It's an all ages show. Check out Walker's fun music at [myspace.com/butchwalker](http://myspace.com/butchwalker).

546-7477, [jcmelonfestival.com](http://jcmelonfestival.com)

gate, (231) 271-4444.

## FILM

### Comcast Summer Film Series

Free films, through Aug. 26, every Saturday at Campus Martius Park, downtown Detroit, entertainment starts at 8 p.m., films show at about 9 p.m. For information, go to [www.comcastfilmseries.com](http://www.comcastfilmseries.com).

## FIREWORKS

### MICHIGAN '50S FESTIVAL

Friday, July 28, Novi Town Center, across from the former Novi Expo Center, Novi Road and Grand River, live music, food, a cruise on Saturday, (248) 349-1950, <http://www.michiganfiftiesfestival.com/events.html>

## JAZZ

### Windsor Detroit Jazz Club

Chuck Moss and the Paint Creek Jazz Society Band, 1-4 p.m. first and third Saturday of every month, Shield's Pizza, 25101 Telegraph (northwest corner of 10 Mile and Telegraph), Southfield, \$8 cover, (248) 478-0172.

### Jazz and dinner

"Kind of Blue Tuesdays," at Lola's, Harmonie Park. Led by the Gerard Evans Quartet, the shows help musicians play with the core group at 9 p.m. every Tuesday, 1427 Randolph St. in Detroit's Harmonie Park, (313) 962-0483.

### Jazz in the Garden

George "Sax" Benson, July 27, 7-10 p.m., \$30, includes main floor tour, hors d'oeuvres and one drink ticket, cash bar available, on campus of Oakland University in Rochester, (248) 364-6263, [www.meadowbrookhall.org](http://www.meadowbrookhall.org).

### Suttons Bay Jazzfest

1-9 p.m. Saturday, July 29, Suttons Bay Marina Park, featuring Betty Joplin Quartet, Epsilon Jazz Band, The Harry Goldson Quintet, The Bob James Quintet, \$25 in advance, \$35 at

## MORE MUSIC

### Outdoor Music Series

"Hot Fun in the Summertime" music series, featuring Tartarsauce Traditional Jazz Band, July 27, and Mystery Train featuring Jim McCarty, Aug. 3, concerts scheduled 7-9 p.m., Beverly Park, Beverly Hills.

### Music in the Park

Concerts start at noon, featuring elmo Thumm, Aug. 2; Gemini, noon, Aug. 9; Guy Louis Chautauqua Express, Aug. 16; Matt Watroba, Aug. 23; Kellogg Park, Plymouth, sponsored by Plymouth Community Arts Council, (734) 416-4278, [www.plymoutharts.com](http://www.plymoutharts.com)

### Concerts in the Park

Lorelei, Detroit's finest A Cappella Experience and Air Margaritaville, 2 p.m. Wednesday, Aug. 2, Shain Park, Birmingham, [www.myspace.com/toreleiladies](http://www.myspace.com/toreleiladies).

### Heritage Park in Canton

Thursday Night Concerts in the Park, Dwayne Allen Harlick, 7:30-9 p.m., Aug. 3; Tuesdays are Terrific-Youth Variety Series, features The Timekeepers, noon, Aug. 8, park is west of Canton Center Road, south of Cherry Hill in Canton, (734) 394-5460.

### KerryTown

415 N. Fourth Ave., Ann Arbor, reservations recommended, (734) 769-2999, [www.kerrytownconcerthouse.com](http://www.kerrytownconcerthouse.com).

### Station 885

Tony Ruda and Pat Smith play jazz 7-10 p.m. every Thursday (bass and piano), 885 Starkweather, Plymouth, (734) 459-0885.

### Trinity House

Reservations recommended for 87-seat concert house, 38840 W. Six Mile (just west of I-275), Livonia, shows 8 p.m., no alcohol, no smoking, (734) 464-6302, [www.trinityhouse.org](http://www.trinityhouse.org).

### Magic Bag

Friday, July 28 - doors open at 8 p.m., \$7, The Edit Concern with Matt Keil Band & Aphonic, [www.blendmusic.com](http://www.blendmusic.com); Saturday, July 29 - doors at 8 p.m., \$10 (21 and older), The Mega 80's; Friday, Aug. 4 - doors at 8 p.m., \$15, Gary Hoey with Space Nelson.

## MUSEUMS

### Henry Ford Museum

20900 Oakwood Blvd., west of the Southfield Freeway and south of Michigan Avenue, Dearborn. Additional charges and varying hours for entry to Greenfield Village, Ford Rouge Factory Tour and IMAX Theatre. For more information, call (313) 982-6001 or visit [www.hfmv.org](http://www.hfmv.org).

### Cranbrook Science Museum

Featured exhibit is *It's a Nano World*. Permanent exhibits include planetarium, nature center and Bat Zone Conservatory, 39221 Woodward, Bloomfield Hills, general admission is \$5-\$7, planetarium, \$1-\$3, (248) 645-3200 or [www.cranbrook.edu](http://www.cranbrook.edu).

### Detroit Science Center

Premiere of *Magnificent Desolation: Walking on the Moon* narrated by Tom Hanks and new planetarium show, *Journey to the Edge of Space and Time*, \$6, shows run indefinitely, 5020 John R, Detroit, \$6-\$7, (313) 577-8400, [www.detroitsciencecenter.org](http://www.detroitsciencecenter.org).

### Rochester Hills Museum at Van Hoosen Farm

1927 Dairy Barn, 1850 and 1840 furnished farmhouses with permanent and temporary exhibits about regional history. General admission \$5 adults, \$3 seniors and students, (248) 656-4663, [www.rochesterhills.org](http://www.rochesterhills.org).

## SOMETHING DIFFERENT

### Shakespeare in the Park

The Comedy of Errors Gold Rush Style, Water Works Theatre Company, Thursdays-Sundays, July 27-Aug. 6, Starr Jaycee Park, 1101 W. 13 Mile Road, Royal Oak, tickets \$15-\$20, special "kids free" matinees July 29 and Aug. 6, (248) 399-3727, [www.waterworkstheatre.com](http://www.waterworkstheatre.com).

### Book signing

Conrad Sutatre, author of *Old School Romance*, 2 p.m., Aug. 5, Paperback Outlet, 29170 Hoover, Warren, (586) 751-7228.

### Drive-in movies

Compuware Sports Arena, double features, through Sept. 3, \$6-\$8, 14900 Beck, Plymouth Township, (734) 927-3284.

### Meadow Brook Hall and Garden

Special Little Ladies Tea, Aug. 22, \$45 per person, reservations required, on campus of Oakland University in Rochester, (248) 364-6263, [www.meadowbrookhall.org](http://www.meadowbrookhall.org)

### Ballroom dancing

8-11 p.m., third Friday each month, Costick Center, 28600 11 Mile, Farmington Hills, (248) 473-1830.

### Rochester Hills Museum

Fun Friday events, bring picnic lunch, swimsuit and watershoes to enjoy entertainment noon to 2 p.m. and 100-foot Slip & Slide, \$2, 1005 Van Hoosen, Rochester Hills, (248) 608-8261, [www.rochesterhills.org](http://www.rochesterhills.org).

### Great Lakes Bat Festival

Saturday, Aug. 5, Cranbrook Institute of Science, 39221 Woodward, Bloomfield Hills, \$5-\$7, [www.batconservation.org](http://www.batconservation.org).

### Sturgis Bike Week

Rock 'n the Rally Music Festival, new music fest, Aug. 6-10, featuring Nickelback, Big and Rich with Cowboy Troy, Sammy Hagar, The Steve Miller Band, Keith Urban and Cheap

Trick, in North Dakota, for ticket info, visit [www.starticketsplus.com](http://www.starticketsplus.com)

### St. Joseph Mercy Health Exploration Station

Free Family Fun Days, fourth Thursday of each month, 10 a.m. to 8 p.m., inside the St. Joseph Mercy Canton Health Building at 1600 S. Canton Center Road, Canton, (734) 398-7518, [www.healthexplorationstation.com](http://www.healthexplorationstation.com).

### Preservation Wayne

Walking tours offered of five historic areas of Detroit (downtown, Eastern Market, Midtown, Auto Heritage and the Cultural Center), Saturdays at 10 a.m. or Tuesdays after work, through September, \$10 per person, visit [www.preservationwayne.org](http://www.preservationwayne.org) or call (313) 577-7674.

### Southfield Public Library

During August, sneak peek of Books & Beyond Festival, Sept. 16 and 17, clay sculptures, wall hangings, contemporary paintings, needlework, wearable art clothing, 26300 Evergreen Road, (248) 796-4224, [www.sfdlib.org](http://www.sfdlib.org).

### Movies at the Redford Theatre

Located at 17360 Lahser, Detroit. Visit [www.redfordtheatre.com](http://www.redfordtheatre.com) or call (313) 537-2560.

### Wyandotte Waterside Concerts

7-8:30 p.m. at Bishop Park, Reel Happy String Band, Aug. 2; Pelts and Company, Aug. 16; (734) 324-4506.

### Mosaic Youth Theatre of Detroit

Purliel, Detroit Film Theatre, Detroit Institute of Arts, Aug. 18-27, \$12-\$18, children 5 and under not permitted in theater, [www.mosaicdetroit.org](http://www.mosaicdetroit.org), call DIA to charge by phone (313) 833-4005.

### Flint Institute of Music

Open house showcases music and dance classes, 6-8 p.m. Tuesday, Aug. 22, Dort Music Center, 1025 E. Kearsley St. in Flint, (810) 238-1350, [FlintInstituteofMusic.org](http://FlintInstituteofMusic.org).

## SUMMER SERIES

### Detroit Zoo

Wild Summer Nights at the Detroit Zoological Institute featuring live entertainment and extended hours, Wednesdays, through Aug. 30, 10 Mile and Woodward, Royal Oak, (248) 398-0900 or [www.detroitzoo.org](http://www.detroitzoo.org).

## THEATER — PROFESSIONAL

### Michigan Shakespeare Festival

Through Aug. 6, Potter Center at the Jackson Community College, Jackson, \$8-\$26, (866) 705-2636 or [www.michshakefest.org](http://www.michshakefest.org).

### Fisher Theatre

3011 W. Grand Blvd., Detroit, \$28-\$69, call (248) 645-6666 or visit [www.NederlandersDetroit.com](http://www.NederlandersDetroit.com) or [www.ticketmaster.com](http://www.ticketmaster.com).

### Breathe Art Theatre

Call (519) 980-0607 in Windsor or (313) 965-1515 in Detroit.

### Menopause the Musical

Celebrate the longest-running professional production in Detroit history at the Gem Theatre. Show times are 8 p.m. Tuesday-Saturday and also 4 p.m. Saturday and 2 p.m. Sunday, \$39.50, (313) 963-9800, or Ticketmaster charge by phone, (248) 645-6666, or visit [www.ticketmaster.com](http://www.ticketmaster.com).

## TICKETS ON SALE

DTE Energy Music Theatre: Temptations and Four Tops, Aug. 6; Ted Nugent, Aug. 17; Styx/Foreigner, Sept. 7; Hootie & the Blowfish, Sept. 8; Alan Jackson, Sept. 23, and Aerosmith with Motley Crue, Oct. 11.





CATCH SUMMER WHILE YOU CAN



The Grangers play baseball the old-fashioned way, no profanity, no gloves, no betting.

## Vintage Baseball in Rochester

This is good old-fashioned summer fun. The Rochester Grangers Vintage Base Ball Club will host the Mt. Clemens Regulars at 1 p.m. Saturday, July 29, at the Rochester Hills Museum at Van Hoosen Farm. Admission is free.

Vintage Base ball is played according to the rules of 1867 when baseball was played by gentlemen as a form of exercise.

Players do not wear gloves and there is no wagering, spitting, or arguing

allowed. Guests are encouraged to bring lawn chairs and a picnic lunch to the game. Guest can view the museum's exhibit "Our Rural Heritage," featuring the farms of the Rochester community and the new exhibit "Rochester's 30 Most Fascinating Historic Photographs."

The Museum is located at 1005 Van Hoosen Road, one mile east of Rochester Road, and south of Tienken Road. For more information, call (248) 656-4663.

Family Fun

## WARPED

FROM PAGE E1

"It's about time we had a real rock and roll band that kicks ass. The sort of band that comes into your town and takes what they want, including your women," Madsen said.

ETID is fresh off Ozzfest and has joined Warped. The metal band is selling out venues worldwide and makes an interesting addition to Warped.

"The last record made people notice us," said singer/wily lyricist Buckley. "This record will keep people's heads turned in our direction. We have memorable parts, and choruses, and hooks that are so much more memorable and show that we have graduated to a profound level, as musicians. We're not just throwing riffs together."

ETID alone makes Warped worth checking out.

Festival tickets are \$30 — cheap in today's festival world.

## VANS WARPED TOUR

**When:** Doors open 11 a.m. Saturday, July 29

**Where:** Comerica Park Parking Lot

**Tickets:** \$29.95 at the door or via [www.ticketmaster.com](http://www.ticketmaster.com) or call (248) 645-6666

**Details:** [www.vanswarpedtour.com](http://www.vanswarpedtour.com)

Performing: 18 Visions, Aiden, Against Me!, Anti Flag, Armor of Sleep, Billy Talent, Bouncing Souls, Bullet For My Valentine, Die Hunns, Every Time I Die, Flashlight Brown, From First To Last, Greeley Estates, Hellogoodbye, Helmet, Joan Jett & The Blackhearts, Less Than Jake, Motion City Soundtrack, NOFX, Pistolita, Red Jumpsuit Apparatus, Rise Against, Riverboat Gamblers, Saves The Day, Senses Fail, Silverstein, Stretch Arm Strong, The Academy Is, The Casualties, The Early November, The Living End, The Pink Spiders, The Sounds, Thursday, Underoath, Valient Thorr

Bring your sunscreen and earplugs ... no matter how hard you can rock.

### ON SALE THIS WEEKEND!

**THIS FRI., 7/28 • 10AM**

**PHIL VASSAR**

wsg EMERSON DRIVE AND STEVE AZAR

FRIDAY, AUGUST 25

DTE ENERGY MUSIC THEATRE

**THIS SAT., 7/29 • 10AM**

**LYLE LOVETT**

TBD

MEADOW BROOK MUSIC FESTIVAL

### COMING THIS WEEK!

**TODAY, 7/27 • 8:00 PM**

**GORDON LIGHTFOOT**

MEADOW BROOK MUSIC FESTIVAL

**THIS FRI., 7/28 • 7:00 PM**

**POISON** wsg CINDERELLA

DTE ENERGY MUSIC THEATRE

**THIS FRI., 7/28 • 8:00 PM**

**IAN ANDERSON** PLAYS ORCHESTRAL

JETHRO TULL w/ MEADOW BROOK

SYMPHONY ORCHESTRA

MEADOW BROOK MUSIC FESTIVAL

**THIS SAT., 7/29 • 7:30 PM**

**ASHLEE SIMPSON**

wsg ASHLEY PARKER ANGEL

DTE ENERGY MUSIC THEATRE

**THIS SAT., 7/29 • 8:00 PM**

**DETROIT SYMPHONY ORCHESTRA**

MOZART 250th BIRTHDAY BASH

MEADOW BROOK MUSIC FESTIVAL

**THIS SUN., 7/30 • 2 PM & 7:30 PM**

**BEACH BOYS 2 SHOWS!!!**

featuring JOHN STAMOS ON DRUMS

DTE ENERGY MUSIC THEATRE

**THIS SUN., 7/30 • 7:30 PM**

**DETROIT SYMPHONY ORCHESTRA**

WITH SMOOTH JAZZ SUPERSTAR

TRUMPETER CHRIS BOTTI

MEADOW BROOK MUSIC FESTIVAL

**THIS MON., 7/31 • 7:30 PM**

**BILLY IDOL**

DTE ENERGY MUSIC THEATRE

**THIS TUE. & WED., 8/1 & 8/2 • 7:30 PM**

**DOOBIE BROTHERS**

DTE ENERGY MUSIC THEATRE

**NEXT THUR., 8/3 • 1:00 PM**

**SOUNDS OF THE UNDERGROUND**

featuring AS I LAY DYING, IN FLAMES,

GWAR & MORE!

DTE ENERGY MUSIC THEATRE

**NEXT THUR., 8/3 • 8:00 PM**

**TRISHA YEARWOOD**

wsg THE LOST TRAILERS

MEADOW BROOK MUSIC FESTIVAL

## love it live!

**6 THE TEMPTATIONS/THE FOUR TOPS**

DTE ENERGY MUSIC THEATRE

**6 DETROIT SYMPHONY ORCHESTRA**

CALIENTE! featuring RAVEL'S BOLERO!

MEADOW BROOK MUSIC FESTIVAL

**8 TOM PETTY & THE HEARTBREAKERS**

wsg TREY ANASTASIO

DTE ENERGY MUSIC THEATRE

**10 311** wsg THE WAILERS and PEPPER

DTE ENERGY MUSIC THEATRE

**11 "WIGGLEDANCING!"**

THE WIGGLES-LIVE!

2 SHOWS!! 3 PM & 6:30 PM

THE PALACE OF AUBURN HILLS

**11 MICHAEL W. SMITH / THIRD DAY**

wsg JARS of CLAY

DTE ENERGY MUSIC THEATRE

**11 CHRIS ISAAK**

wsg TRISTAN PRETTYMAN

MEADOW BROOK MUSIC FESTIVAL

**12 GET BACK!**

CAST OF BEATLEMANIA

MEADOW BROOK MUSIC FESTIVAL

**13 BROOKS & DUNN**

wsg SUGARLAND and JACK INGRAM

DTE ENERGY MUSIC THEATRE

**15 TRAIN**

wsg TOBY LIGHTMAN

MEADOW BROOK MUSIC FESTIVAL

**15 THE JAMES GANG**

DTE ENERGY MUSIC THEATRE

**17 TED NUGENT**

DTE ENERGY MUSIC THEATRE

**17 BILLY RAY CYRUS**

MEADOW BROOK MUSIC FESTIVAL

**18 JOHN FOGERTY /**

WILLIE NELSON & FAMILY

DTE ENERGY MUSIC THEATRE

**18 TED NUGENT**

MEADOW BROOK MUSIC FESTIVAL

**19 DAVID LEE ROTH**

DTE ENERGY MUSIC THEATRE

**19 RICHARD JENI**

wsg LENNY TRAVIS

MEADOW BROOK MUSIC FESTIVAL

**20 MARY J. BLIGE**

wsg JAHEIM and LeTOYA

DTE ENERGY MUSIC THEATRE

**22 REGGAE SUNSPASH: UB40**

wsg TOOTS & THE MAYTALS,

THIRD WORLD, MAXI PRIEST and RIK ROK

DTE ENERGY MUSIC THEATRE



= FREE Lawn Tickets for  
ages 12 & under!



= \$10 Lawn Tickets

FOR A COMPLETE SCHEDULE VISIT...

**PALACENET.COM**

TICKETS AVAILABLE AT PALACENET.COM, THE PALACE AND DTE ENERGY MUSIC THEATRE BOX OFFICES AND ALL [ticketmaster](http://www.ticketmaster.com) LOCATIONS. CHARGE AT 248-645-6666.

PROGRAMS AND DATES SUBJECT TO CHANGE





# CATCH SUMMER WHILE YOU CAN

## Summer fun in Royal Oak

Catch a concert at the Royal Oak Music Theatre and then visit one of the city's many restaurants, like the new Cafe Muse with outdoor seating.

And if you have drinks anywhere in the city, Royal Oak now has a permanent taxi stand located on Second Street between Center and Washington in front of the Royal Oak Post Office that runs from 7 p.m. to 3 a.m.

Some fun shows:

### MARIJUANALOGUES STARRING TOMMY CHONG

Two shows, 6 and 9 p.m. Saturday, Aug. 5

In its promotion, there's a disclaimer: This production does not glorify drug use.



Howard Jones

Rather, it illustrates that cannabis culture is a thing of substance, humor and creativity.

### HOWARD JONES

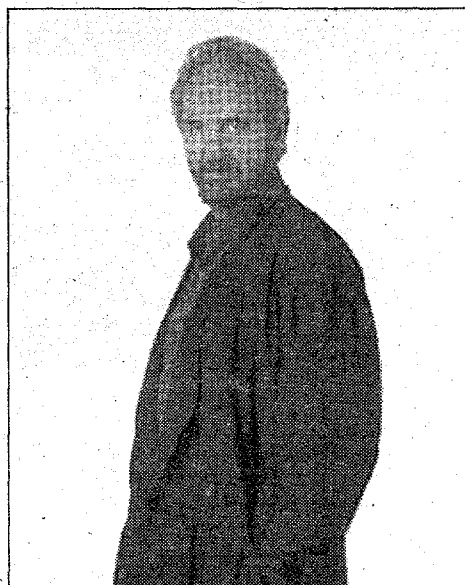
7 p.m., Saturday, Sept. 30

Howard Jones released his first single *New Song* in 1983 that climbed the charts. It was followed by hits like *What is Love* and *No One is To Blame*.

Since then he's sold more than 8 million albums.

The '80s star will perform those hits and more.

The end of September show will



Tommy Chong

probably one of the last warm weather nights out of the year.

Tickets may be purchased at The Royal Oak Music Theatre box office.

Charge by phone at (800) 919-6272 or purchase online at [www.tickets.com](http://www.tickets.com) or [www.royaloakmusictheatre.com](http://www.royaloakmusictheatre.com)

### BANG YOUR HEAD

6:30 p.m., Friday, Sept. 8

Unearth with guests Bleeding Through, Terror and Through the Eyes of the Dead

No it's not a horror flick, it's metal. And it's hard. If you have the energy, check it out.

By Lana Mini

## A giant garage sale found in Dearborn

It's the 10th annual Dearborn Firefighters Burn Drive charity garage sale, where there's always something unique to be found.

The sale is Friday, July 28, from 9 a.m. to 6 p.m., and Saturday, July 29, from 9 a.m. to 4 p.m. It's located next to the Dearborn Fire Station Two, 19750 W. Outer Drive (between Michigan Avenue and Cherry Hill

Road).

All proceeds benefit the Dearborn Firefighters Burn Drive, a local charity organization that provides support to burn victims and others in need.

The huge sale will feature items of all kinds, such as sporting goods, furniture, appliances, antiques, clothes, toys, tools and more.

Are you game?

## DOOBIE BROTHERS

**\$10 Lawn Tickets**

# Aug., 1 & 2

TICKETS AT [PALACENET.COM](http://PALACENET.COM), THE PALACE AND DTE ENERGY MUSIC THEATRE BOX OFFICES AND ALL [ticketmaster](http://ticketmaster.com). CHARGE AT 248.645.6666.

## THE FIRST ANNUAL HIPPIEFEST

A SUMMER CONCERT FOR PEACE & LOVE

**MITCH RYDER**  
**RARE EARTH**  
**CANNED HEAT**

**MOUNTAIN** featuring Leslie West & Corkey Laing  
**COUNTRY JOE MCDONALD**  
**DENNY LAINE** former lead singer of the Moody Blues  
**TERRY SYLVESTER** formerly of the Hollies  
**MELANIE**

w/ Stories & MC by the Original Hippy WAVY GRAVY

# AUGUST 27

BRING YOUR PARENTS, YOUR GRANDPARENTS & BRING YOUR KIDS!!!

## FAH OUT...DIG IT

TICKETS AT [PALACENET.COM](http://PALACENET.COM), THE PALACE AND DTE ENERGY MUSIC THEATRE BOX OFFICES AND ALL [ticketmaster](http://ticketmaster.com). CHARGE AT 248.645.6666.



# Birmingham farmers market back with a bang

In an article about farmer's markets last week, we unintentionally left out the delightful market in Birmingham.

The lively outdoor market runs every Sunday, from 9 a.m. to 2 p.m., until Oct. 22.

It's held in public "Parking Lot 6" on the east side of North Old Woodward, north of Harmon Street across from Aunt Olive's Good Food to Go in Birmingham.

There's more than 30 booths featuring locally

and regionally grown produce including organic vegetables, fruits, flowers and garden plants.

"We are absolutely thrilled at the response to the Farmers Market in Birmingham," said Maureen Evans, Principal Shopping District (PSD) publicist.

"The festive atmosphere has helped to make this a market unlike any other in the city. We continue to offer all the things that make our market a unique and fantastic experience for people: children's activities, package pick up, live music – even brunch on the spot.

There's gourmet coffee and fresh French toast.

The market is a volunteer effort, started by Birmingham residents, Julie Plotnik and Stephanie Jacobson and is supported by the PSD.

It's managed by Michigan farmer Richard Hobson who serves as the "Market Master" in charge of all market operations, including the farmers and their goods.

Complete with long gray beard, big 'ol straw hat and blue jeans, Cousin Don, as he is affectionately known, deftly handles both customers and produce. He



FILE PHOTO

The Birmingham Farmer's Market.

## OTHER FARMERS MARKETS

### ANN ARBOR FARMERS MARKET

7 a.m. to 3 p.m. Wednesday and Saturday, 315 Detroit St., Ann Arbor, (734) 994-3276.

### CLARKSTON FARMERS MARKET

8 a.m. to noon Saturdays, runs through October, across from Depot Park in downtown Clarkston, just west of Main Street on Depot Road, [clarkstonfarmersmarket.org](http://clarkstonfarmersmarket.org).

### DETROIT EASTERN MARKET

7 a.m. to 5 p.m. Monday-Saturday, 2934 Russell St., Detroit, (586) 393-8800, [www.easternmarket.org](http://www.easternmarket.org).

### FARMINGTON FARMERS & ARTISANS MARKET

9 a.m. to 3 p.m. Saturdays, the Walter E. Sundquist Pavilion in Riley Park, Farmington Road and Grand River, [www.downtownfarmington.org](http://www.downtownfarmington.org).

also operates his own stall with organic produce from his family farm, Hickory Hill.

"Friendly markets are good for busi-

### LIVONIA FARMERS MARKET

9 a.m. to 2 p.m. Wednesdays and Saturdays, through October, Middlebelt and West Chicago, Livonia, (734) 525-8718.

### ROYAL OAK FARMERS MARKET

January-April: 7 a.m. to 2 p.m. Saturdays; May-October: 7 a.m. to 1 p.m. Tuesdays, Fridays and Saturdays; 316 E. 11 Mile Road, two blocks east of Main, (248) 548-8822.

### WALLED LAKE FARMERS MARKET

7 a.m. to 1 p.m. Wednesdays, through October, 1499 E. West Maple, (next to Walled Lake Fire Station), Walled Lake, (248) 926-9004, [www.walledlake.com](http://www.walledlake.com).

### NORTHVILLE FARMERS MARKET

8 a.m. to 3 p.m. Thursdays, Sheldon and Seven Mile roads, Northville, (248) 349-7640, [www.northville.org](http://www.northville.org).

ness. Folks slow down and stroll around; it's a real old-fashioned, neighborly atmosphere. And they love to swap stories, whether it's

### PLYMOUTH FARMERS MARKET

7 a.m. to 12:30 p.m. Saturdays, through October, 386 S. Main, Plymouth, (734) 453-1540.

### ROCHESTER FARMERS MARKET

Every Saturday from 9 a.m. to 1 p.m. through October. Located at the corner of Third and Water Streets just one block east of Main Street. [www.downtownrochestermi.com](http://www.downtownrochestermi.com)

### OAKLAND COUNTY FARMERS MARKET

January-April: 6:30 a.m. to 2 p.m. Saturdays; May-December: 6:30 a.m. to 2 p.m. Tuesdays, Thursdays and Saturdays, 2350 Pontiac Lake Road, Waterford, (248) 858-5495, [www.co.oakland.mi.us/cmarket](http://www.co.oakland.mi.us/cmarket).

### YPSILANTI CITY FARMERS MARKET

8 a.m. to 4 p.m. Wednesdays, and 7 a.m.-3 p.m. Saturdays, 1 S. Huron, Ypsilanti, (734) 439-8676.

recipe tips or local news." We agree.

Lana Mini



# Girls seek retribution in 'John Tucker Must Die'

Movies opening Friday, July 27

**JOHN TUCKER MUST DIE:** When three popular girls from different cliques discover they've all been dating the school stud (Jesse Metcalfe), they band together to seek revenge. Despite the jerk's charm and ever-growing popularity, the girls cleverly scheme with the help of the inconspicuous new girl in town, to soil his reputation and break his heart. Also starring Brittany Snow, Ashanti Douglas, Sophia Bush, Arielle Kebbel, Penn Badgley and Jenny McCarthy; Directed by Betty Thomas and written by Jeff Lowell. (TWENTIETH CENTURY FOX) This film is rated PG-13.

**MIAMI VICE:** Ricardo Tubbs (Jamie Foxx) is urbane and dead smart. He lives with Bronx-born intel analyst Trudy (Naomie Harris), as they work undercover transporting drug loads into South Florida to identify a group responsible for three murders. Sonny Crockett (Colin Farrell) is charismatic and flirtatious until, while undercover working with the supplier of the South Florida group, he gets romantically entangled with Isabella (Li Gong), the Chinese-Cuban wife of an arms and drugs trafficker. The intensity of this case

pushes Crockett and Tubbs out onto the edge where identity and fabrication become blurred, where cop and player become one — especially for Crockett in his romance with Isabella, and for Tubbs in the provocation of an assault on those he loves. Also starring Ciarán Hinds, John Ortiz, and Luis Tosar. Written and directed by Michael Mann. (UNIVERSAL PICTURES) This film is rated R.

**ONCE IN A LIFETIME: THE EXTRAORDINARY STORY OF THE NEW YORK COSMOS** reveals how the Cosmos rose from total anonymity to become the hottest ticket in town — taken under the wing of Warner Bros. Chairman Steve Ross, beloved by rock stars and fashionistas — only to be overwhelmed by a wild world of wealth, groupies, rivalries and power struggles. Using a combination of nostalgic 70s soul and pop music, never-before-seen footage, exciting sports action, newsreels from the summer of '77 and candid interviews that range from Marv Albert to Henry Kissinger to Mia Hamm, to the colorful, clashing former Cosmos players themselves, the film creates a humorous, entertaining and richly layered look at a time and place that changed American sports forever. Miramax Films, ESPN and Greene Street

Films. Narrated by Matt Dillon, the film is directed by Paul Crowder (editor of Stacey Peralta's "Dogtown" and "Z-Boys and Riding With Giants") and John Dower (director of the Britpop documentary "Live Forever") and produced by John Battsek (Academy® Award-winner "One Day In September"), Fisher Stevens and Tim Williams of Greene Street Films. The executive producers are John Penotti, Julie Goldman, Andrew Ruhemann, Michael Davies, Vicki Cherkas and Cedric Jeanson. (MIRAMAX FILMS) This film is rated PG-13.

**PEACEFUL WARRIOR:** Opens exclusively at the Landmark Maple Art Theater. Dan Millman (Scott Mechlowicz) is a gifted young athlete bound for Olympic gold who will do anything to be the best. Driven by success, Dan has got it all: trophies, fast motorcycles, fast girls, and wild parties. But Dan's world is turned upside down when he meets a mysterious stranger in a gas station who holds the power to tap into new worlds of strength and understanding. The young man discovers that he has much to learn and even more to leave behind in order to master this new vision of greatness in this moving tale about the power of human will. Also starring Nick Nolte, Amy Smart, Agnes Bruckner, and Ashton Holmes; Directed by Victor Salva and written by Kevin Bernhardt. (LIONSGATE FILMS) This film is rated PG-13.

# Something to laugh about

It doesn't matter if you're indoors or outdoors, only a stick in the mud doesn't want to laugh. So check out these events at The Second City — and remember it's in Novi now.

On stage

## HONORING GILDA RADNER

The Second City Mainstage cast will honor the memory of one of its most famous alumna, Gilda Radner, as it carries on the tradition and entertain walkers at Gilda's 13th annual Family Walk on Saturday, Sept. 16, at the Oakland Community College Orchard Ridge Campus in Farmington Hills. For more information, visit [www.gildasclubdetroit.org/fw.html](http://www.gildasclubdetroit.org/fw.html)

## BOBBLE HEAD

"Bobble Heads of State" is a show that covers birth, old age and everything that happens in between — like

PLEASE SEE LAUGHS, E22

FROM THE GUYS WHO BROUGHT YOU **WHITE CHECKS**

"THE WILDEST, FUNNIEST AND MOST HILARIOUS MOVIE OF THE YEAR!"  
SHAWN EDWARDS, FOX-TV

MARLON WAYANS SHAWN WAYANS  
**LITTLE MAN**



LittleMan-Movie.com

PG-13

REVOLUTION STUDIOS

NOW PLAYING

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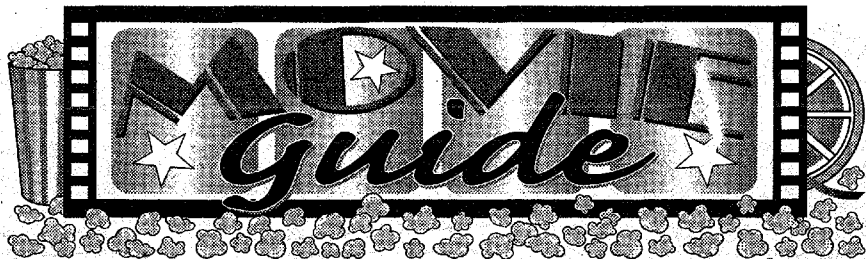
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# Short but sweet

Sexy sounds of jazz trumpeter  
Chris Botti join DSO

BY NICOLE STAFFORD  
STAFF WRITER

The DSO's second weekend of concerts at Meadow Brook Music Festival — a short but sweet summer series of performances — kicks off

Saturday with a birthday tribute to the master himself, Amadeus Mozart.

"Mozart 250th Birthday Bash" led by Nicholas McGegan, music director of the Philharmonia

Baroque Orchestra, includes the sprightly *Overture to Don Giovanni*, Mozart's *Violin Concerto No. 5* and "Jupiter" *Symphony No. 41*.

But the DSO's weekend goes decidedly modern and sexy with a guest performance by smooth jazz superstar trumpeter

## SOUNDS AND STARS

**What:** Summer Nights with the Detroit Symphony Orchestra, outdoor summer concert series.

**When:** Continues through Aug. 6. This weekend's lineup features smooth jazz trumpeter and Grammy nominee Chris Botti with the DSO, 7:30 p.m. Sunday. The DSO commemorates Mozart's 250th birthday with a program of the composer's work, 8 p.m. Saturday.

**Where:** Meadow Brook Music Festival, Rochester Hills.

**Tickets:** \$15-\$50 with lawn seats for children under age 12, free. For tickets, visit palacenet.com or call Ticketmaster at (248) 645-6666.

For more information, visit [www.detroitssymphony.com](http://www.detroitssymphony.com).

Chris Botti. The 2005 Grammy Award nominee, whose album includes such crooners as Sting, performs Sunday, July 30. Botti was dubbed "the sexiest trumpeter since Chet Baker" by critic and columnist Rex Reed. *People Magazine* also named Botti one of the "50 Most Beautiful People" in 2004.

The DSO's closing weekend at Meadow Brook features the DSO debut of Edwin Outwater, resident conductor of the San Francisco Symphony Orchestra, Aug. 4-6. Outwater opens with "Classical Superstars," Aug. 4, featuring two



DETROIT SYMPHONY ORCHESTRA

Only five concerts remain in the Detroit Symphony Orchestra's outdoor summer season at Meadow Brook Music Festival in Rochester Hills. The series closes Friday, Aug. 4, with "Classical Superstars," a program of popular favorites featuring two teenage violin prodigies.

## SUMMER NIGHTS WITH DSO

■ Mozart 250th Birthday Bash, 8 p.m.

Saturday, July 29.

■ Trumpet sensation Chris Botti, 7:30 p.m.

Sunday, July 30.

■ "Classical Superstars," 8 p.m. Friday, Aug. 4.

■ Tchaikovsky Spectacular! 8 p.m., Saturday, Aug. 5 at 8 p.m.

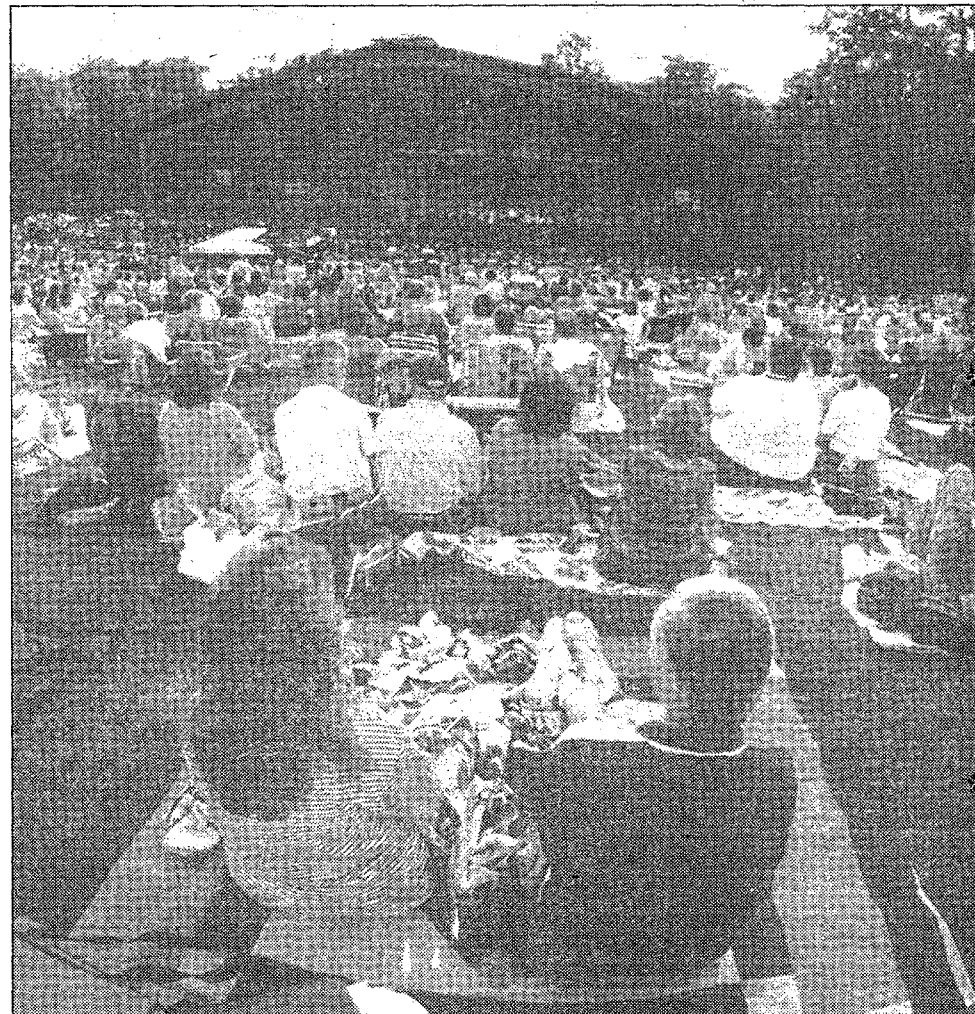
■ "Caliente!" featuring "Boléro," 7:30 p.m.

Sunday, Aug. 6.

competition-winning musical prodigies. "Tchaikovsky Spectacular!" a favorite with DSO summer concert-goers returns Aug. 5 and includes the spectacular *1812 Overture*.

For Aug. 6, the DSO goes Latin with a program titled "Caliente!" Ravel's most famous work, *Bolero*, is on the play list, and Peter Soave, acclaimed master of the bandoneon, joins the DSO to perform Piazzolla's *Concerto for Bandoneon*.

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# DTE

FROM PAGE E10

would grow in anticipation of that night's performers.

"Back then if you could carry it, you could get it in," Casoli said.

"It's one of my favorite places for concerts that I've ever been to, especially during the summer when it's nice outside. It's always a good time," said Jim McGuckin, 26, of Ferndale, who estimates five trips onto the lawn per season.

"It's a good time man.

"I have a better time on the lawn than the pavilion because it seems like everyone likes to party more up there. I got the pavilion before and those are nice, too, but the lawn is more fun."

"The lawn is good — we like the lawn," chimed in John Helzer, who along with pal John Hargraves of Lake Orion were looking forward to their initial lawn visit of '06. "Free seating, mingling, talking, having a good time — it's an open party.

"Keep your senses, do, well, nothing in excess and everything is good."

**IT'S NOT ALL PARTYING**

It adds to the fun and frolic, but believe it or not, a festive time can be had without adult beverages.

"There is something about coming to the hill, hanging out and having a good time," said Gary Godawa, 32, who accompanied friend Shelley Koger onto the lawn. "I remember when it was Pine Knob. It's close to home, it's a good time, and I like the outdoors atmosphere. Even on the way here, you can see deer running around. It's a good time and good people.

"The pavilion is always nice, but there's fun on the hill, too. Every time I've been on the hill, it's been a good time. People have always been friendly. It's easy to pull up a spot, and the crowds are nice. I've gone to a couple of other (outdoor) concert places and, by far, I love coming here."

Ostrander echoed many of those sentiments.

"There is something about outdoor concerts, and Pine Knob is probably the best one I've ever been to," she said.

"When I was 14 or 15, I couldn't afford to sit in the pavilion and that's probably why I enjoy the lawn so much. It just has a feel to it. It's nice."

That "feel" will last into the early stages of October this year, with a variety of acts attracting music lovers of all types and ages. And that "feel" will continue to be carried down to another generation with eyes wide open and ears relishing the sounds of what awaits them on the lawn.

# SCHEDULE

FROM PAGE E10

- 2 - Saturday, Steely Dan/Michael McDonald, pop/jazz/rock
- 3 - Sunday, Dennis Miller, comedy
- 6 - Wednesday, John Mayer/Sheryl Crow wsg Mat Kearney, pop/rock,
- 7 - Thursday, Styx/Foreigner, classic rock
- 8 - Friday, Hootie & The Blowfish wsg Better Than Ezra, rock,
- 9 - Saturday, Family Values Tour featuring KORN, Deftones, Stone Sour, Flyleaf, Dir en Grey and more, hard rock
- 10 - Sunday, Trace Adkins wsg Blake Shelton, country
- 12 - Tuesday, Jimmy Buffett and The Coral Reefer Band "Party at the End of the World Tour," pop/rock,
- 15 - Friday, Godsmack/Rob Zombie wsg Shinedown, hard rock
- 16 - Saturday, Chris Brown/Ne-Yo wsg Lil' Wayne, Dem Franchize Boyz and Juelz Santana, R&B/hip-hop
- 22 - Friday, Peter Dinklage, classic rock
- 23 - Saturday, Alan Jackson, country

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# LAUGHS

FROM PAGE E19

the war in Iraq. It's a fast-moving sketch comedy with songs and Second City's famed interactive improvisation.

## IMPROV EVERY WEDNESDAY

Wednesday nights at The Second City just got a little funnier. The talents of the Training Center performers will be showcased during Wednesday night improv performances immediately following performances of the mainstage revue, "Bobbie Heads of State," at no extra charge.

## KIDS CAN LEARN TO BE FUNNY

Running Aug. 7-17, each session meets for two weeks from 9 a.m. to noon or 1-4 p.m. Camp meets Monday through Thursday for three hours, with a 2-minute performance for friends and relatives when camp is complete.

Youth Improv Camps are open to children ages 9-17 years old (broken down into age groups: 9-12 and 13-17). Cost is \$200 per camper.

Second City is located at 42705 Grand River Ave., Novi, (located across from the Novi Town Center). Call (248) 348-4448 for tickets or visit www.secondcity.com for more information.

# "MAGICAL AND CHILLING."

You will believe the unbelievable." Kyle Osborne, ABC-TV

WRITTEN AND DIRECTED BY  
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JEFFREY LYONS, NBC'S REEL TALK

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## SCOOP

WRITTEN AND DIRECTED BY WOODY ALLEN

**PG-13**

### STARTS FRIDAY, JULY 28<sup>TH</sup>

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SPECIAL ENGAGEMENTS NO PASSES OR DISCOUNT COUPONS ACCEPTED CHECK THEATRE DIRECTORIES OR CALL FOR SOUND INFORMATION AND SHOWTIMES





Jimmy Kittel (left) and his friends.

## Jazz and folk violinist plays in Farmington Hills

Award-winning violinist Jeremy Kittel brings his fun and energetic performance style to Heritage Park in Farmington Hills on Thursday, Aug. 3, from 7:30-9 p.m.

It's part of the *Stars in the Park* free summer concert series.

As with most civic outdoor shows, concert-goers are encouraged to bring a blanket or lawn chair and a picnic dinner.

Concerts are held at Heritage Park, on Farmington Road just south of 11 Mile.

Kittel will perform jazz, folk, Celtic, and bluegrass.

The respected musician recently won 2006 Detroit Music Awards in the categories of Outstanding Folk Artist, Outstanding Jazz Recording, and Outstanding Jazz Composer.

He has performed at Lincoln Center and with the Detroit Symphony Orchestra, and can be heard as a soloist on *Songs of Innocence and Experience*, a multiple Grammy Award-winning CD.

In 2000, Kittel was also chosen the Scottish Fiddling Champion of the United States.

Joining him is guitarist Bob Geric and bassist Andrew Kratzat. Geric was named Outstanding Soloist at both the Montreaux Detroit and Aquinas Jazz Festivals and Kratzat recently won first prize at the International Society of Bassists Jazz Competition.

For more information, call (248) 473-1857. The rain-out site for the concert is the Costick Center, located one mile east at 28600 W. 11 Mile Road.

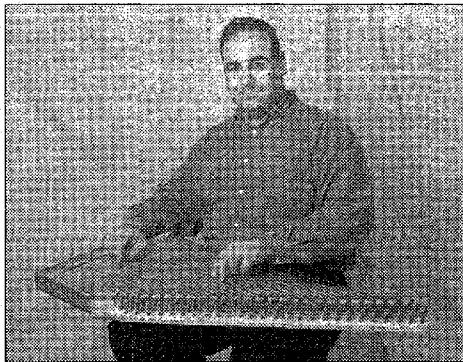
## Ethnic flair in Farmington

The music of Ara Topouzian — who plays Armenian and Middle Eastern sounds — comes to the Farmington Friday Night Concert series this Friday, July 28, from 7:30-9 p.m.

Admission is free.

The concert features Topouzian on kanun; Kirk Kuchukian, oud player; Mark Sawasky, percussion and Tom Zakarian playing guitar.

Concerts will be held at the Walter E. Sundquist Pavilion in Riley Park on



Ara Topouzian brings the exotic sounds of the kanun to Farmington.

Grand River Avenue, a couple blocks east of the Farmington Civic Theatre in Farmington. For more information visit [www.aratopouzian.com](http://www.aratopouzian.com).

## P.F. CHANG'S

FROM PAGE E3

Next a vegetarian course, Spicy Green Beans stir-fried with Sichuan pickled vegetables, chili peppers and garlic (\$5.95).

"With this dish on the menu, we're selling more green beans than we ever have," Teeter said.

Completing the price-fixed menu is Imperial Black Cod, featuring diced black cod, stir-fried with soybeans, pine nuts, red peppers and black mushrooms in an abalone-white wine sauce (\$17.95).

Chengdu Spiced Lamb celebrates the province of Sichuan and its capital city Chengdu with a pungent, richly spiced marinated lamb, wok-caramelized then tossed with cumin, mint, tomatoes and yellow onions (\$12.95). This dish takes on the appearance of Mongolian beef, P.F. Chang's most popular dish.

Add up the individual item cost and you quickly realize the price-fixed option is a dining bargain.

**P.F. Chang's locations:** 17905 Haggerty Road, Northville Township, (248) 675-0066. Somerset Collection South, 2801 W. Big Beaver Road, Troy, (248) 816-8000.

## "THE SUMMER MOVIE PEOPLE HAVE BEEN WAITING FOR."

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David Poland, MOVIECITYNEWS.COM

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CHECK MOVIE GUIDE OR CALL THEATRES FOR SHOWTIMES AND SOUND INFORMATION  
SPECIAL ENGAGEMENTS NO PASSES OR DISCOUNT COUPONS ACCEPTED.



# STEVE'S

*family dining*

*Celebrating Our  
10th Anniversary!*

Polish • American • Italian

*Visit Us For Breakfast,  
Lunch or Dinner*



The Nedanovski Family is proud to be celebrating their 10th Anniversary of Steve's Family Restaurant. Steve and his wife, Julie, opened their restaurant of Polish and Italian dishes on Five Mile near Haggerty in the summer of 1996. They feature a menu full of home-cooked, authentic Polish dishes complimented by the freshest ingredients and a good selection of American standards. All dishes are made from scratch in the tradition of the Nedanovski family. Everything Julie and Steve learned from their parents about cooking has been passed down to their sons David and Danny, who now serves as chef at the restaurant.

Steve, Julie and their sons want to thank their loyal customers for their patronage and welcome those who haven't yet stopped in to take advantage of their Anniversary Special. They look forward to seeing old friends and new faces.

*Enjoy our daily-homemade soups:*

- Chicken Noodle • Chicken Dumpling
- Cabbage • Dill Pickle • Czarnina

*And, daily-homemade specials:*

- Stuffed Cabbage • City Chicken
- Polish Combo • Kielbasa & Kraut



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Thursday, July 27, 2006



Cover home offered by Ivanhoe-Huntley.  
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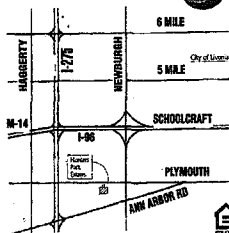
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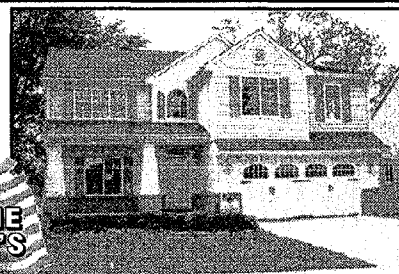
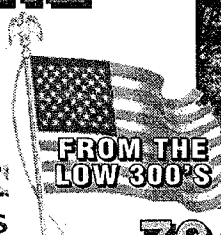
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If it's on the market, it's on our website...[www.cbschweitzer.com](http://www.cbschweitzer.com)**PLYMOUTH \$1,495,000**

Custom Built home in new subdivision. Extensive use of marble, limestone and granite. Black walnut hardwood floors. 2 Master Suites. 3 Car att garage, W/O basement. Delightful setting. MLS# 26111984 734-453-6800

**NOVI \$825,000**

Nestled in woods w/pond on 2.23 acres! New landscaping & circular drive. W/O W/br, Fr W/2-way Fp, home theatre, bath & rec Rm. GR w/2-way fpic to kitchen, new Pella windows, screened gazebo, stamped concrete walks, 3.5 Car Garage. MLS# 26123379 248-347-3050

**SOUTH LYON \$800,000**

Custom ranch estate surrounded by woodlands! Gourmet kit, formal Din Rm & Liv Rm, study w/fr drs, Master Ste w/FP & tray ceiling, glamour BA, walkout LL, addit, 1 separate 30x40 heated gar/wkshp. MLS# 26104977 734-453-6800

**PLYMOUTH \$800,000**

Custom Built W/quality Craftsmanship, DR W/butlers Pantry, Gourmet Kit W/granite, FR W/tp, Wet Bar, all BR's W/private Ba's, Mstr Ste W/dual Vanities, Glamour Ba W/whirlpool Tub, Balcony Off Mstr, 3.5 Car Gar & Deck. MLS# 26122527 248-347-3050

**NORTHVILLE \$700,000**

Home On private wooded cul-de-sac! 2-stry GR w/2-way FP to nook, kit w/maple cabs, granite counters & SS appl, upstairs media rm or FR, paver walks, patio & paver lined dr, cherry built-ins in study, & landscaping. MLS# 26096259 248-347-3050

**MILFORD \$625,000**

Custom gourmet kit w/cherry cabs, granite t/o home, cherry hwd flrs on 1st flr & upstairs hall (except tile in kit), 9ft or higher ceilings on 1st flr, 2 fp's, 4 car gar, iron spindles on stairs, 3/4 acre lot, unfn w/o. MLS# 26122375 248-347-3050

**NORTHVILLE \$569,000**

Northville 2 stry brk col on lg wooded lot in exclusive Waterstone Est. Spacious flr plan, FR w/corner FP, Grmt kit w/isl, HDWD, butlers pantry & study. Formal LR/DR, dual stros, 1st flr Indry, D/lite bsmt. MLS# 26121246 734-453-6800

**NORTHVILLE \$539,900**

Stunning Home W/A Gourmet Kitchen, 42" Cabs, Wood Flrs, SS App, Granite Island, 2 Story FR W/R & J Balcony, Custom Paver patio & Private Lot W/full Size Trees & Boulders, 8 Bay Windows, T/O. Custom Wood Work, & Crown Molding. MLS# 26117887 248-347-3050

**NOVI \$525,000**

This custom estate has everything! Located at end of cul-de-sac backing to woods! Gourmet kit, vaulted master ste w/ ceiling fan, glamour bath w/garden tub. Prof fin lower level walk-out w/full kit & bath. MLS# 26108579 734-453-6800

**SALEM \$489,900**

Gorgeous Describes This 4 Br Brick Ranch Located On 2.66 Acr. Built W True Craftsmanship. Custom Everything! Hdwd & Marble Flrs T/O! 2 Full Baths. 1st Flr Laun. FR & Bsmnt Fireplaces. Oak Kitchen Along W/ Windows. MLS# 26115545 734-591-0333

**CANTON \$479,900**

Belmont model is an example of quality & tasteful décor. Gourmet kit w/cherry cabinets, extensive HDWD, expansive FR w/dual staircase. Oversized master, Jack & Jill bath. Sweeping landscaping. Home has it all! MLS# 26116266 734-453-6800

**PLYMOUTH \$464,900**

Best value in Deer Creek! Private wooded lot. Huge kitchen & breakfast nook w/skylights. Large master suite. 3+ car garage. Prof finished basement and workshop. MLS# 26115614 734-453-6800

**CANTON \$437,000**

Custom Cape Cod w/4BRs, 3.1 BA prem cul-de-sac location backs to wetlands. Island kit w/corian, sub zero blt in Viking oven. Fin LL w/full kit/bar & BA. 3 car garage. Too many features to list! Over 60K in upgrade. MLS# 26113580 734-453-6800

**NOVI \$425,000**

Backing To Protected Woods! Updated Lighting T/O, Paver Patio W/detached Gazebo, Ext Pntd, Extensive Landscaping In very Private Backyard, Ceramic Tile In Foyer, Hallway & Kit, sidewalk in Sub, Fin Bsmnt, Neutral Décor. MLS# 26122996 248-347-3050

**WEST BLOOMFIELD \$400,000**

Vaulted GR W/2 Story Fp, Sunroom W/wet Bar, Gourmet Kit W/ Custom Cabs, Granite, SS Appl, Jack & Jill Ba, Vaulted Mstr Ste, Glamour Ba, Fin LL W/au pair/in-law Ste, Almost 4 Car Gar W/workshop, Deck, Hot Tub, Private Lake Access. MLS# 26121523 248-347-3050

**NORTHVILLE \$386,900**

Home W/tons Of Updates & An Extra Deep lot. Kit w/Hdwd Flrs, Hwh, Carpeting, C/a, Dimensional Roof, All Bathroom Sinks, Faucets & Counters, Sprinkler Valve System, & Outside Lights (new). Exceptional Yard. Prof Fin Basement. MLS# 26116899 248-347-3050

**CANTON \$374,900**

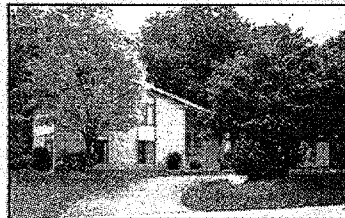
Central Park Estates 4 BR 2.1 bath Colonial on prem lot w/ mature trees, water/mountain view & walking trail. Kit w/ oversized island, hdwd flrs & appls incl. FR w/gas FP, Master w/ lux bath & WIC. Lower level w/carpet & RIP. MLS# 26114043 734-453-6800

**PLYMOUTH \$369,900**

Gorgeous 4BR, 2.1BA Cape in downtown Plymouth on double lot. HDWD flrs, crown & baseboard mldg t/o. Numerous updates: kit, baths, master. Prof fin lower level w/BR/bookcase, recess its, 2.5 car gar w/wheat & attic storage. MLS# 26118231 734-453-6800

**NORTHVILLE \$369,000**

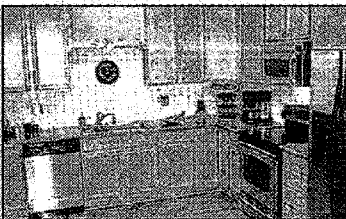
Ranch w/GR w/hwd flrs, FP & recessed lghts. All new windows, int & ext doors, siding, Remod mstr ba & kit w/SS appl, Fin LL w/FR, rec rm, 2nd kit, office & full ba, inc all appl, pool table & deck cabana, 2+ side entry garage. MLS# 26118417 248-347-3050

**FARMINGTON HILLS \$350,000**

Circle drive to excellence! Custom Beauty w/vaulted ceilings t/o, 2 Story Foyer, Formal DR, 2 Story LR W/marble Surround Fp, FR W/2 Way Fp W/doorwall to patio, Mstr Ste with balcony & private BA, Chef's Kit & Fin Garage. MLS# 26122533 248-347-3050

**NOVI \$345,000**

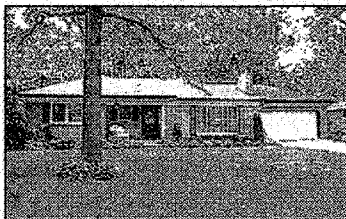
4 br, 2.5 ba brick home w/Formal DR & Gracious FR Overlook Length Of Commons. Library/Spacious Island Kit W/Doorwall To Deck, Updates Inc: New Roof, HWH, commercial Humidifier, D/w & Microwave, Full Bsmnt Under Entire Home! MLS# 26117899 248-347-3050

**NOVI \$335,000**

Pristine, Better than New Island Lake Condo W/premium Upgrades & Backing To Protected Land, Gourmet Kit W/hdwd Flr, Granite, 42" cabs, SS Appl, FR W/fireplace, Vaulted Mstr Ste W/ wic, Glamour BA W/dble Sinks, & jetted Tub. MLS# 26120848 248-347-3050

**CANTON \$334,000**

Pulte Baybrook model in popular Sunflower Village. Oak kit w/ isl. Blst nook w/door wall leading to two tier deck. Home boasts 2 story foyer-lge master suite w/jet tub, 2nd floor laundry. Sub has pool & tennis court. MLS# 26117729 734-453-6800

**LIVONIA \$329,900**

Outstanding Ranch! Quality Built. Include: Bath W Granite & Marble, FP in LR, Jacuzzi, 18x14 FR, "Award Winning" Garden, Circulating Water Fall, Pond & Pergola. 3-tiered Deck. Newer Furn, Air, Roof & Kit. 1/2 Acre. MLS# 26119984 734-591-0333

**CANTON \$329,900**

"Cobblestone Ridge" ranch w/ba ingrd pool. 2000 yr blt w/all the upgrades you would want. Lt bright kitchen-nook w/HDWD flrs, appls incl. Lux Mstr w/vaulted cig, jet tub & fash BA. Dramatic GR w/soar clgs & 2-way gas FP. MLS# 26094974 734-453-6800

OE08458063

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**LIVONIA** \$325,000

Simply beautiful 4 bedroom Cape Cod! Cathedral ceilings, large arched windows, inlaid mosaic tile in foyer, french doors open to library. Bsmnt plumbed for 3rd bath, Great Room w/ dramatic staircase & a marble F/P. MLS# 26120009 734-591-0333



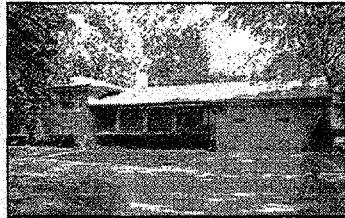
**LIVONIA** \$315,000

Spacious 4 Br Colonial w/A Floor Plan. Formal LR & DR, Eat-In Kitchen, Family Room w/Fireplace & A Large Study That could Be A 1st Flr Mstr W/Full Bath. Hardwood Floors T/O Home. Fin Basement. All Appliances Stay. MLS# 26117337 248-347-3050



**LIVONIA** \$309,900

On a Near Half Acre Lot. Hardwood Floors Throughout. New Furnace & Air, Oak Kitchen That Opens To The Living Room & Family Room. Huge Bedrooms, Custom Marble Bath. Library Has Skylight & Built In Maple Cabs. MLS# 26118023 248-347-3050



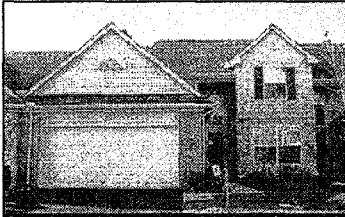
**LIVONIA** \$309,000

Welcome Home To Bell Creek Sub. Sitting On An Acre. Relax On Back Porch Over Looking Beautiful Treed Park Like Setting. New Tear-off Roof & New Hwh In '05. Bring Your Decorating Ideas! Seller Is Relocating! MLS# 26098240 734-591-0333



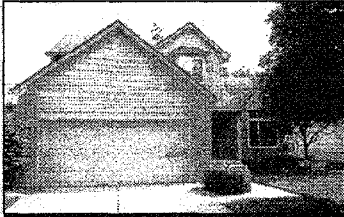
**CANTON** \$304,900

2300 sq ft, 4 BR/2.5 BA Colonial. 2 Story GR w/Inl Fp/Pl & Dramatic windows. Lg Kt W/Island, Btt Nk. HW Foyer, LR & DR. Mstr Suite W/V Ceiling, WIC, Soak Tub & Shower. Landscaped, Sprinklers, Patio. Ba To Verify Info. MLS# 26112265 248-679-3400



**CANTON** \$297,900

Beautiful wooded views from deck of this 3 BR 2.1 BA Cape Condo w/golf course community, pool & clubhouse. 2 Story foyer w/ HDWD thru kit/nook. LR w/vaulted windows. DR w/9, ceilings. 2 BR's up plus loft. 2 car garage. MLS# 26105860 734-453-6800



**PLYMOUTH** \$289,900

This Home Is In Pristine Condition. Open Flr Plan W/10 Ft Ceilings In The LR & DR. FR w/A Gas Fp, cth Ceilings & Opens To The Kit W/breakfast Bar. New prof Fin bsmnt.. Tree Lined Back Yard Has Cedar Fence & tiered Deck. MLS# 26112984 248-347-3050



**LIVONIA** \$284,900

2000 Built Cape. Shows Like A Model. Open Floor Plan W/balcony Overlooking Great Room, Tall Windows On Main Floor. Beautiful Fin Bsmnt W/bath. Brick Paver Patio. Includes Stove, Ref, Washer & Dryer. This Is A "10". MLS# 26113763 734-591-0333



**WIXOM** \$273,000

Gorgeous Colonial. Secluded Yard W/Heated In-Ground Pool, Beautiful Landscaping, Cedar Deck. Finished LL W/4th Br/Office, Oversized 2.5 Car Gar. FR W/Cath Ceiling, LR W/Nat Fp. Tons Of Updates - C/A, Roof, Kitchen, Etc. MLS# 26122689 248-347-3050



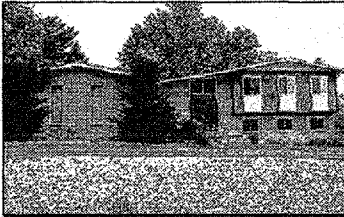
**PLYMOUTH** \$269,900

Mechanic's dream garage...on nearly 1 acre in Plymouth Twp. 3 BR, 2 BA family home is located near schools, xways & shop. Recently updated: carpet, HWH, turn, C/A, roof, elect, siding & windows. O/S 2.5 car, 200 Amp service. MLS# 26073305 734-453-6800



**WHITE LAKE** \$269,500

Grab your swim suit & fishing pole. You will fall in love with this affordable lakefront home in White Lake. Open floor plan, numerous updates, 93' of frontage & awesome views. \$269,500 240-360-1425 MLS# 26107673 Susan Wojtaszek 248-360-1425



**SOUTHFIELD** \$238,000

Charming house in a double lot, nice neighborhood. Close to schools. Newer windows, roof, furnace and AC. Ceramic Tiles in the Kitchen and Lower Room. Pergo Floors Throughout, Easy to maintain. Home Warranty. MLS# 26108082 734-591-0333



**PLYMOUTH** \$234,900

Cozy Bungalow with its tree lined streets and close proximity to downtown, this home offers plenty of space for projects, family and enjoyable living. MLS# 26115358 734-453-6800



**PITTSFIELD** \$234,000

Special financing incentives on this lovely 3 bedroom, 2.1 bath Cape Cod model. Large kitchen. Huge basement. Premium lot. Backs to commons. Ann Arbor schools. MLS# 26122434 248-437-4500



**FARMINGTON HILLS** \$230,000

Country In The City. Sharp Brick Ranch. Formal D/R, L/R W F/P, Mstr BR W Full Bath & Wic. Three Seasons Room. Private Yard. Fin Bsmnt W Play Area. Great Home, Needs Little Updating. Owner Has Priced It To Sell. MLS# 26117400 734-591-0333



**PLYMOUTH** \$229,900

Open Floor Plan. LR Has A Vaulted Ceiling & Opens Up To The DR & kitchen. The Loft/study Could Be A 3rd bedroom. Lots Of Light Through Newer Windows & skylights. New Carpet, Fresh paint. C/A, Roof, & More. Home Warranty. MLS# 26112976 248-347-3050



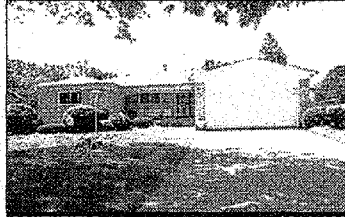
**CANTON** \$229,900

4 Br, 2.5 Ba w/a Fp In FR, sep DR W/Doorwall To Deck w/pnd, mstr ste w/mstr Ba & att 2 Car Garage. Community features: A Common pool, tennis Courts & Club House. Updates: Newer Roof, Windows, Furnace, Carpet, Bath & Deck. MLS# 26113391 248-347-3050



**NOVI** \$225,000

Brick ranch w/New roof, new ER heat exchanger, new carpet t/o, cedar deck, aluminum clad Anderson windows, 1st flr laundry, ext painted, 2.5 car insulated gar, fin bsmnt w/kit, FR, office & BA, c/a, alarm & sprinklers. MLS# 26120543 248-347-3050



**SOUTHFIELD** \$220,000

2007 sq Ft Sprawling Brick Ranch. Great Family Home! Large Bsmnt W/ New Ceramic Top Bar & Plenty Of Space For Home Theater, rec rm or Flex Rm. FR W/ Nat fplc. Honey Maple Kit Cabs. New Vinyl Windows & Furnace. MLS# 26111571 734-591-0333



**PLYMOUTH** \$220,000

Sharp Ranch On 1 Acre In Plymouth Twp. Sits Back From Road W/ circle Drive For Your Own Privacy. Newer Maple Kit, Roof, Furn. Vinyl Siding. Anderson Windows, New Doors & H/w lrs. Green House & 4 Car Heated Garage. MLS# 26114719 734-591-0333



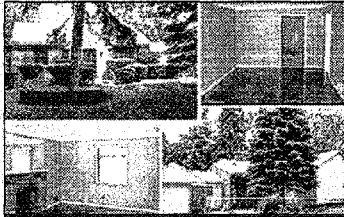
**PLYMOUTH** \$219,900

If you are someone who would love to live on water & enjoy the beautiful views that come w/living on "Walton Pond" then this sharp 2 BR, 2 bath 2 lav condo w/full finished W/O is the perfect place to call home. MLS# 26107587 734-453-6800



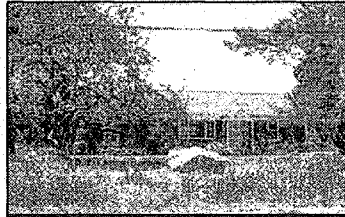
**NOVI** \$219,500

Unbelievable 3 bedroom ranch in Novi w/clubhouse and pool. Gourmet island kitchen w/Corian counter tops and maple cabinets. Updates galore. Custom landscaping. MLS# 26114549 248-437-4500



**LIVONIA** \$215,000

Car Buff's Dream W/4 Car Gar! Private Mstr ste w/vaulted ceiling, WIC, Glamour BA, Kit W/leaf-in nook, formal DR, LR W/cove Ceiling, hwd flrs, FP, Freshly Painted, newer roof, turn & landscaping, mature trees for privacy. MLS# 26091034 248-347-3050



**CANTON** \$199,900

3 BR, 1.1 bath brick Ranch on one acre setting. Completely updated kit. Updated wndws. Sunny LR & DR w/cove clgs. Newer engineered field 1998. 2 car att gar + add, 1 car det gar. Country setting w/city convenience. MLS# 26120341 734-453-6800



**LIVONIA** \$198,000

Super Sharp Ranch W/ Many Updates. All Appliances Stay. Almost 1400 sq ft Plus Finished 20x23 rec rm On Lower level. Fam rm Over Looking Beautiful Yard. New 2001: Furn, A/c, HWH, Breakers, wndws, Roof. Liv rm W/ FP. MLS# 26119713 734-591-0333

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# Web offers glossary of real estate terms

Want to know the ABCs of real estate? One source is remax.com, the Web site of RE/MAX, which includes the rest of the alphabet. Here are the A's to get you started:

**acceleration clause:** A provision in a mortgage that gives the lender the right to demand payment of the entire principal balance if a monthly payment is missed.

**acceptance:** An offeree's consent to enter into a contract and be bound by the terms of the offer.

**additional principal payment:** A payment by a borrower of more than the scheduled principal amount due in order to reduce the remaining balance on the loan.

**adjustable-rate mortgage (ARM):** A mortgage that permits the lender to adjust its interest rate periodically on the basis of changes in a specified index.

**adjusted basis:** The original cost of a property plus the value of any capital expenditures for improvements to the property minus any depreciation taken.

**adjustment date:** The date on which the interest rate changes for an adjustable-rate mortgage (ARM).

**adjustment period:** The period that elapses between the adjustment dates for an adjustable-rate mortgage (ARM).

**administrator:** A person appointed by a probate court to administer the estate of a person who died intestate.

**affordability analysis:** A detailed analysis of your ability to afford the purchase of a home. An affordability analysis takes into consideration your

income, liabilities, and available funds, along with the type of mortgage you plan to use, the area where you want to purchase a home, and the closing costs that you might expect to pay.

**amenity:** A feature of real property that enhances its attractiveness and increases the occupant's or user's satisfaction although the feature is not essential to the property's use. Natural amenities include a pleasant or desirable location near water, scenic views of the surrounding area, etc. Human-made amenities include swimming pools, tennis courts, community buildings, and other recreational facilities.

**amortization:** The gradual repayment of a mortgage loan by installments.

**amortization schedule:** A timetable for payment of a mortgage loan. An amortization schedule shows the amount of each payment applied to interest and principal and shows the remaining balance after each payment is made.

**amortization term:** The amount of time required to amortize the mortgage loan. The amortization term is expressed as a number of months. For example, for a 30-year fixed-rate mortgage, the amortization term is 360 months.

**amortize:** To repay a mortgage with regular payments that cover both principal and interest.

**annual mortgagor statement:** A report sent to the mortgagor each year. The report shows how much was paid

in taxes and interest during the year, as well as the remaining mortgage loan balance at the end of the year.

**annual percentage rate (APR):** The cost of a mortgage stated as a yearly rate; includes such items as interest, mortgage insurance, and loan origination fee (points).

**annuity:** An amount paid yearly or at other regular intervals, often on a guaranteed dollar basis.

**application:** A form used to apply for a mortgage loan and to record pertinent information concerning a prospective mortgagor and the proposed security.

**appraisal:** A written analysis of the estimated value of a property prepared by a qualified appraiser. Contrast with home inspection.

**appraised value:** An opinion of a property's fair market value, based on an appraiser's knowledge, experience, and analysis of the property.

**appraiser:** A person qualified by education, training, and experience to estimate the value of real property and personal property.

**appreciation:** An increase in the value of a property due to changes in market conditions or other causes. The opposite of depreciation.

**assessed value:** The valuation placed on property by a public tax assessor for purposes of taxation.

**assessment:** The process of placing a value on property for the strict purpose

of taxation. May also refer to a levy against property for a special purpose, such as a sewer assessment.

**assessment rolls:** The public record of taxable property.

**assessor:** A public official who establishes the value of a property for taxation purposes.

**asset:** Anything of monetary value that is owned by a person. Assets include real property, personal property, and enforceable claims against others (including bank accounts, stocks, mutual funds, and so on).

**assignment:** The transfer of a mortgage from one person to another.

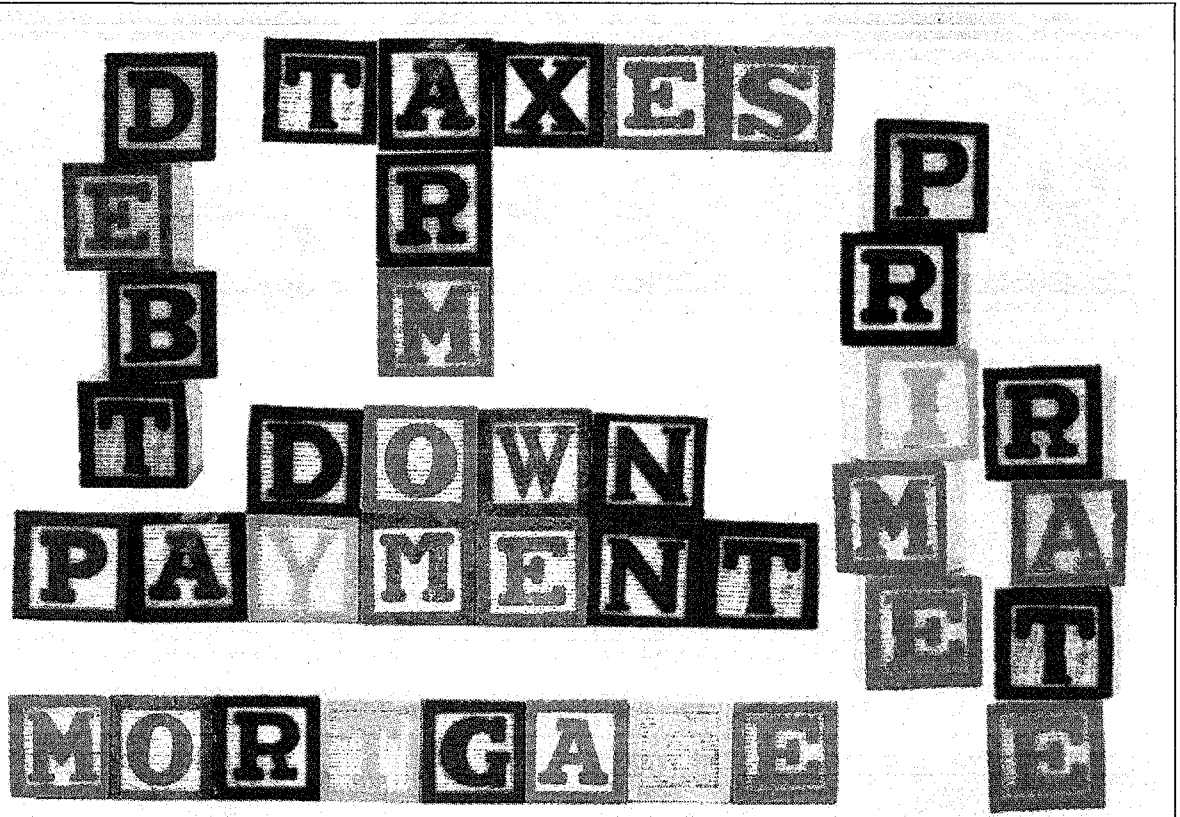
**assumable mortgage:** A mortgage that can be taken over ("assumed") by the buyer when a home is sold.

**assumption:** The transfer of the seller's existing mortgage to the buyer.

**assumption clause:** A provision in an assumable mortgage that allows a buyer to assume responsibility for the mortgage from the seller. The loan does not need to be paid in full by the original borrower upon sale or transfer of the property.

**assumption fee:** The fee paid to a lender (usually by the purchaser of real property) resulting from the assumption of an existing mortgage.

**attorney-in-fact:** One who holds a power of attorney from another to execute documents on behalf of the grantor of the power.



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**SALEM** \$190,000  
Builders own home, spotless ranch w/open floor. Cathedral ceiling in great room. Large corner lot. Professional landscaping. Move right in! Built in 2003. MLS# 26122691 248-437-4500



**GARDEN CITY** \$185,000  
Home Boasts Charm & Character All Nestled On A Manicured 1/2 Acre Lot W/ White Picket Fencing & Fruit Trees. Country French Decor straight Out Of Better Homes & Gardens! Master w/ French Doors & Walk In Closet. MLS# 26113563 734-591-0333



**OPEN SATURDAY 1-4 PM**  
**404523 Bay Harbor**  
**CANTON** \$188,000  
Spacious '03 bit condo w/2 BR, 2 full BA, library 2 FR drs., corian cnts, st steel appls. Cherry cabs. End unit w/priv entry. 2 car gar. 2 story GR w/gas fp. Immaculate! MLS# 26115822 734-453-6800



**CANTON** \$183,900  
A Great Value For This Home! Furnace & C/A new In May 00, Hwh New In 01. Lg Eat In Kit Has New Firing. Backyard w/deck. BR Has Jetted tub. LR Has hwd flr & Fp W/Oak Mantle. Loaded Glass Front Entry Door Installed In 01. MLS# 26113902 248-347-3050



**CANTON** \$181,000  
One of the larger well cared for Condo in Chatterton Village. Open floor plan w/upgraded kit & generous dining area. Exceptionally large master BR ste w/large WIC. Storage galore. This is a nice one, it won't last! MLS# 26113977 734-453-6800



**LIVONIA** \$179,900  
3 BR, 2 full BA Livonia Ranch w/1526 sq. ft. Hwd flrs freshly redone. Spac FR w/FP & doorwall leading to fenced backyard. All appls incl. Partially finished bsmt. 2 car att garage. New roof (tear-off) 2002. MLS# 26115648 734-453-6800



**WESTLAND** \$174,900  
4 BR 2.1 BA Colonial is best value in Deer Creek on a private lot. Huge kit/nk w/sky lites w/hwd flrs. Large BR's. Prof fin basement w/ workshop. 3.5 car att garage. Loads of storage. Lrg FR w/dnwall leading to deck. MLS# 26117239 734-453-6800



**LIVONIA** \$174,900  
Check The Comps, You Won't Find Another One Like This In Livonia. 4 Bedroom, 1-1/2 Bath. Xtra Large Garage, 20x32 W/electric & Door Opener Full Bsmt. New Electrical, 40 Year Roof On House & Garage. Some Appliances MLS# 26108407 734-591-0333



**CANTON** \$169,900  
3 BR Brick Ranch W/2 Car att Garage In Middle Of The sub. Freshly Painted Inside & out, new carpet, new firing In Foyer, kit, BA, DR. 2-sided Fp In LR & FR. Open flr plan. New landscaping. New 6 Panel int & Ext Doors. MLS# 26102716 248-347-3050



**NORTHVILLE** \$1,125,000  
Terrific Corner Lot For This 3 Bedroom, Brick Ranch With 2 Full Baths, Beautiful Hardwood Floors Throughout, Full Finished Basement. Great Open Floor Plan, Large Living Room, 2 Car Detached Garage. MLS# 26008811 734-591-0333



**LYONS** \$163,000  
Home with a warm heart! This cozy 3 BR bungalow is filled with charm. Hardwood floors in living room and dining room, 4 seasons sun porch, full bsmt, and upgrades galore. MLS# 26122206 248-437-4500



**DEARBORN** \$159,700  
Charming Brick 3 BR Bungalow In A Nice Neighborhood. Close To Shopping, school, Ice Skating Arena, & Park. Newer Furnace & C/A in 2005. WIC Upstairs. Finished Basement With Full Bath & Plumbing Ready For New Kitchen. MLS# 26114351 248-347-3050



**CANTON** \$159,000  
Here Is An Opportunity To Own A Sharp Condo In Chatterton Village. Owner is Motivated. Located Close To The Front Of Complex But Not In Heavy Traffic Pattern. Close To Clubhouse. Great View - Unit Over Looks Pond. MLS# 26117436 734-591-0333



**WESTLAND** \$154,900  
What a Treat! Updated - Clean 3 Bedroom Ranch in Great Area! Windows, Roof, Gutters, Furnace & C/A Replaced. Kitchen and bath Updated, Finished Bsmt w/ add'l Shower and Lots of storage. Detached garage w/ 220 amp. MLS# 26113797 734-591-0333



**DEARBORN HEIGHTS** \$149,900  
Updated Bungalow w/newer roof, furnace, C/A, garage and deck. Expanded oak kitchen w/newer premium appliances. Finished basement. Glass block & vinyl windows. Hot tub included. MLS# 26115315 734-453-6800



**DEARBORN** \$144,500  
Location, Location, Wonderful 3 bdrm Home Priced To Sell. Many Wonderful Features. Enjoy The Day On The multi-tiered Deck & Patio. Fin Bsmt. W/ Bath. Appls Stay. C/A, 1.5 Car Garage W/ opener. Newer Furn, Roof, Win. MLS# 26122936 734-591-0333



**REDFORD** \$142,500  
Nothing to do but move into this meticulous 3 bedroom ranch. Updates galore: eat-in kitchen, baths, windows, roof, vinyl siding and more. Serene backyard. MLS# 26119003 248-437-4500



**DEARBORN** \$142,500  
Home In Quiet Neighborhood. Hwd flrs, newer furnace, HWH/C/A. Upstairs Just finished, new windows, carpet, drywall, electrical. Home warranty. All appl Stay. Perfect For 1st Time buyers. One Look & It Will Feel Like Home. MLS# 26113782 248-347-3050



**WAYNE** \$139,900  
Country charm! Immediate occupancy on this gorgeous 3 BR Ranch in Wayne. Open floor plan & huge great room w/vaulted ceilings & skylights. Updated bath, eat in kitchen. Move right in. Bring an offer! MLS# 26105944 734-453-6800



**REDFORD** \$134,900  
Charming 3-bedroom Bungalow W/ Newly Remodeled Kitchen. Large mstr Bed W/ 1/2 Bath Connected. Move right In! Gorgeous Fireplace. Potential 4th Bed W/ Private Entrance. Updates Include Furn, C/A Windows, Siding. MLS# 26121527 734-591-0333



**ROYAL OAK** \$131,900  
Royal Oak - affordable 2 BR townhouse w/great location. Seller providing Home Warranty & 3 mo. Assn. dues. Neutral decor, HWE. Private entry, port fin LL w/washer, dryer. Assigned parking and pet friendly. Must see! MLS# 26085447 734-453-6800



**REDFORD** \$124,900  
Great starter home! Brick 3 BR/2 BA Ranch. Updates: Kitchen, furnace, carpet, windows, roof, C/A. Finished LL w/full bath & gas FP. Large 2 car garage & fenced yard. All the works done! MLS# 26110678 734-453-6800



**DEARBORN HEIGHTS** \$124,900  
Brick ranch w/neutral decor. Vinyl win, berber carpet, big eat-in kit, attic w/pull down stairs, fenced yard w/patio, 1 1/2 car garage. Seller will consider leaving snow blower, mower, garage heater, & more w/the right offer! MLS# 26116070 248-347-3050



**DEARBORN** \$105,000  
Totally Remodeled Half Duplex. Ceramic Floor Down, Newer Kitchen, windows, Furnace, Hot water heater, roof With A 30 Year Warranty, Newly Painted. Patio At The Back. Newer Vinyl On Garage. Excellent Location. MLS# 26114336 248-347-3050



**WAYNE** \$102,900  
1st time buyers dream! Mint condition! 3 BR 1 BA Ranch totally updated in 2005! New roof, windows, floors, bath, H2O, porch, doors, siding and freshly painted. Great location, city certs completed, home warranty incl. MLS# 26117024 734-453-6800

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**HOWELL \$189,900.00**  
MLS#26122240 - 4 BR,  
2 Baths. 1600 Sq. Ft! Pool!



**BRIGHTON \$224,900.00**  
MLS#26099543 - 3 BR, 3  
Baths! Finished basement!



**HOWELL \$236,900.00**  
MLS#26123126 - 1.29 Acres, 3 BR,  
2 Baths, 1406 Sq. Ft. Hardwood Flrs.



**HOWELL \$245,000.00**  
MLS#26117175 - 4 BR,  
2.5 Baths. 1960 Sq. Ft. Like New!



**BRIGHTON \$249,900.00**  
MLS#26047104 - 3 BR,  
2.5 Baths. 1870 Sq. Ft.

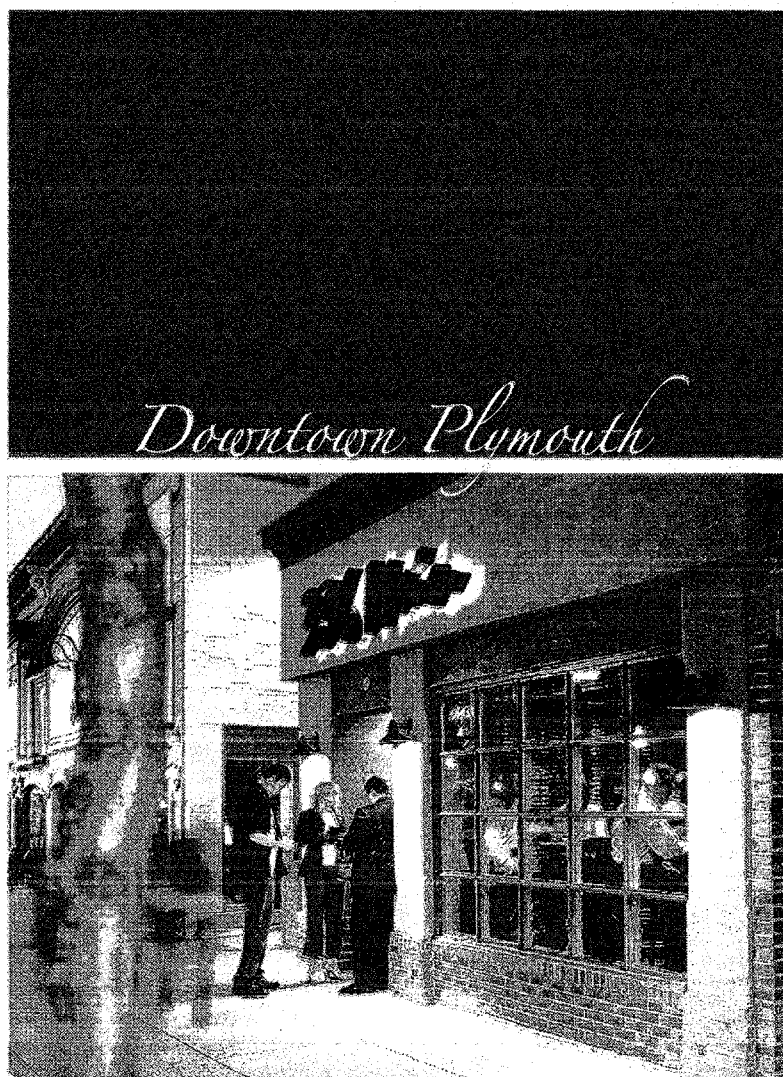


**BRIGHTON \$249,900.00**  
MLS#26039005 - 3 BR,  
1.5 Baths, 1650 Sq. Ft. Bsmt.



**BRIGHTON \$329,900.00**  
MLS#26085707 - 4 BR, 2.5 Baths,  
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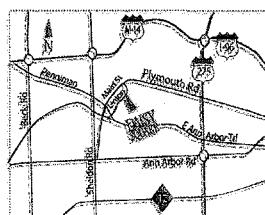
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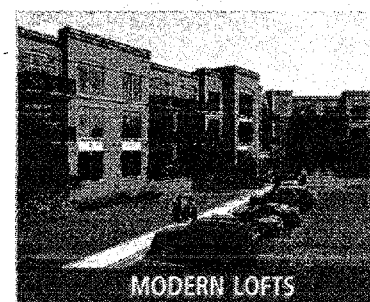
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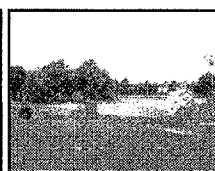
**Vacant Land**  
SOUTH LYON VACANT LOT On a private road w/wooded backdrop. Will require an engineered septic field. This area has golf courses and upscale homes. Survey and geological studies available. Over one acre. Privacy is perfect as is the price.  
**\$89,900 (P-000LA)**



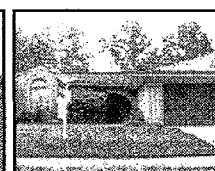
**EYE CATCHING FEATURES** In this newly constructed condo offering a ceramic foyer, 1st floor laundry, hardwood and autumn maple kitchen, dual toned paint, master w/ garden tub, treated deck & more.  
**\$212,900 (C-472GL)**



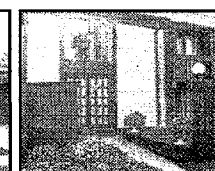
**SCENIC POND VIEWS** Beautifully decorated 3 bd home set on premium lot backing to scenic pond. Cherry cab's t/o, master BA w/double sinks & corner jetted tub. Daylight bsmt prepped for bath, formal Living & DRs. A must see!  
**\$309,900 (P-223BO)**



**GREAT PRICE!** 3 bd condo minutes from xways & shopping. Fresh paint, new carpet, newer windows, furnace, C/A, bsmt, attached Garage & more.  
**\$123,900 (C-694BE)**



**AFFORDABLE RANCH** Many upgrades in this home inc roof, siding, pergo flooring, freshly painted t/o, & Deck. Sunny Living & Family Room, 2 way fireplace, partially finished bsmt, & 1 yr home warranty offered.  
**\$209,990 (P-645GR)**



**GREAT COMPLEX** Maintenance free living! Open flr plan w/ private patio, mstr BR has private balcony. Newer carpet, kit flooring & fresh paint. Relax in whirlpool tub or complex pool. Gas & water included! Great Buy!  
**\$88,900 (C-124JA)**

**Canton**  
**EXCEPTIONAL VALUE** Brick home only a short walk from Freedom Park. 3 bd, 1.5 baths, vaulted LR, Family Room w/frpl, & much more.  
**\$189,900 (P-033br)**

**Detroit**  
**GREAT BUY** Large colonial in historic Hubbard Farms that has been turned into a 2 family unit. Part finished bsmt w/bdrm, hwd floors t/o, large DR, & fenced yard.  
**\$199,999 (P-560vi)**

**Canton**  
**BEAUTIFUL RANCH** 3 bd brick ranch in popular Holiday Park sub. Nicely maintained, FR w/frpl, garage, oak Kitchen w/eating area, & Plymouth Canton schools.  
**\$185,000 (P-843ed)**

**Inkster**  
**INVESTORS SPECIAL** Cozy brick ranch in nice area. Great investment property, 2 car detached Garage, fenced yard, motivated seller.  
**\$85,900 (C-136sp)**

**Canton**  
**\$40K IN UPGRADES** 4 bd, 2 bath colonial w/new Pella windows, doorwall, updated baths, kitchen, carpet, paint, garage door, hwd, sprinklers, freshly painted exterior, & nicely landscaped.  
**\$259,900 (P-906fi)**

**Lincoln Park**  
**BUYERS DREAM** Great curb appeal w/double lot. Fenced yard w/tiered Deck, new siding, trim, & doors. Many more updates to see.  
**\$129,900 (P-533fe)**

**Canton**  
**LUXURY MEETS VALUE** Beautiful ranch condo w/ large master, vaulted ceilings, 3 full baths, & finished bsmt.  
**\$279,900 (C-491ki)**

**Lincoln Park**  
**AFFORDABLE** Super clean bungalow w/great location. Plenty of updates including roof, furnace, windows, & more. Newer 2 car Garage w/ workbench & fenced yard.  
**\$119,900 (C-208sc)**

**Canton**  
**WELL MAINTAINED** COLONIAL Situated on a quiet court, neutral t/o, new carpet, 3 bd, 1.5 ba, LR w/bay window, FR w/frpl, updated oak Kitchen, Nook, & Master w/WIC. Large yard w/mature landscaping for privacy.  
**\$200,000 (P-341me)**

**Livonia**  
**IMPRESSIVE CONDO** Beautiful condo w/open floor plan, master w/bath & deck, finished bsmt, 1st floor laundry, 2nd private deck off dining area, & so much more.  
**\$214,900 (C-351ea)**

**Canton**  
**START PACKING** This 3 bd, 2.5 bath colonial is ready to move in w/fresh paint & carpet t/o. Large island kitchen w/nook. Traditional LR/DR, FR w/frpl. Master w/ bath, & 1st floor laundry.  
**\$199,900 (P-431pa)**

**Livonia**  
**SPECTACULAR COLONIAL** 2500+ sq ft colonial w/corrian counters, huge Great Room, extensive Crown molding, fashion bath, fabulous gardens & much more.  
**\$382,500 (C-152el)**

**Canton**  
**AMAZING PRICE!** Neutral decor t/o, open floor plan, 4 bd, 2 baths, formal LR & DR, custom blinds, oak Kitchen w/nook, updated windows, roof, & 2 tiered Deck.  
**\$239,900 (C-554sa)**

**Livonia**  
**GREAT BUY!** Priced to sell! This home offers 3 bd, 2 baths, partially finished bsmt, very large backyard, & 1 yr home warranty.  
**\$153,900 (P-630jo)**

**Canton**  
**EXTRAORDINARY!** 4 bd colonial featuring 2.5 baths, hwd floors, Master w/bath, WIC's, Flex/Bonus room, professionally landscaped w/ views of the pond.  
**\$289,000 (C-183sh)**

**Livonia**  
**TURN KEY HOME** Owners have done everything to this awesome ranch. Finished bsmt, 2.5 car Garage w/new door, remodeled Kit & Bath, roof, & windows.  
**\$164,900 (P-224jo)**

**Canton**  
**CANTON COLONIAL** Pulte built in 2002. Spacious floor plan w/2 story foyer, island kit w/nook, FR w/frpl, 4 bd, 2.5 baths, 3 car gar, & Deck.  
**\$309,000 (C-918st)**

**Livonia**  
**GREAT FIND** 1700+, 3 bd., 1.5 baths, new roof in '04, refinished hwd, private backyard, FR w/frpl, & neutral decor. Close to everything.  
**\$234,900 (C-902mu)**

**Canton**  
**FANTASTIC YARD** Wonderful ranch w/great location, formal DR. Updated Kitchen flooring, windows, finished bsmt, & great yard.  
**\$210,500 (C-212su)**

**Livonia**  
**THE PERFECT RANCH** Newer 3d, 2 bath ranch w/skylights, landscaped lawn, sprinklers, jetted tub, & a great yard w/ custom Deck.  
**\$274,900 (P-810no)**

**Canton**  
**CONDO LIVING AT IT'S BEST!** Spectacular view of the woods from every room in this 2 bd, 2 bath end unit. Master w/bath, 1st floor laundry, & 2 car garage.  
**\$299,900 (P-865we)**

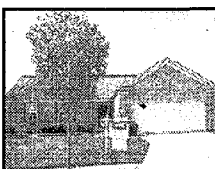
**Livonia**  
**COUNTRY IN THE CITY** 4 bd, 2 bath ranch tucked away in a quiet sub. Offering an attached Garage, updated Kitchen w/skylight, formal LR, tons of storage, & a acre lot.  
**\$179,900 (C-251os)**

**Dearborn Heights**  
**WHY PAY RENT?** Great starter, home featuring newer roof, windows, kitchen, 2 full baths, finished bsmt, great fenced yard, & low maintenance.  
**\$124,000 (P-649fe)**

**Superior Twp**  
**BUILDABLE LOTS** 2 lots still available w/Plymouth mailing. Both lots nestled among mature trees & set off a private rd. Plenty of options. Lot sizes are 2.25 acres & 2.49 acres.  
**\$175,000 & up (C-847an)**



**PICTURE PERFECT** Great ranch offering 3' bd, open floor plan, updated furnace, C/A, HWH, & steel doors. Add to this a prof finished bsmt, new siding, great Patio, & covered porch.  
**\$124,900 (P-369ST)**



**ENCHANTING RANCH** This 3 bd solid brick ranch has a fantastic Canton location. Open floor plan featuring 1633 sq ft, great room w/ frpl, roomy kitchen & dining area, soaring ceilings, & large master suite w/private bath.  
**\$246,900 (P-977TI)**



**UPDATED HOME** 4 bd, 2.5 bath Plymouth colonial. Beautiful new oak Kitchen, large Family Room w/vaulted ceiling & fp, formal Living & Dining rooms, 1st floor laundry, & Den. Updated bath, windows, furnace, & large Deck.  
**\$329,700 (C-002RO)**



**UPDATED RANCH** This is it! 3 bd, 2 bath ranch on quiet street, loaded w/updates. Neutral decor, large yard w/ Deck, clean & bright bsmt w/ plenty of storage, professionally painted t/o, hwd floors, & neutral carpet. A must see!  
**\$179,900 (C-751LI)**



**SOUTH REDFORD CHARMER** Great brick bungalow w/ south Redford schools. 3 bds, 2 baths, 2 car Garage, fenced yard, & lots of updates. Call today for more details.  
**\$149,000 (C-402LU)**



**CHOICE BRICK RANCH** This 3 bd ranch in Novi features a family room w/cath ceiling, recessed lights & frpl. Formal LR/DR, updated ceramic bath. Kit w/all appl, updated roof, furnace, C/A & hwh.  
**\$189,900 (P-921MO)**



**BEAUTIFULLY MAINTAINED** CONDO Ready for you to move in to! Neutral decor w/ many builder upgrades. 3 yard, large Kitchen, formal sided fireplace, open & Dining Room, Great Room w/ spacious floor plan w/ cathedral ceilings, & kitchen w/ceramic tile & cherry cabinets. Great location!  
**\$124,900 (P-654OL)**



**OLD FASHIONED GEM** Room to roam. Over 1400 sq ft, 2 bd, 1.5 bas. Huge fenced yard, large Kitchen, formal Dining Room, Great Room w/ hardwood floors, Library with built in book shelves & full basement.  
**\$145,000 (P-504SI)**



**WELL CARED FOR** 3 bd home w/spacious kitchen, roomy dining area, laundry/mudroom, & oversized corner lot located near a golf course & 3 parks. Call today for more details.  
**\$77,000 (P-800WO)**



**ANN ARBOR SCHOOLS** 4 Bedroom, 2 1/2 bath, 1916 sq ft. Built in 1998, wood floor entry, open floor plan, large master suite w/2 wic's & bath. Wonderful landscaping on premium lot. Community pool.  
**\$249,900 (P-137BL)**



**INVESTORS SPECIAL** 3 bd brick Home w/unfinished bsmt, 2 car garage. Needs a little TLC! Motivated Seller - Getting out of the Landlord Business. Great Location, near expressway & shopping: Home sold as-is.  
**\$167,000 (P-206CR)**



**AWESOME WATERFRONT** CONDO Spectacular end unit w/gourmet maple & granite kitchen, spacious living room leading to the sunroom overlooking the lake. Finished walkout w/great room, exercise room & 2nd fireplace.  
**\$564,900 (P-786IS)**



**REDFORD RANCH** 3 bd brick ranch in prime location. Neutral Kitchen, formal Living Room, finished bsmt w/family room area & bar. Updated cement driveway, vinyl w/bay window, newer kitchen windows, driveway, HWH, & roof. Doorwall to fenced yard & huge Garage.  
**\$124,900 (P-410LU)**



**HIDDEN JEWEL** Well maintained bungalow. Superb new bath w/ceramic tile, spacious mstr w/hwd floors. Light & airy LR, eat-in kitchen w/bay window, newer vinyl windows, driveway, HWH, & roof. Doorwall to fenced yard & huge Garage.  
**\$114,900 (C-657PR)**



**NEW CONSTRUCTION** Farmington Hills colonial offering hwd floors, upgraded 42' cabs, granite, stone, crown molding t/o, recessed lighting, & much more custom work. No expense spared, all the bells & whistles are here!  
**\$364,900 (P-877GI)**



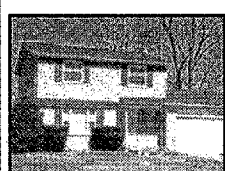
**PLYMOUTH'S OLDE VILLAGE** Don't miss the chance to own this beautiful historic Victorian home with a totally updated interior & old world charm throughout. Spacious interior w/3 bd & large backyard.  
**\$219,900 (C-784HO)**



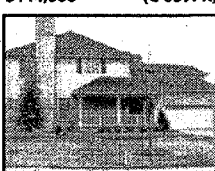
**A RARE FIND** Nestled deep in popular Fairways West. 3100+ sq ft, 4 bd, 2.5 bath colonial offers fresh paint, gourmet Kitchen w/built-in appl's, hwd floors, Den, Master Suite w/whis & her WIC's & private sitting area.  
**\$379,000 (C-835PA)**



**MOVE RIGHT IN** Beautifully updated colonial featuring Kitchen w/corrian, Anderson windows, & professionally finished bsmt w/egress window & guest bdrm & bath. Everything has been done for you.  
**\$372,900 (C-273RE)**



**SPRINGTIME INSIDE & OUT** Outstanding 3 bd, 1.5 bath colonial located near Summit Park in Canton. Large FR w/ frpl, formal LR, updated eat-in kitchen w/oak. Other recent updates include paint, windows, roof, attic fan, & new garage door.  
**\$199,900 (C-348RU)**



**TANGLEWOOD CONDO** Finally a condo in prestigious Tanglewood Sawgrass complex. This rare find offers wood floors, kitchen w/ double oven, fireplace, large master suite, WIC's, 3 bd, 2.5 baths, & a 2.5 car garage.  
**\$359,900 (C-526SA)**



**CANTON-MOVE IN & ENJOY** Updated colonial features updated C/A, windows, shingles, furnace, hwh, storm doors, Kitchen w/pantry, private & serene backyard, & beautiful landscaping.  
**\$199,500 (C-613ME)**



**PLYMOUTH FIXER UPPER** 3 bd, 2 bath ranch w/walkout bsmt, Master w/doorwall to Deck, nice size Living & Dining Rooms, situated on 2/3 of an acre siding to Hines Park. Needs work, bring your ideas.  
**\$182,000 (C-861BU)**



**WELCOME HOME** 3 bd, 1.5 bath Livonia home w/new Kitchen, roof, gutters, windows, part finished bsmt, oversized 2.5 car Garage, landscaped yard, & more.  
**\$189,000 (C-046FR)**



**THIS ONE WON'T LAST** Great home! City Inspection done! Large eat in kitchen, 3 w/ possible 4 bd, finished bsmt, some updated windows, & seller can help w/closing costs.  
**\$70,000 (P-555HU)**

**NORTHVILLE/NOVI**  
**(248) 305-6090**

**CANTON**  
**(734) 392-6000**

**FARMINGTON**  
**(248) 478-6022**

**WESTLAND/GARDEN CITY**  
**(734) 392-6000**

**PLYMOUTH**  
**(734) 459-6000**

**LIVONIA**  
**(734) 425-6060**



## HOMES SOLD

These are the Observer & Eccentric-area residential real-estate closings recorded the weeks of March 13-17, 2006 at the Wayne County Register of Deeds office. Listed below are cities, addresses, and sales prices.

Canton	
284 Cherry Stone Dr	\$174,000
50410 Collidge St	\$65,000
7298 Green Meadow Ln	\$205,000
2008 Hawks Nest Ct	\$176,000
45141 Horseshoe Cir	\$190,000
45699 Morningside Dr	\$345,000

41891 North Dr	\$277,000
1803 Pinecroft Dr	\$206,000
Farmington	
21626 Birchwood St	\$234,000
Farmington Hills	

22541 Albion Ave	\$128,000
26514 Badalament Ct	\$290,000
27845 Berrywood Ln	\$103,000
24694 Creekside Dr	\$200,000
26201 Drake Rd	\$338,000
30330 Fox Club Dr	\$310,000
36171 Fredericksburg Rd	\$308,000
29432 Gramercy Ct	\$255,000
29632 Harrow Dr	\$475,000
28030 Hickory	\$507,000
21517 Jefferson St	\$85,000
35559 Lark Hbr	\$243,000
23635 Larkshire St	\$196,000
37456 Legends Trail Dr	\$352,000
26488 Old Homestead Dr	\$266,000
31093 Pine Cone Dr	\$330,000
28825 Ravenwood St	\$217,000
38198 Saratoga Cir	\$240,000
31859 Staman Ct	\$302,000
29291 Sunridge	\$345,000
35435 Valley Crk	\$348,000

36784 W 11 Mile Rd	\$218,000
21795 Waldron St	\$70,000
28586 Wildwood Trl	\$215,000
Garden City	
476 Cardwell St	\$124,000
323 Lytle Pl	\$120,000
Livonia	
27709 Bennett St	\$200,000
29510 Bobrich St	\$61,000
33454 Fargo Ave	\$314,000
33213 Fargo St	\$62,000
34451 Fargo St	\$140,000
20035 Floral St	\$135,000
29512 Nottingham Ct	\$178,000
12068 Stark Rd	\$142,000
19986 Sunbury St	\$165,000
18902 Westmore St	\$226,000
Novi	
24544 Bashian Dr	\$148,000
28515 Carlton Way Dr	\$219,000
22047 Clover Ln	\$263,000
1353 E Lake Rd	\$475,000
46427 Galway Dr	\$492,000
21982 Heatherbrae Way S	\$295,000
23488 Highmeadow Dr	\$318,000
40782 Lenox Park Dr	\$325,000

23564 N Rockledge	\$135,000
42447 Park Ridge Rd	\$266,000
Plymouth	
219 Ann St	\$151,000
9486 Baywood Dr	\$240,000
45817 Denise Dr	\$355,000
402 Pacific St	\$265,000
Redford	
13569 Centralia	\$127,000
18802 Glenmore	\$110,000
19526 Imperial Hwy	\$137,000
25761 Jennifer	\$162,000
16534 Macarthur	\$155,000
19434 Seminole	\$103,000
9191 Virgil	\$124,000
14307 Wormer	\$180,000
Westland	
2161 Buchanan Ct	\$150,000
36105 Canyon Dr	\$145,000
32318 Harvard St	\$135,000
30414 Hiveley St	\$133,000
32332 Kalamazoo St	\$99,000
1865 S Linville St	\$105,000
27657 Trailbrooke Cir	\$110,000

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Farmington Observer  
Garden City Observer  
Livonia Observer  
Milford Times  
Northville Record  
Novi News  
Plymouth Observer  
Rochester Eccentric  
Royal Oak and Clawson Mirror  
Redford Observer  
Southfield Eccentric  
South Lyon Herald  
Troy Eccentric  
West Bloomfield Eccentric  
Westland Observer  
and on

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### ALPENA AREA

### Waterfront

Sunset views over Long Lake 50' very nice frontage. 3 bedroom, family room, 2 car garage.

**\$195,000 E-216029**

Great swimming and pretty view 3 bedroom, newer furnace and carpet, 2 car garage. 100' Lake Huron

**\$92,000 E-261005**

1.75 acres with 73 ft. on Rush Lake. Executive style log home on sandy beach. Built 1997

**\$389,900 E-260714**

Desirable Long Lake frontage. Completely renovated year round cottage close to Alpena.

**\$159,900 E-260349**

325' Thunder Bay River, inside the city 1,850 sq. ft. brick home w/full finished bsmt. Gorgeous Views!

**\$269,900 E-261051**

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#### From the low \$200's

##### **MARLEE WOODS**

Convenient location to shopping and more! **Landscape package included!**

**MODEL NOW OPEN!**

**WESTLAND (734) 266-2700**  
I-275 to Ford Rd. (exit 25) travel East; located on the West side of Farmington Rd., North of Ford Rd.

#### From the upper \$200's

##### **THE GLENS AT CRYSTAL CREEK**

**MODEL NOW OPEN!**

South Lyon Schools.  
Landscape package included!  
**LYON TWP. (248) 437-0022**

I-96 to Milford Road travel South on Milford Road to 11 Mile Rd.

#### From the low \$200's

##### **AMBERLY WOODS**

Minutes from Downtown Howell.  
Acclaimed Howell Schools.  
**Landscape package included!**

**MODEL NOW OPEN!**

**HOWELL (517) 545-2800**  
South of M-59 on the West side of Eager Rd.

#### From the \$240's

##### **HARBOR VILLAGE**

Next to country club, lakes and rails-to-trails. West Bloomfield Schools!  
**Landscape Included!**

**KEEGO HARBOR/ (248) 706-5900**  
**W. BLOOMFIELD**

Summers, East of Orchard Lake Rd.  
just North of Commerce Rd.

#### From the low \$300's

##### **HILLS OF BOGIE LAKE**

Clubhouse, pool, sports court & more!  
3-Car garages and **landscape package included!**

**COMMERCE TWP. (248) 366-2800**

On Bogie Lake Rd., South of Cooley Lake Rd.

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##### **LAKERIDGE AT WATERSTONE**

Surrounded by 15 pristine lakes and 27 holes of world-class golf

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#### From the low \$200's

##### **THE VILLAS AT CRYSTAL CREEK**

Paired condominium homes. Acres of natural preservation areas.

**2 MODELS NOW OPEN!**

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I-96 to Milford Rd. travel South on Milford Rd. to 11 Mile Rd.

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West side of Lapeer Rd., North of downtown Oxford

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**W. BLOOMFIELD**

On Williams Lake Rd., S. of Elizabeth Lake Rd.

#### From the \$140's

##### **HARRISON COVE**

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Information and pricing subject to change at any time without notice.



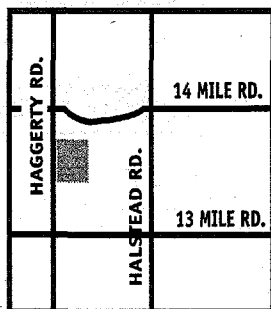
## WHY RENT WHEN YOU CAN CUSTOMIZE YOUR OWN CONDO FOR LESS?

- 1 Bedroom 1 Full Bath for as low as \$556.00 per month\*
- 2 Bedroom 2 Full Baths for as low as \$773.00 per month\*\*



### FARMINGTON HILLS NEWEST CUSTOM CONDOS

- 1 & 2 bedroom condominium homes
- Serene natural setting
- Outdoor pool and tennis courts
- Fitness center
- Convenient location
- Extraordinary views
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- Priced from \$107,900



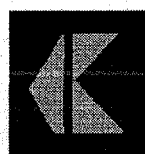
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\*\*Assumes 10% down, excludes association dues and taxes. Total payments for the 1 bedrooms starting at \$820/month\* and total payments for the 2 bedrooms starting at \$1,180.00/month\*\*. All information subject to change at anytime without notice.



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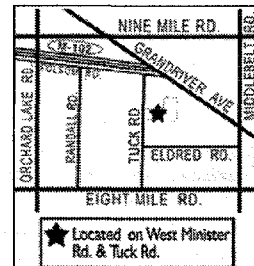
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Homes - NOW OPEN!**

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## West Bloomfield

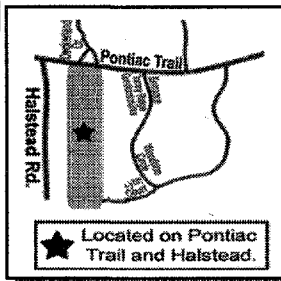
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# EARN EXTRA \$\$\$

Booming Real Estate Offices in Livonia and Northville are seeking outgoing Salespeople! Training Available.

**Call Robert or Kim at:**

**734-525-4200 or 248-912-9990**

 <p><b>Canton</b> - New construction! This 4 BR, 2.1 BA Cape Cod offers an amazing floor plan. Custom features including Brazilian Cherry hardwood floors, iron baluster staircase, &amp; granite V/O. Custom wood work, crown molding, Anderson windows, two fireplace, &amp; stainless steel appliances. First floor laundry and a 3 car garage. \$499,000 (41AND)</p>	 <p><b>Canton</b> - Must see! Not much to do but move in. 4 BR, 2.1 BA colonial offers brand new carpet, new windows, and vaulted ceilings in kitchen. Generous family room with natural fireplace. Master suite with full bath and WIC. Maintenance free exterior, large deck and a fenced yard. \$229,900 (25CRA)</p>	 <p><b>Dearborn</b> - New construction! Beautiful 4-bed, 2.5 bath home with a great open floor plan. Cathedral ceilings in the master bedroom, fireplace in great room, 2 car att-garage, sprinklers, bsmt, C/A, 1800 sqft. Act now for color selections! \$215,000 (41MOR)</p>	 <p><b>Dearborn Hgts</b> - Beautifully updated 3-bed brick ranch. 2 full and 2 baths, marble in foyer, hall and nook, updated kitchen w/new cabinets and counter. Huge finished bsmt w/loft of storage area, 2 car garage, appliances stay, security alarm, newer boiler and pump for baseboard heat, newer C/A. \$219,900 (45COL)</p>	 <p><b>Dearborn Hgts</b> - Spacious 3-bed, 2 bath brick ranch on a corner lot. C/A, large modern eat-in kitchen w/dining area, 1100 sqft. Updates in the last 7 years include: furnace, w/C/A, windows w/marble sills, copper plumbing, circuit breakers, vented glass brick windows in bsmt. \$128,900 (52CUR)</p>
 <p><b>Dearborn Hgts</b> - Beautiful 3-bed, 1.5 bath brick ranch in a quiet neighborhood. Refinished hardwood floors through out, finished bsmt w/bar and gas fireplace, entire house is wired for computer network, satellite and cable. 2 car garage, C/A, ready for new owner! \$148,000 (120IX)</p>	 <p><b>Dearborn Hgts</b> - Totally updated 3-bed, 1.5 bath ranch. Remodeled kitchen with oak cabinets and Wilson art floors. Newer vinyl windows and glass block windows in basement. Pergo floor thru out, inground pool, garage, C/A, 1300+ sqft. \$184,900 (75KIN)</p>	 <p><b>Farmington</b> - Priced below appraised value! 4-bed, 2.5 bath home with a deep lot. Property extends beyond fenced 75ft, bsmt, dream 2 car garage with insulation, electricity and phone service. Fenced yard, huge loft bedroom on 3rd floor, 3 story addition built in 2000, patio, newer windows, roof and carpeting. \$219,900 (16MAP)</p>	 <p><b>VACANT LOT</b></p>	 <p><b>Farmington Hills</b> - Vacant land! Lovely .5 acre parcel located on a quiet country setting. Build your dream home here! Clarenceville schools, lots of new construction in area, electric and gas at street, sewer at north corner of property. Land contract available! \$74,900 (VACDUN)</p>
 <p><b>Genoa</b> - Simply gorgeous! This 5 BR, 2.1 BA colonial built in 2003 is a must see. Hardwood flooring V/O, French doors in the study/office, and first floor laundry. Master suite has cathedral ceilings, a 2 sided fireplace, his &amp; her vanities, and a Jacuzzi tub with an awesome view of the lake. \$449,900 (56BUA)</p>	 <p><b>Hamburg Two</b> - Fantastic 4 BR, 3.1 BA Cape Cod with an open floor plan. Over 3300 sqft of living space. First floor master suite with WIC and master bath with jetted tub. 2 fireplaces, first floor laundry, and dining room. Finished walkout basement with a nature preserve surrounding the home. A must see! \$395,500 (88SCL)</p>	 <p><b>Livonia</b> - Spectacular 3 BR, 2 BA ranch in desirable Livonia. This beauty offers updated kitchen, baths and so much more. Partially finished basement with a 4 BR and a full bath. 2.5 car garage with an extra storage area in the back. Professionally landscaped with sprinklers. Appliances stay! \$193,000 (76HOU)</p>	 <p><b>Livonia</b> - Fabulous 2 BR, 1 BA condo. Updates include newer windows, newer carpeting, and is freshly painted. First floor laundry, dining room, and a screened in Florida room. Basement with plenty of storage room. Carport, common pool, and all appliances included. Seller is motivated. \$94,500 (09MID)</p>	 <p><b>Milford</b> - Own one of the original custom built homes in prestigious Heritage Hillside. This fabulous 5 BR, 2.2 BA colonial is finished with wonderful trim and appointments. Finished daylight lower level adds an additional 1527 sqft of living space. 1.1 acres provides the feeling of estate living. \$540,000 (89WOO)</p>
 <p><b>Northville</b> - Spectacular 5-bed, 3 bath home. Open floor plan w/hardwood floors, 2 fireplaces, library, 2 car garage, security alarm, some appliances stay. Professional landscaping and new two-tiered deck with 2 patios, 2555 sqft. A magnificent view from every room of private half acre that backs to woods. \$399,000 (28CUR)</p>	 <p><b>Novi</b> - Northville Schools! Sharp 4-bed, 2.5 bath colonial with loads of updates! Basement, 2.5 car side entry garage, finished bsmt, C/A. New carpet, floor, kitchen cabinets and counter tops. A beautiful country lot, home warranty, 1800+ sqft. \$269,900 (00TAF)</p>	 <p><b>Novi</b> - 2-bed, 2.5 bath condo, former model. 2 bedrooms w/11 ceramic baths, living room w/gas fireplace and door-wall to patio, ceramic floor in white kitchen w/recessed lights, 2nd floor laundry, finished bsmt w/office, C/A, sprinklers, garage. \$167,900 (22COL)</p>	 <p><b>Redford</b> - Extremely well maintained 3 BR brick ranch in a quiet neighborhood. Updates include new roof, HWH, C/A, carpet and much more. Master BR has own lav. Large eat-in kitchen, partially finished basement, and appliances included. Oversized 2 car garage with workshop. \$142,000 (22COL)</p>	 <p><b>Redford</b> - Wow! Hurry, this 4 BR ranch is a beauty. Ideal for the growing family. Home offers new kitchen, updated bath, and newer furnace &amp; central air. Newer windows and vinyl siding. There is even a shed for extra storage room. This is truly a move in condition home. \$119,000 (20ANK)</p>
 <p><b>Redford</b> - This 3-bed bungalow could be yours! Drive-thru garage, bsmt, appliances stay, above ground pool w/new liner, large 70x120 lot w/privacy fence, deck w/doorwall. Vinyl windows, tear-off roof in 99, garage built and driveway poured in 99 and much more! \$119,900 (57LEO)</p>	 <p><b>Redford</b> - Totally remodeled ranch with a home warranty. Everything is updated... roof, windows, carpeting, paint, C/A, humidifier. Gorgeous updated kitchen and bath, hardwood floors under carpet, newer appliances stay, fenced in yard w/deck and shed. Beautiful new landscaping, garage, bsmt. \$137,900 (02FAR)</p>	 <p><b>Redford</b> - Cute and cozy 3-bed ranch with a home warranty. Fenced yard, 2 car garage, almost 1000 sqft. Newer windows, HWH, C/A and much more! Updated kitchen and bath, cute curb appeal, appliances are negotiable. \$94,900 (68POI)</p>	 <p><b>South Lyon</b> - Absolutely exquisite! No detail overlooked on this 3 BR, 2.1 BA beauty. Custom cherry kitchen, extensive use of granite, custom fireplace and hardwood flooring. Luxurious first floor master suite with marble bath. Finished daylight lower level. Lake views and privileges on all sports Whitmore Lake. \$449,900 (55WHI)</p>	 <p><b>South Lyon</b> - All high end finishes in this new construction! 4 BR, 2.1 BA colonial offers maple cabinets &amp; granite. Family room opens to kitchen with 2 story ceilings and a granite gas FP. Hardwood flooring, updated carpet, and light fixtures. 2 car attached garage. \$540,000 (43POL)</p>
 <p><b>Westland</b> - What an incredible deal! This 2 BR, 1.1 BA and unit condo has a 2 car attached garage. Finished basement adds extra living space. Freshly painted and ready for you! Enjoy the pool on these hot summer days. Close to shopping, restaurants, &amp; more. Livonia Schools! \$124,900 (54COL)</p>	 <p><b>Westland</b> - Neat and clean 3-bed, 1.5 bath ranch with Livonia Schools! Bsmt, C/A, upgrades include electricity, copper plumbing, windows, roof and furnace. 1000+ sqft, excellent family neighborhood. Priced to sell! \$149,900 (25JOY)</p>	 <p><b>Westland</b> - Beautiful newer built 3-bed, 2.5 bath colonial on a corner lot w/Livonia schools. Bsmt, 3 car att-garage, huge kitchen that opens to a 2 story great room w/fireplace and 2 skylights, separate dining room (could be a den/library), spacious master bedroom w/separate bath, garden tub, shower and WIC. \$319,900 (44TOM)</p>	 <p><b>Westland</b> - Nice 3 BR ranch in desirable Curtis Woods. Newer vinyl siding, windows, and doorwall opens to a wood deck overlooking a beautiful backyard. Nice sized great room with newer carpet, new kitchen with maple cabinets, and an updated bath. Vaulted ceilings, wood burning stove, and a 2 car garage. \$129,900 (35HAZ)</p>	 <p><b>Westland</b> - Solid 3 BR, 1.1 BA brick ranch. Large family room with doorwall to deck. Newer windows, HWH, copper plumbing, and steel entry doors. 2 car mechanic's dream garage w/220. Finished basement with TV room, rec. area, &amp; a separate bar room. Some appliances included. \$159,900 (25BAL)</p>

# Two Locations for your Convenience

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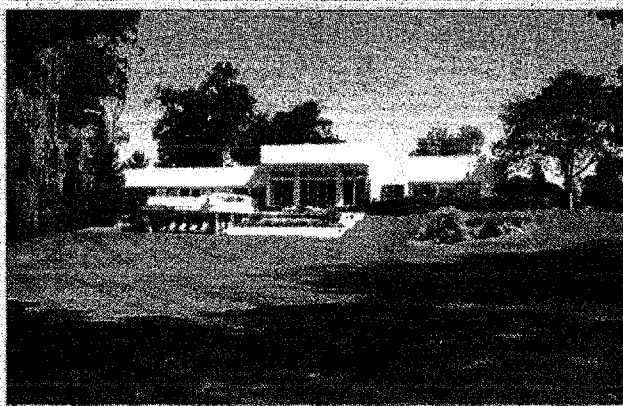


# WEIR MANUEL REALTORS

## ❖ Signature Collection ❖



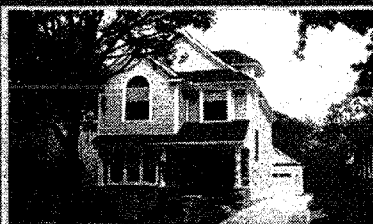
**BIRMINGHAM** - This is an absolutely stunning French Provincial home in treasured "Little San Francisco" area of Birmingham. Originally built in 1983 and exquisitely renovated throughout. Gracious old-world charm and today's amenities. \$1,099,000  
248-644-6300 (EB50BR-26063158)



**BLOOMFIELD** - Opportunity knocks! Complete lifestyle home. Lakefront, five acres, golf course on other side. Tobaccman contemporary custom with walk-out lower level finished with workout room. Granite kitchen, family room, fireplace, full bath, incredible master suite on first floor. \$3,900,000  
248-644-6300 (EB85CL-26124276)



**BIRMINGHAM** - Classic brick Colonial on one of the best streets in downtown Birmingham. This home has it all at an unbelievable price. Second floor laundry, two-car attached garage, finished lower level with full bath and fireplace! Private patio off great room. \$1,099,000  
248-644-6300 (EB88BA-26020437)



**BIRMINGHAM** - Spectacular newer construction in town. Designed with utmost attention to detail, quality and amenities. Sophisticated open floor plan, hardwood floors throughout, granite counters in kitchen, baths, third floor guest suite. Truly a must see!!! \$989,000  
248-644-6300 EB11DA-26007820



**INDEPENDENCE** - Exciting renovation in progress will provide for incredible home with 200 feet on Deer Lake. Interior design planned to maximize lake views. Renovation will include almost entire first floor, completely redone master suite, added lower level bedroom. \$1,250,000  
248-644-6300 EB35DE-24130512



**BLOOMFIELD** - Home's 2004 addition and kitchen renovation are very impressive. Custom Amish cabinetry accented with superb detail and premium appliances, walk-in pantry and adjoining mud room a bonus. Classic built-ins enhance formal dining room. \$859,900  
248-644-6300 EB50CR-25177522



**BIRMINGHAM** - Exceptional inside and out. Huge family room with soaring 14 foot cathedral ceiling, beautiful fieldstone fireplace with wood mantle and bay window. Vaulted breakfast nook with skylights, library with built-ins and 16'x14' veranda off living room. \$850,000  
248-644-6300 EB95LY-26123668



**BLOOMFIELD** - Wonderful traditional ranch home with Gilbert Lake privileges. Lovely professionally landscaped acre lot. Spacious living room with bay window, three fireplaces, cozy library, family room, and luxury master bath. This is a real beauty! \$549,900  
248-644-6300 EB70SN-25051772



**ROCHESTER HILLS** - Elegant executive style retreat on premium wood lot with breathtaking views. Gourmet kitchen and first floor master suite. Custom brick paver patio. Relax in the all season sun room and enjoy the water fountain in the pond. \$515,000  
248-651-3500 EB52SE-26122313

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**ROYAL OAK** - So exceptional down to the last detail! Authentic features from a bygone era yet modernized with class and style. New kitchen with granite, maple cabinets with under lighting and a charming breakfast nook. Curved wrought-iron staircase. \$489,000  
248-644-6300 EB06BA-26003007



**FARMINGTON HILLS** - A newer (2004) main master end unit condo with golf frontage on Farmington Hills Golf Course. Granite counters and stainless steel appliances in kitchen. Master suite has two walk-in-closets, Corian counters with dual sinks in master bath. \$429,900  
248-851-5500 EB81VA-26025581



**ROCHESTER** - Take the time to enjoy downtown Rochester voted one of the top cities in the nation. Large open kitchen and huge master suite with many large windows. Family room with French doors lead to paver patio. Great screened in porch. \$325,000  
248-651-3500 EB19PO-26110654



**BIRMINGHAM** - Recently painted and partially furnished interior transform this great house! Located close to downtown Birmingham schools, park, stores and YMCA. Exterior paint fall 2005, new roof 2004. Kitchen with updated appliances. \$439,900  
248-644-6300 EB51RU-26124336



**WHITE LAKE** - Warm and inviting home ready for you! Perfect floor plan, amenities abound. Modern magazine perfect decor. Tall updated cherry cabinets with granite island. Hardwood floors, master has tray ceiling, garden tub, glassed shower. \$349,900  
248-644-6300 EB04PE-26103810



**BIRMINGHAM** - A walk to town from the perfect condo alternative. Totally redone home with all the finest amenities. Top of the line appliances and granite in the kitchen. Very open floor plan is perfect for entertaining or just relaxing. Many updates! \$375,000  
248-644-6300 EB57BA-26112849



**BLOOMFIELD** - Experience summers in Michigan in your very own private paradise. Gorgeous backyard awaits you with in-ground pool and cabana with kitchen and bath. Completely remodeled in 1996, the master suite is scrumptious. Huge walk-in closet. \$399,900  
248-644-6300 EB56CA-26118528



**BINGHAM FARMS** - First floor boasts hardwood floors & crown molding. Kitchen has quality oak cabinets & all appliances stay for a truly turn-key experience. Dining room with access to deck with built-in BBQ. Unique master with balcony & fireplace. \$369,900  
248-644-6300 EB25GR-26123391



**ROCHESTER HILLS** - This is an absolutely great location with large private lot setting on almost a half acre. Covered ceilings, some hardwood flooring, newer furnace. Close to Bloomer park, Borden park and wonderful downtown Rochester. \$175,000  
248-651-3500 EB85DR-26123023



**ROYAL OAK** - Would you like a huge master bedroom? This 24x16 master bedroom has two walk in closets and plenty of room for a sofa/loveseat. Gas fireplace in living room and updated kitchen. Lower level bedroom has private bath, walk in closet. Turn key!! \$256,900  
248-644-6300 EB29MA-26052322



**BLOOMFIELD** - This is a wonderful "Greenglen" model on spectacular wooded ravine lot. Awesome newer kitchen with hardwood floors, maple cabinets, granite counters, stainless steel appliances. Opens to family room with doorwall to patio. \$259,900  
248-644-6300 EB25KN-26040292



**WEST BLOOMFIELD** - Great price on this pristine, sharp, roomy Colonial with open floor plan on a quiet street end abutting Bloom Park with lake privileges. Huge bedrooms, lovely baths, skylight, fireplaces, hardwood floors, fabulous kitchen. \$209,900  
248-644-6300 EB65RE-26046942



**TROY** - Great location for this beautifully decorated three bed condo at desirable Northfield Hills. Newer windows & garage door are just some of the updates. Ceramic floor in kitchen & baths. Baths have ceramic walls in shower. Finished lower level. \$189,999  
248-644-6300 EB12BR-26073858



**ROYAL OAK** - Impeccably maintained, original owner, brick ranch on quiet street! Many updates include: newer roof, windows, hot water heater & plumbing. Newer counter tops & flooring in adorable eat-in kitchen. Hardwood floors thru-out. \$152,000  
248-644-6300 EB26SY-26123135



**FARMINGTON HILLS** - Newer two bed, two and a half bath condo. Beautifully updated throughout in neutrals. Gas fireplace in great room, two-car attached garage, private basement. Professionally landscaped private patio. \$175,000  
248-851-5500 EB24RE-26081288



**BERKLEY** - Wonderful location and price make this home a great buy with numerous updates including: windows, carpet, central air, furnace and siding. Heated and insulated garage with a workshop. Easy access to freeways and shops. \$119,900  
248-851-5500 EB30GR-25161096

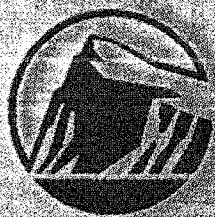
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## Featured Home of the Week



**BROOMFIELD** **\$1,975,000**  
Exceptional acre property with 714 ft of lake frontage on a private peninsula between Lower Long & Dollar Lakes. Grandfathered dock. Panoramic views from spacious living areas & upper decks high above lakes. Master suite with 2 baths & adjacent library. Granite kitchen, hardwood floors, 3 fireplaces. Betty Pince 248-647-6400



**SPRAWLING RANCH** **\$749,900**  
5 bedrooms, 4.5 baths, newer master suite, family room, hardwood floors, 1st floor laundry & neutral decor. Walk-out lower level & fabulous views of lawn gently sloping to a lovely pond. Cindy Grey 248-310-7720



**BLOOMFIELD HILLS** **\$489,900**  
4 bedrooms, 3 full/3 half baths, custom-built brick home on wonderful large corner property. 2-zone heating/cooling, 2 water heaters, extra large family rm w/fireplace & grill, opens to kitchen. Large master ste & extra lrg bedrooms. Full bsmt. Home warranty. Carl Cohen 248-760-4062



**TROY** **\$369,900**  
Meticulously maintained & updated. Fabulous kitchen w/cherry cabinets, granite counters, stainless appliances & large island. Neutral decor. Drive & front walk w/brick pavers. Built-in vacuum sys. Nestled in a treed cul-de-sac, large backyard w/heated pool. Carl Cohen 248-760-4062



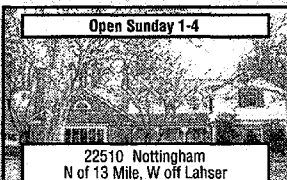
**ROYAL OAK** **\$339,900**  
Beautifully restored mid century modern brick ranch in Vinsetta Park. Artist designed rear concrete patio. Freshly painted, newer cherry wood kitchen w/SS appl's incl washer & dryer. Newer windows, furnace, C/A. 2 full renovated Vitrilite glass baths. Carl Cohen 248-760-4062



**SYLVAN LAKE** **\$254,900**  
Story book cape in the heart of Sylvan Lake. Lake access on all-sports Sylvan, close to beach. 3 BRs, 2 BAs, 1625 sq ft, part fin bsmt. Hdwd flrs thru-out. Updated kitchen & baths. JennAir & Bosch Appl's. Great room w/doorwall to cedar deck & private yard. Call D.Dutton at 248-390-3663



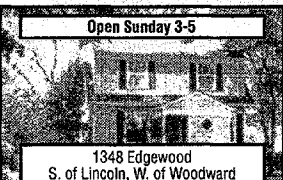
**BERKLEY** **\$189,500**  
An absolute must see! 'Pottery Barn' style home w/beautifully updated kitchen, ceramic tile flr, top-line appliances, updated bath, hdwd flrs & prof finished, waterproofed bsmt. Coved ceilings, newer windows & privacy fence. 1 yr home warranty. Bill Bouscher 248-641-1660



**BEVERLY HILLS COLONIAL** **\$799,900**  
4 bdrms, 3 full, 2 half baths. Charming kitchen w/breakfast rm, Family rm w/FP, hardwood flrs, dual staircases, balcony overlooking Family rm. Lower level w/rec rm. Jeanne Tabashnik & Liz Butler 248-626-8700



**SPECTACULAR COUNTRY ESTATE** **\$748,000**  
Perfectly designed Cape Cod on 12.93 private acres. Hickory & granite kitchen. 1st flr master w/luxury bath, panoramic views. Horses Allowed. BUILDERS! Splits available. Yahoo.com ID # PRU4C9E3 Carole Eizelman 586-612-3130



**BIRMINGHAM** **\$457,500**  
Reduced \$15,000. Premium location. Vintage charmer located across from St. James Park. Hardwood flrs. Granite foyer, hand finished kitchen cabinets. 4 BR, 2 full baths. A real Gem! Yahoo.com ID# PRU7K6D8 Carole Eizelman 586-612-3130



**BIRMINGHAM** **\$533,900**  
Gourmet granite kitchen w/42" cabinets. Bayed breakfast nook. Flr to ceiling windows, crown molding, hdwd flrs, French drs to deck. Master ste w/WIC, cathedral ceiling. Bsmt w/wine cellar, granite bar. Michelle Hutchinson 586-873-6110



**HIGHLAND TOWNSHIP** **\$409,000**  
100 ft of sandy beach frontage on all sports Duck Lake. New addition w/unobstructed views with flr to ceiling windows, vaulted ceiling, hot tub rm & more! Gorgeous deck: 3 or 4 bdrms, 2 baths. Call D. Dutton @ 248-390-3663



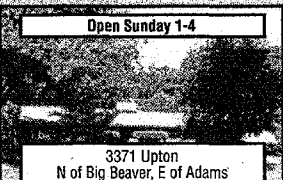
**HAZEL PARK** **\$163,000**  
New construction. 9' ceilings 1st flr, hdwd flrs, C/A, bsmt & more. Kitchen w/36" cabinets, snack bar. Dining area w/bay window & doorwall. Master w/vaulted ceiling, bath & WIC. Michelle Hutchinson 586-873-6110



**WEST BLOOMFIELD** **\$445,000**  
Updated colonial, Bloomfield Hills schools. Brand new granite kitchen, stainless steel appliances, crown moldings, recessed lights, new carpet, hdwd flrs. California closets, finished bsmt w/wet bar. Nirmal Kumar 248-705-0800



**TROY** **\$439,000**  
Updated! Huge great rm addition w/ cathedral ceiling! Newer kitchen & breakfast rm w/FP, master ste w/spacious WIC & large bath. Updated baths, furnace, A/C, windows & more. Cul-de-sac lot! Marti Forrer 248-647-8049



**TROY** **\$274,900**  
Tremendous opportunity! 4 bdrms, 3 full bath ranch on a quiet, treed property with Birmingham schools! 2-way FP in living rm w/built-in bookcases & views of tiered deck. Newer roof & A/C. Marti Forrer 248-647-8049



**ROCHESTER HILLS** **\$399,900**  
Beautiful 4 bdrms home. Crown molding, 6 panel drs. Island kitchen w/skylights, opens to deck. Great rm w/wet bar, FP w/marble hearth. 1st flr master ste w/WIC, opens to patio. Finished bsmt. Dave Rowland 248-651-8850



**BERKLEY** **\$359,900**  
'Pottery Barn' flr. Living rm w/FP. Family rm w/cathedral ceiling. Kitchen w/cherry cabs. Bath w/jetted tub & marble counters. Newer windows, A/C & more. Hdwd flrs. Bsmt, 2.5 car garage. Mary Walker 591-2002



**CLARKSTON** **\$339,900**  
Spectacular views on 1.5 acres w/over 3.5 acres of deeded conservation woodlands. All 4 levels walk-out to decks/patios. Master ste w/2 WIC. Cathedral ceiling. Hardwood floors. Updated!! 4 car garage. Carl Cohen 248-760-4062



**WEST BLOOMFIELD** **\$209,900**  
Meticulously maintained townhouse style open floor plan end unit w/ deck & great views. Hardwood flrs. Finished basement. New roof & driveway. Home warranty. Neutral decor. Carl Cohen 248-760-4062



**WEST BLOOMFIELD** **\$274,900**  
On a beautiful hilltop setting, 4 large bdrms, master w/walk-in closet. Hdwd flrs under carpet. Screened porch off family rm. 2.5 baths & white kitchen w/breakfast nook. 1st flr laundry. Nicole Menuck 248-568-7070



**TROY** **\$234,900**  
DRASTICALLY REDUCED FOR QUICK SALE! Midtown Square townhome. 2-story great rm. Upgraded kitchen w/stainless steel GE profile appl's & Corian counters. Walk to downtown Birmingham. John James 248-267-1145



**HUNTINGTON WOODS** **\$219,000**  
A true diamond in the rough, ready for a smart renovator. Great curb appeal, copper plumbing & updated electric. Beautiful dining rm, lovely FP in living rm. Newer roof & carpet. Being sold 'as is'. Bill Bouscher 248-641-1660



**WEST BLOOMFIELD RANCH** **\$190,000**  
2 bedrooms, 2.5 baths. Updates include carpet, Pergo floor & paint in '06. Lovely neutral tones. Spacious kitchen w/tons of cupboards. 2 car attached garage. Lauren Bruss 248-626-8700 x.221 mailto:lbruss@prucran.com



**ROCHESTER** **\$184,900**  
FIRST FLOOR END UNIT CONDO! 2 bedroom, 2 bath, 9' ceilings, kitchen w/ GRANITE & UPGRADED appl's! Master suite has WIC & opens to PRIVATE patio. Garage w/bonus STORAGE-LIKE NEW! Lauren Sitko Chulig 248-656-4411



# Air and water quality are factors in disclosure act

**Q. I understand there is new legislation concerning the Seller's Disclosure Act. Do you have any information about it?**

**A.** Recently, the legislature passed an act which requires seller disclosure statements in residential real estate to include a statement that the property inspection should take into account indoor air and water quality as well as evidence of unusually high levels of potential allergens. The act took immediate effect. Obviously, it is important to have any residential



**Robert Meisner**

limit his or her liability to conduct the inspection.

**Q. I have read that windmill power is**

property inspected before the purchase agreement becomes binding in order to try to avoid future problems. It is also important to get a competent building inspector who has not tried to unreasonably

sprouting on hillsides across the Midwest but am wondering whether Michigan has done anything to encourage wind power service.

**A.** The Michigan Public Service Commission changed its policy last year to allow consumers to sell excess electricity from windmills back to utilities. Obviously, there is a desire to encourage this type of electric generation and there are a number of companies that are now promoting wind generation,

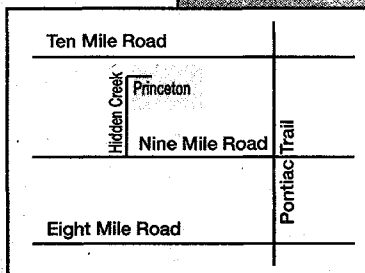
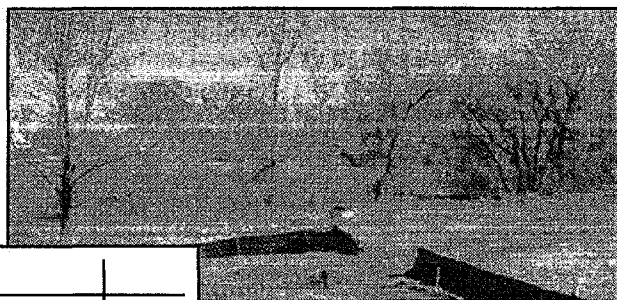
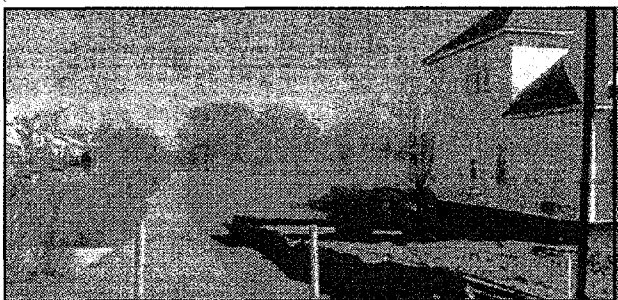
although Michigan is not in the forefront of that activity.

**Robert M. Meisner** is a lawyer and the author of *Condominium Operation: Getting Started & Staying on the Right Track*, second edition. It is available for \$9.95 plus \$1 shipping and handling. He will be doing a book signing for his other book *Condo Living: A Survival Guide to Buying, Owning and Selling a Condominium*, at 7 p.m. on July 27 at Borders of Birmingham. For more information, call (248) 644-4433 or visit [bmeisner@meisner-associates.com](mailto:bmeisner@meisner-associates.com). This column shouldn't be construed as legal advice.

## Clarks Crossing

**City of South Lyon  
Lots For Sale or Build To Suit**

- Sewer/Water • City Services
- 2 Parks/Nature Areas
- Wooded and Walkout Sites



*Pontiac Trail to  
9 Mile (W)  
to Hidden Creek to  
Princeton*



**Dan Mulvihill**  
**810-227-8551**

OE0946814

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**Located in Howell**

**Townhomes from the \$180s • Single-Family homes from the low \$200s**

- Located on Latson Road, just south of M-59 (Highland Road)
- Close proximity to all the great shopping, restaurants and entertainment of Howell and Brighton
- Low-maintenance homes with 2-car garages
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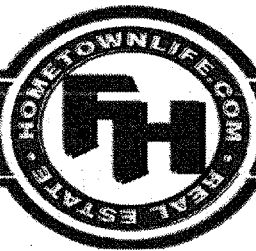
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# FEATURE HOMES



## BRIGHTON



**PINE CREEK NEW CONSTRUCTION!** Striking elevation has Old World Charm image w/repetitive peaks, elegant window detail & covered stoop. Main floor has 9 ft. ceilings. Formal dining, 1st flr mstr, 3 additional BRs, 3.5 BAs. Fully equipped kit. w/large pantry, walkout bsmt. 3,619 sq. ft. of elegance! **MLS#25066310 \$749,900**  
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## BRIGHTON



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## BRIGHTON



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Call Beth Drury (810) 599-0989  
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## DEARBORN



Pride of ownership shows in this 4 BR, 2.5 BA Colonial sitting on a corner lot. Large master suite, eat-in kitchen, family rm, dining rm & more! Just move in! Perfect entertainer's home, walk to Levee Park & Divine Child. All appl. included. Telegraph W. to Cherry Hill, W. to Robindale N. **MLS#26072895 \$368,000**  
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## FARMINGTON HILLS



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English Tudor professionally landscaped on premium lot in desirable Hunt Club Sub. Spacious master suite w/FP & bath w/Jacuzzi. Living & family room w/FP. Brick paver patio w/awning. Finished bsmt w/3rd full bath & possible 4th BR. Updates: new roof.  
Call Nancy Ostlin (248) 789-4904  
PRUDENTIAL GREAT LAKES REALTY (248) 685-0077 ext. 124

## FOWLERVILLE



Great country setting. Fowlerville Schools. 5.07 ACRES. Awesome oak kit, oak floors, tall oak trim & six panel solid oak interior doors. Cathedral ceilings. Scapstone wood burning stove in GR. Part. finished w/out bsmt. 4 BR., 3.1 BSA, 1731 sq. ft. ranch. **MLS# 26051895 \$239,900**  
Call Autumn Sangster (810) 494-2067  
PREVIEW PROPERTIES www.previewproperties.com

## HARTLAND



**OPEN SUNDAY JULY 30, 12-3PM**  
Beauty, warmth, & value in this 4 bedroom colonial. Over a 1 acre wooded lot in beautiful Pines of Hartland. Spacious rooms, double french doors from living room to family room. Huge kitchen with oak cabinets, & door-wall to deck. Your search has ended, call today. **MLS# 26108024 \$299,000**  
Call Amy Oldford 810-599-8629  
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## HOWELL



Beautiful home sitting on an acre lot. This home offers 4 BD, 2.5 BA, 3 car attached garage and a walkout basement, spacious kitchen opening up to great room w/fireplace. Hardwood floors, bonus room above garage waiting to be finished. Don't wait on this one. **MLS#2611940 \$289,900**  
Call Abe Ayoub (248) 949-6432  
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## SOUTH LYON



Beautiful brick ranch w/a fantastically finished bsmt w/daylight windows. This 3 BR home offers a 2-way FP between the GR & DR, 1st flr laundry & Jacuzzi tub in spacious master suite. Also 4th BR & full bath in bsmt. South Lyon mailing address, Lyon Twp. taxes. **MLS#26099692 \$349,900**  
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## SOUTH LYON



1st floor condo in sought after Southridge with South Lyon Schools. This home offers a new dishwasher, washer/dryer, water softener, light fixtures & fresh paint. This home also boasts nice views of tree line. **MLS#26099800 \$114,900**  
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## SOUTH LYON

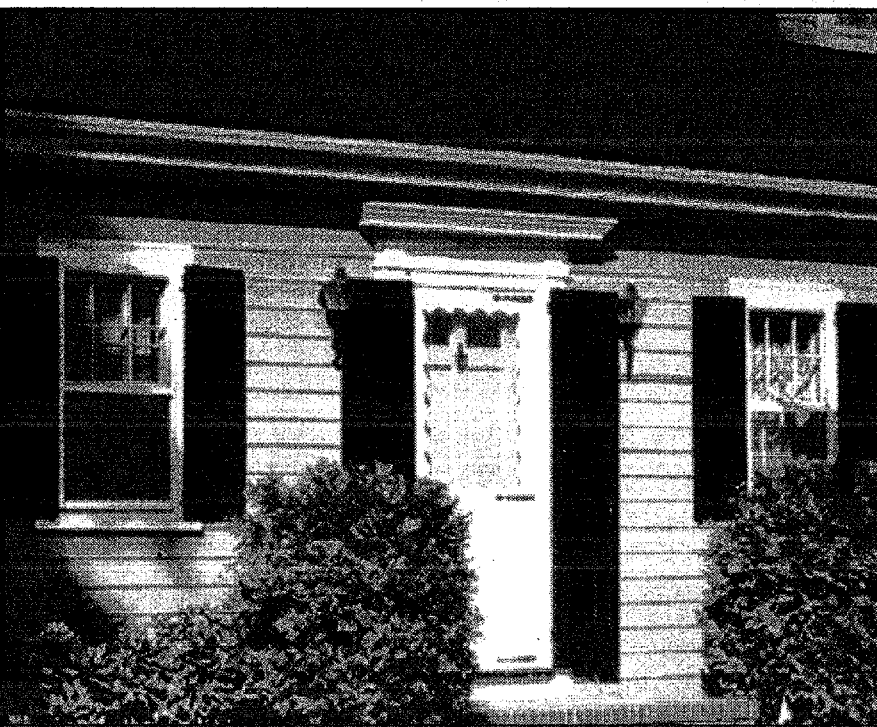


Beautiful 4 BR home sitting on a half acre lot backing to woods. This home offers a jetted tub in spacious master suite, gas fireplace, 1st floor office, 1st floor laundry rm & daylight basement. Bring your fustiest buyer. **MLS#26123470 \$359,900**  
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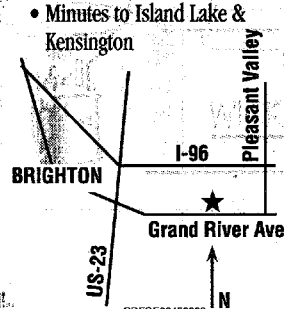
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### Shore Mortgage

Shore Mortgage will offer a free Homebuyers/FICO score seminar 7-9 p.m. every third Monday through August. Seminars will take place at Shore Mortgage, 1741 N. Canton Center Road, Canton. For reservations or more information, call (248) 433-3300.

### Career Seminars

Keller Williams Realty will be hosting a Career Seminar at 2 p.m. Wednesday, Aug. 16 at the Livonia Office located at 36642 Five Mile Rd. in Livonia. There will also be a seminar offered at its Plymouth office located at 40600 Ann Arbor Rd. Suite 100 in Plymouth at 6:30 p.m. Thursday, Aug. 10. These seminars are a great way to explore a career in Real Estate. Find out all you need to know about costs, compensation, training, and pre license requirements. RSVP: 734.266.9000

### Network

Metro-Detroit Real Estate Network meets Saturday, July 29, and on the last Saturday of each month. Presentation begins 10 a.m. at the Greenfield Commerce Building, 21500 Greenfield Road, Suite 101, Oak Park. Co-sponsored by Amazing! Real Estate Solutions Realtors. Call (248) 259-8091 or visit [www.Amazing.RealEstate.net](http://www.Amazing.RealEstate.net) for reservations. There is no charge.

### Building Industry Association

The Building Industry Association of Southeastern Michigan will present:

■ A development site tour of Partridge Creek in Clinton Township 10 a.m. to 2 p.m. Wednesday, Aug. 2. The tour begins at Burton Katzman, 30100 Telegraph, between 12 Mile and 13 Mile in Bingham Farms. Parking is available on the south side, adjacent to the boundary of Bingham Office Park and Fitness USA. The community will feature 360 single family homes, 40 models and already constructed homes, 600 condo units, senior housing and a 600,000-square-foot lifestyle center. The community is developed by Taubman Group and Trinity Land Development. Registration fees, including lunch, are \$40 for BIA members and \$60 for nonmember building industry profes-

sionals. For information, call (248) 862-1033.

■ A Certified Graduate Builder Series seminar on "Introduction to Business Management" 8 a.m. to 3 p.m. Thursday, Aug. 3, at BIA headquarters, 30375 Northwestern Highway, Suite 100 in Farmington Hills. It will be taught by Chuck Breidenstein of Builders Professional Services. The seminar introduces builders and remodelers who are interested in improving their bottom line to systematic planning processes used by industry experts. It focuses on basic management tools such as developing a business plan and implementing control procedures to monitor efficiency and profitability. Fees are \$140 for Remodelers Council members and \$160 for BIA members and guests. To register, call (248) 862-1033.

■ Apartment Association of Michigan will sponsor a technology seminar, "Electronic Rent Collection," 8:30-10:30 a.m. Thursday, Aug. 3, at AAM headquarters, 30375 Northwestern Highway, Suite 100 in Farmington Hills. Kirk McNeil and Greg Fish of Biznet Internet Solutions will demonstrate the benefits of an e-payment program. Fees, including continental breakfast, are \$10 for AAM or BIA members, \$20 for non-members and guests. To register, call (248) 862-1004.

■ BIA's Sales & Marketing Council is sponsoring a real estate continuing education seminar presented by Lori Chumura of Middleton Training. It will be 8:30 a.m. to 3 p.m. Wednesday, Aug. 9, at BIA headquarters, 30375 Northwestern Highway, Suite 100 in Farmington Hills. The course meets the state-mandated six-hour requirement for continuing education. Fees are \$60 for SMC members, \$75 for BIA members and \$90 for guests. For registration information, call (248) 862-1033.

■ A Certified Graduate Remodeler course on "Negotiating" 8 a.m. to 3 p.m. Thursday, Aug. 10, at BIA headquarters, 30375 Northwestern Highway, Suite 100, Farmington Hills. Chuck Breidenstein of Builders Professional Services Group will offer a practical approach to interpersonal problem-solving and suggestions for negotiating. Fees are \$140 for Remodelers Council members, \$160 BIA or Apartment Association of Michigan members, nonmembers and guests. To register, call (248) 862-1033.

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# Silent fans do all the work for you

(NAPSI) — Mold is an inevitable challenge of indoor living. That can be a problem, because exposure can cause allergic reactions, asthma, nasal stuffiness, eye irritation, wheezing or skin irritation. If you have a mold problem in your home, the only way to control its growth is to control moisture. Here are some things you can do to control mold growth in your home:

- Fix the source of the water problem or leak to prevent mold growth.

- Clean and dry any damp or wet building materials and furnishings within 24 hours to prevent mold growth.

- Clean mold off hard surfaces with water and detergent and dry completely.

- Reduce the potential for condensation on cold surfaces (such as windows, piping, exterior walls, roof or floors) by adding insulation.

- Absorbent materials, such as ceiling tiles, that are moldy, may need to be replaced.

- Don't carpet areas where there is a perpetual moisture problem, such as around sinks.

- Reduce indoor humidity to less than 60 percent to decrease mold growth. Vent bathrooms, dryers and other moisture-generating sources to the outside with a ventilation fan.

A humidity-sensing fan is the perfect solution for proper ventilation. Broan's new Ultra Silent Humidity Sensing fans are automatic — once there is a rapid rise in humidity, the fan automatically turns on to exhaust excess moisture and turns off once the job is done. They're also quiet, making less noise than even a quiet refrigerator.

Energy Star-qualified, the fans use 65 percent less energy, on average, than standard models. The humidity-sensing fan uses Sensaire technology to detect a rapid increase in humidity at the ceiling, where it's most prevalent, unlike humidistats, which only detect simple humidity. This feature makes the humidity-sensing fan more effective at protecting a bathroom from mold and mildew.

Now it's easy to control mold and moisture in the home. For more information, visit [www.broan.com](http://www.broan.com).

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**FERNDAL** Make an offer - 3 bedroom, 1200 sq ft., Hazel Park Schools, garage. \$154,900 View it on the web: [www.gmackee.com/mls#26110951](http://www.gmackee.com/mls#26110951) Or call: GMAC Real Estate / The Kee Group 586-573-8600



**OAKLAND TOWNSHIP** Look no more - 4 bedroom, 3720 sq ft., Rochester Schools, garage. \$498,500 View it on the web: [www.gmackee.com/mls#26113603](http://www.gmackee.com/mls#26113603) Or call: GMAC Real Estate / The Kee Group 586-573-8600

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## ROCHESTER HILLS



4/3.5 Striking Hawthorn Hills Colonial with Exceptional Floor Plan, Huge Granite Kitchen, Finished Basement, Gorgeous Deck and Yard. MLS#26081425 \$485,000 VIEW WEBSITE FOR MORE INFO & PHOTOS: www.LisaCombsHomes.com  
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**REDFORD** - Lovely 3 bdrm ranch in great neighborhood. New hardwood floors & carpet throughout. New ktchn counters & floor. Newer windows & furnace. Freshly painted. Fin d basement w/ half bath. Immed occupancy. \$163,900 (L00Nor)

**NORTHVILLE** - Lovely spacious colonial, court location in Prestigious Lakes of Northville w/ 5 bdrms; 3 1/2 baths. Updates inc: ktchn, baths, roof, windows, carpet, paint & more. Fin d walkout, 2 Tier wood decks & gazebo on large wooded lot. \$409,900 (L64Wat)



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**DEARBORN** - Wow & Wow! This house has it all! Offers 4 bdrms, 1st flr master, newer ktchn w/ hickory cabs, ceramic counters & limestone floor, new baths, library w/ lrg wndws, cedar lined closets, fin d bsmt w/ lav + tons more! \$229,900 (L25Cam)

**SOUTHFIELD** - Immediate occupancy for this 3 bdrm, 2 full bath ranch offering open floor plan, 2 car garage, master with full bath, deck off bdrm, freshly painted and new carpet. Home priced under market value! \$123,900 (L50Mil)

**NORTHVILLE** - Stunning Country Club Village condo offers 2 bdrms, 3.5 baths, great rm w/ frplc, ktchn w/ white bay cabs, hrdwd flrs, wainscoting, curved staircase, prof fin d bsmt w/ full bath & all appliances stay. Great club house w/ pool & tennis cts. \$263,000 (L46Edg)

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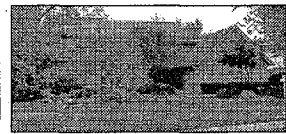
**Sharp and Updated Northville Colonial on 1.78 Acre Lot!** Northville. Tree-lined lot w/ flowing creek on the side, 10 ft. ceilings & crown molding in LR & DR; remodeled kitchen w/ granite counters & tumbled stone backsplash; natural fireplace with gas logs in FR; built-in desk and shelves in study; cathedral ceiling, separate Jacuzzi & shower in master suite; ceramic tile in foyer, kitchen & half bath; finished basement w/ GR, rec. rm, bedroom, bath & 2nd kitchen; deck w/ stone patio; 3-car garage. Walk to Northville High School. \$595,000



**Beautifully Upgraded and Furnished Detached Condo!** Bay Harbor. This home is fully furnished with (over \$150,000) value included! & features a golf club membership a (\$60,000) value! hrdwd flr throughout main floor; kitchen w/ double Viking oven, Subzero refig. & California hand made tiles; custom master suite "Botichino Stone" floors in master & guest baths; DR, hand-painted ceiling; multi-amp stereo throughout home (including the tiled and heated garage); inviting gardens & landscaping. \$675,000



**Awe-inspiring and totally remodeled!** Novi. Enjoy this 3 bedroom 2 Bath home with nice formal living and dining rooms, beautiful hardwood floors, and vaulted ceiling, large family room with gas fireplace and hardwood floors, remodeled gourmet kitchen with 42" cherry cabinets, ceramic tile and nook, finished lower level with 2nd oak kitchen and office, 1st floor laundry, remodeled baths, new carpet, new roof (tearoff) and furnace (5/06), windows, light fixtures, 6 panel doors throughout, fenced yard, patio, sprinklers, 2 car garage and much more! \$255,000



**Pristine Colonial Backing to Protected Woodlands!** West Bloomfield. 2 story foyer, natural fireplace & 10 ft. ceiling in FR, 9 ft. ceiling in study, kitchen w/ nook, 42" cabinets & granite island, GR w/ tier drop ceiling & gas fireplace, master suite w/ walk-in closet, shower & garden tub, vaulted ceiling, ceramic tile floors in foyer, hallway and half bath, 2 furnaces & central air units, walkout LL w/ bath rough-ins. \$525,000



**Pheasant Hills Colonial On Private Cul-de-sac Backing To Woods!** Northville Original owners! 9 ft. ceilings on 1st floor, 2-story GR w/ bridge above, gas fireplace, gourmet kitchen w/ White Bay cabinets, island, double oven & walk-in pantry, formal DR w/ 9 ft ceiling & bay window, butler's pantry, large master suite w/ glamour bath & tray ceiling, hardwood floors hallways, half bath & kitchen, new dimensional roof - tear off, new 2nd floor central air, 3.5 car garage, partially finished extra deep LL, Jack & Jill bath. \$600,000



**Northville's Stonewater at it's Finest!** Northville. Two-story family room w/ bridge above & granite two-way FP into study; wainscoting in LR & DR; gourmet kitchen w/ 42" maple cabinets, granite counters & 6-burner Viking cooktop; gas fireplace in master suite w/ walk-in closet, granite counters, separate jacuzzi & shower; hrdwd floors in foyer, half bath, kitchen & study; circular staircase w/ iron spindles & rear staircase; sound system, 9 ft. ceilings & 7 ft. doors on 1st floor; limestone floor in first floor laundry; Jack & Jill bath; paver patio & walkways. \$865,000

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# Feed the birds: Hobby calls for some expertise, planning

There's information from Lowe's available online at [lowes.com](http://lowes.com) on how to attract birds to your yard. First, take a look at your lawn and garden from a bird's eye view. Ask yourself:

■ Are there places for shelter and nesting? Birds need protection from inclement weather and predators. Trees, vines, shrubs and hedges are inviting environments for nesting birds.

■ Is there food and water? A combination of natural food sources and bird

feeders will attract a variety of birds all year long. A year-round supply of clean water is also essential.

## SHELTER AND HABITAT

Shelter is vital to a bird's survival. Essential for nesting and resting, an inviting habitat will attract birds. The best shelter is the living kind - shrubs and trees. A mixture of evergreen and deciduous plants provides year-round warmth and protection. Dead trees and

limbs can also provide a home for nesting birds. If a dead tree doesn't endanger lives or property, leave it in place for the birds. Plant ivy or a blooming vine at the base to "disguise" it.

Shelter is especially important during the nesting season. During the spring nesting season (about six weeks) provide an environment free from man or other animals. To add or supplement natural habitat, birdhouses are a good choice.

Put your birdhouses up in the fall so

they can weather over winter and be ready for birds in the spring. If you wait until spring to put up a birdhouse, you should have it ready by no later than mid-March. Place your birdhouse as close to natural nesting conditions as you can.

Most birds that nest in a house will do so anywhere in your yard or garden, but experts recommend these cautions:

■ Put all houses on metal posts, not in

PLEASE SEE **BIRDS, 21**


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Downriver Community FCU	(313) 386-2200	5.75	0	5.35	0	J/A
Earth Mortgage	(877) 327-8450	6.375	0	6	0	J/A/V/F
Fifth Third Bank	(800) 792-8830	6.625	0.125	6.25	0.125	J/V/F
First Alliance Mortgage Co.	(800) 292-7357	6.625	0	6.25	0	J/A/V/F
First International Mortgage	(248) 540-1065	6.375	0	6.125	0	J/A
GMAC Mortgage Corp.	(800) 888-4622	6.25	2	5.875	2	J/A/V/F
Golden Rule Mortgage	(800) 991-9922	6	1.625	5.625	1.625	J/A/V/F
Group One Mortgage	(734) 953-4000	6.5	0	6.375	0	J/A/V/F
LaSalle Bank Midwest	(800) 466-3800	6.375	2	6	2	J/A/V/F
Mainstreet Mortgage	(800) 900-1313	6.5	0	6.125	0	J/A/V/F
Manufacturers	(586) 777-1000	6.25	1	5.875	1	J/A
Michigan Schools & Gov. C/U	(586) 263-8800	6.625	0	6.25	0	J/A
Mortgages by Golden Rule	(800) 991-9922	6.25	0.375	5.875	0.5	J/A/V/F
National City Bank	(586) 825-0825	6.25	1.875	5.875	1.875	J/A
Northlawn Financial	(248) 988-8488	6.375	0	6	0	J/A/V/F
Pathway Financial LLC	(800) 726-2274	6.375	0	6	0	J/A/F
Peoples Mortgage	(800) 730-5087	6.125	0.75	5.75	1	J/A
Premiere Mortgage Funding	(800) 684-7880	6.5	0	6.125	0	J/A
Shore Mortgage	(800) 678-6663	5.875	3	5.5	3	J/A/V/F
United Mortgage Group	(586) 286-9500	6.375	0	6	0	J/A
York Financial Inc.	(888) 839-9675	6.375	0	6.125	0	J/A

Above information available as of 7/21/06 and subject to change at anytime. Rates are based on a \$200,000

loan with 20% down. Jumbo rates, specific payment calculations & most current rates available Fridays

after 2:00 P.M. at [www.rmcreport.com](http://www.rmcreport.com). Key to "Other" Column - J = Jumbo, A = Arms, V = VA, F = FHA

& NR = Not Reported. All Lenders are Equal Opportunity Lenders. 

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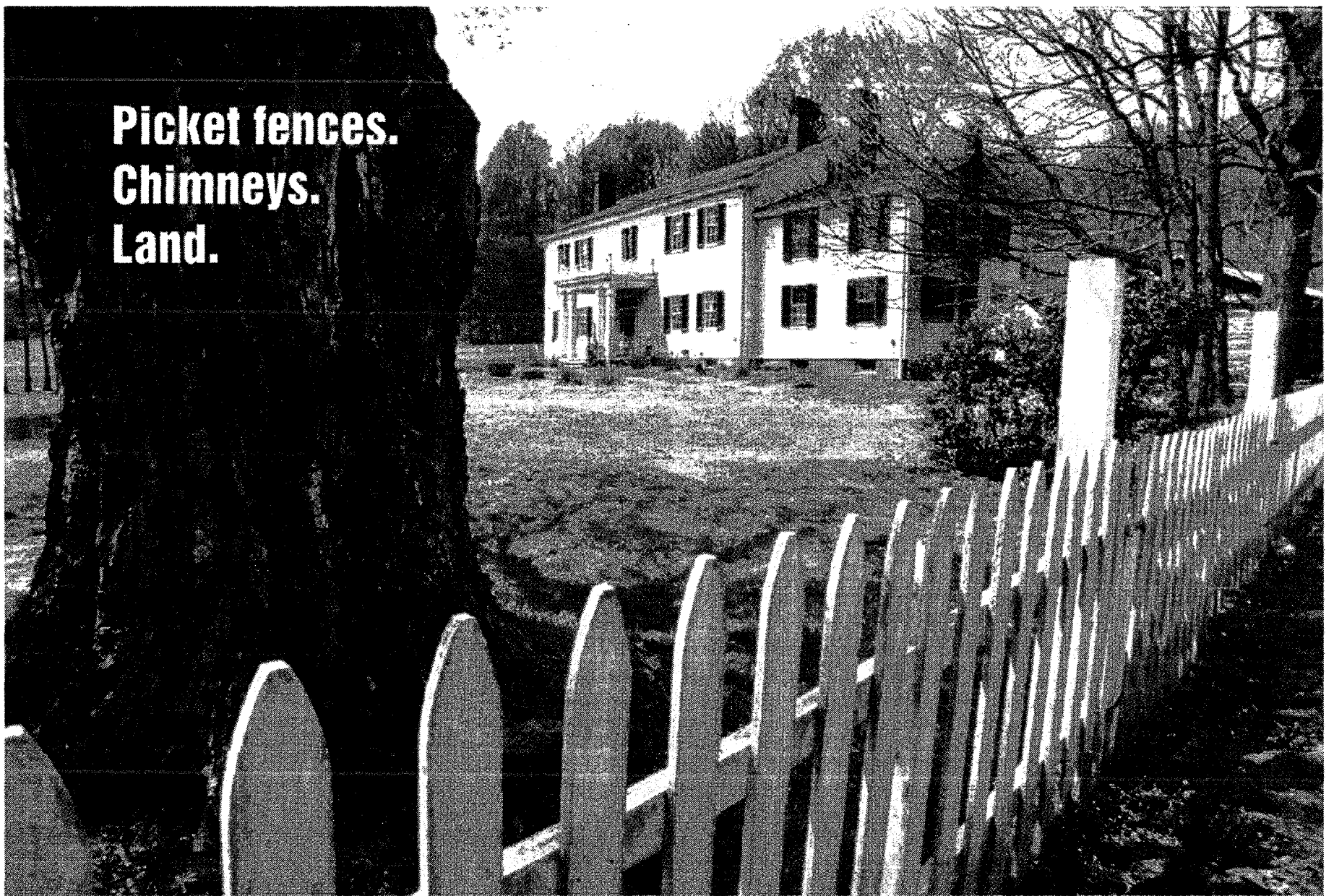


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# BIRDS

FROM PAGE 19

trees or on wood posts. This will keep cats, raccoons and other predators away.

■ Keep the birdhouse away from noisy areas.

## FOOD

By providing natural food sources, you can enjoy both the plants and the birds. Choose plants that will provide food in every season and your garden will attract birds year-round.

Here are some common shrubs and trees that attract birds:

Blackberry; fir; blueberry; pine; raspberries; hemlock; elderberry; juniper; hollies; oak; rose; pine; viburnum; maple; euonymus; spruce; hawthorn; apple; pyracantha; mulberry; dogwood; cypress; mesquite; Russian olive.

Bird feeders are an important supplemental source of food for birds, too. The type of feeder you choose will determine the birds that come to eat there.

Many bird watchers start with a solidly-built tube feeder. The clear plastic tube lets you know when food is running low and also helps the birds to find your food. Most tube feeders have individual perches, and they will attract

smaller songbirds, but not larger birds.

Many people feed birds only during the winter months when the birds need it most, but feeding them year-round offers advantages. Feeding in the warm months can induce some birds to nest nearby, and many birds take on their most colorful plumage during the breeding season. Regardless of whether you feed only during the winter or year-round, be consistent with your feeding regimen. It is only fair to those birds who have come to rely on your feeders as a source of food.

Summer feeding requirements are slightly different from those of winter. Suet, for example, is a common winter feed. It is an attractive food for many birds, especially when offered with seeds, but it can quickly melt or go bad in the summer. Shelled nutmeats like sunflower seeds can also spoil, and should be used sparingly. Any bird feed should be protected from moisture at all times since the presence of moisture can contribute to spoilage.

Here are common foods and the birds they may attract:

Sunflower seed – Chickadee, tufted titmouse, evening grosbeak, white-breasted nuthatch, blue jay, cardinal, purple finch, American goldfinch

Thistle – Dark-eyed junco, American goldfinch, purple finch, house finch,

pine siskin, house sparrow

Cracked corn – Mourning dove, blue jay, house sparrow, tree sparrow, song sparrow, white-throated sparrow, brown-headed cowbird, red-winged blackbird

Millet – Mourning dove, house sparrow, tree sparrow, song sparrow, white-throated sparrow, brown-headed cowbird, red-winged blackbird

Suet – Downy woodpecker, hairy woodpecker, starling, chickadee, white-breasted nuthatch, red-breasted nuthatch

Commercial mixtures of bird food are readily available. They are formulated to attract certain categories of birds. If you wish, you may also mix your own food based on the types of birds you are trying to attract.

## WATER

Many bird lovers faithfully provide food but overlook another key to survival – water. Some moisture is available naturally from dew, rainfall and wild food, but in most areas they need other sources as well. Throughout the year, it's important to supply water for drinking and bathing.

In addition to hydration, birds also need water for bathing. A bath helps a bird keep its feathers in perfect condition for flying. It also helps the feathers

maintain their waterproofing and insulating properties.


Since wet feathers hinder a bird's ability to fly, it is important that a birdbath be placed near protective shrubbery so the bird can make a quick getaway if necessary.

A pedestal birdbath with a wide, shallow bowl is a good choice. Make sure the surface is rough so the birds will not slip as they drink and bathe. Use rock or stones to create various depths in your birdbath so you can attract a wide variety of birds. Most birds are terrified of really deep water, but you will find that song sparrows, goldfinches and chickadees will use the shallow section of our birdbath and the deeper end will be enjoyed by robins and jays.

A rim or perch near the water should be provided to allow the birds to alight before entering the water. If you have a water garden or small pond which is too deep for birds to use, place some stones in the water in such a way that they just break the surface, providing the birds with access to the water and a shallow area in which to bathe.

Innovative homeowners can also create birdbaths from supplies or materials found around the house like barrels, large

PLEASE SEE BIRDS, 22



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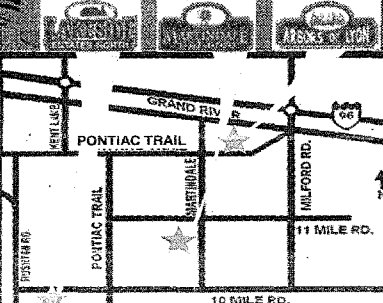
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# Go bright, go vivid: a facelift for your siding

(NAPSI) — Since its introduction in the 1960s, vinyl siding has grown in popularity to become the No. 1 choice of exterior cladding across the United States. In fact, according to the Vinyl Siding Institute, U.S. Census figures show twice as many homeowners choose to side their homes with vinyl than any other material.

If you have vinyl siding on your home, you already know some of its benefits: easy maintenance, durability and versatility. But if you want to give your house a colorful facelift, you may think your options for painting over vinyl siding are limited. Not any longer.

Thanks to new VinylSafe Color Technology from Sherwin-Williams, changing the color of a vinyl-sided home is as easy as painting it. And, luckily, paint is the most cost-effective approach

to changing the appearance of a home.

With color, homeowners are able to enhance the curb appeal of their homes, make a statement and even increase their value. Traditionally, white, same color or lighter-than-the-siding colors were “safe choices” for painting vinyl siding. That’s because these shades reflect the sun’s rays, which keeps the siding from warping or buckling. But today’s homeowners are more interested in color than ever before — including vivid, bright and deep hues. Evidence of that can be found at the house next door and in home-decorating magazines and television programs, where a broader spectrum of exterior colors is used to complement various architectural styles or regional influences.

VinylSafe Color Technology makes it possible for even the vivid, darker exte-

rior colors to be easily applied over light-colored vinyl without the fear of the siding warping or buckling. And with Sherwin-Williams’ SherColor advanced color matching, you can have virtually any custom color you choose.

If you’re a do-it-yourselfer, you can feel confident tackling your vinyl-painting project yourself because the VinylSafe Color Technology is available in Sherwin-Williams’ popular Super Paint Exterior Latex and Duration Exterior Coating products. What’s more, the experts at any neighborhood Sherwin-Williams store can provide personalized assistance.

If you’d rather call in the pros, Sherwin-Williams can connect you with professional painters in your area. Just log on to [swserviceconnection.com](http://swserviceconnection.com) to get the names of painters in your neighborhood who use high-quality Sherwin-Williams paints.

## BIRDS

FROM PAGE 21

stones with depressions or plastic lined depressions in the ground. With creative thinking, these baths can be incorporated inconspicuously into the environment. Remember, however, that the water source you provide must be free of lead and/or chemicals of any kind. The bath itself should be cleaned periodically with a scrub brush and fresh water, and refilled.

With preparation, birdbaths can be maintained all year, providing birds with a reliable source of water even during freezing weather. An all-season birdbath requires a means to prevent the water from freezing. Outdoor heaters designed specifically for this purpose are available and should be used with a heavy duty, grounded extension cord appropriate for the purpose.

Perhaps most important; put your birdbath in a sunny place. This will help keep ice away in winter months, and the warm sun will feel good to the wet birds any day of the year.

Important note: Insecticides, fertilizers and other commonly-used chemicals can be deadly to birds. Please be conscious of how you use these products near bird feeding, watering or nesting areas.



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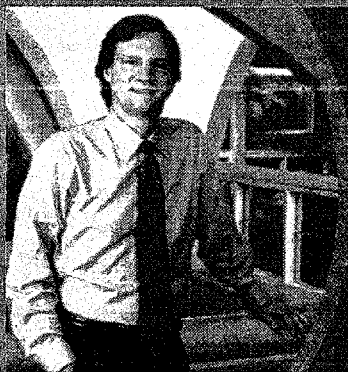
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 <b>\$400,000 - Northville</b> Custom 3 BR brick ranch <b>248-348-6430/349-6200</b> <small>MLS#26109423</small>	 <b>\$359,900 - Salem Twp.</b> Country living close to Plymouth! <b>248-348-6430/349-6200</b> <small>MLS#26093282</small>	 <b>\$409,000 - Novi</b> Custom built colonial <b>248-348-6430/349-6200</b> <small>MLS#26124053</small>	 <b>\$260,000 - Northfield Twp.</b> 1,736 sq. ft. ranch on 5 acres <b>248-348-6430/349-6200</b> <small>MLS#26124379</small>	 <b>\$169,900 - Commerce</b> Completely updated ranch <b>248-349-6200/348-6430</b> <small>MLS#26008717</small>	 <b>\$199,900 - Northville</b> 2 BR Condo tastefully decorated <b>248-349-6200/348-6430</b> <small>MLS#26078727</small>
 <b>\$420,000</b> <b>Kit. w/cherry cabs, master BR w/WIC &amp; bath</b> <b>248-684-1065</b> <small>MLS#26121973</small>	 <b>\$569,900</b> <b>Spectacular 2004 4 BR, 3.1 BA home on 3.5 acres</b> <b>248-684-1065</b> <small>MLS#26093370</small>	 <b>\$397,900</b> <b>Kensington on 2.5 acres. Barn w/corral.</b> <b>248-684-1065</b> <small>MLS#26096629</small>	 <b>\$395,000</b> <b>LR w/trey cell &amp; FP. Unfinished bonus room over garage.</b> <b>248-684-1065</b> <small>MLS#26057388</small>	 <b>\$229,900</b> <b>2 decks, fin. bsmt, 6 person cedar sauna</b> <b>248-684-1065</b> <small>MLS#26051746</small>	 <b>\$289,900</b> <b>Charming farmhouse on 5 acres. Wraparound porch</b> <b>248-684-1065</b> <small>MLS#26100358</small>

<b>\$169,900 - Ypsilanti</b> Raised ranch with 3 BR! <b>248-437-3800</b> 26077403 <b>\$189,900 - South Lyon</b> Sharp Ranch downtown. Updated kit. <b>248-437-3800</b> 26035037 <b>\$289,900 - Green Oak</b> Updated Ranch, fieldstone fireplace. <b>248-437-3800</b> 26112990 <b>\$240,000 - Salem</b> Charming 1800 s home, updated! <b>248-437-3800</b> 26071067 <b>\$279,900 - Salem</b> 4 BR ranch on 8 private acres! <b>248-437-3800</b> 26073722 <b>\$269,900 - Howell</b> Former model ready to be home <b>248-437-3800</b> 26070774 <b>\$399,900 - Green Oak</b> 4 BR colonial, new construction! <b>248-437-3800</b> 26045820	<b>\$272,900 - Green Oak</b> Updtd ranch w/pool on 2.6 acres! <b>248-437-3800</b> 25157839 <b>\$200,000 - Wixom</b> Charming home, Loon Lake access! <b>248-437-3800</b> 26114119 <b>\$229,000 - Hamburg</b> Charming colonial with great yard! <b>248-437-3800</b> 26104704 <b>\$254,900 - New Hudson</b> Pristine 4BR colonial w/g. corner lot! <b>248-437-3800</b> 26107332 <b>\$279,900 - Green Oak</b> 4 BR colonial with open floor plan! <b>248-437-3800</b> 26013608 <b>\$577,700 - Brighton</b> Great Ranch w/lake frontage! <b>248-437-3800</b> 26057970 <b>\$184,500 - Whitmore Lake</b> Newer ranch w/upgrades! <b>248-437-3800</b> 26090639	<b>\$200,000 - Novi</b> 2 vacant lots available <b>248-348-6430/248-349-6200</b> 25172244 <b>\$131,500 - Walled Lake</b> Delightful end unit condo <b>248-348-6430/248-349-6200</b> 26090587 <b>\$449,500 - Novi</b> Stately two story home <b>248-348-6430/248-349-6200</b> 26073774 <b>\$310,000 - Milford</b> Victorian charm w/modern amenities <b>248-348-6430/248-349-6200</b> 26077731 <b>\$299,900 - Farmington</b> Sharp colonial in the heart of town <b>248-348-6430/248-349-6200</b> 26040030 <b>\$550,000 - Novi</b> 5 BR, 3.5 BA home <b>248-348-6430/248-349-6200</b> 26068974 <b>\$195,000 - Ferndale</b> Investment income potential <b>248-348-6430/248-349-6200</b> 26105286	<b>\$149,000 - Farmington Hills</b> 4 BR, 2 BA updated ranch <b>248-348-6430/248-349-6200</b> 26039393 <b>\$282,900 - Novi</b> 3 BR stunning condo <b>248-348-6430/248-349-6200</b> 26054011 <b>\$269,900 - Novi</b> Spectacular location <b>248-348-6430/248-349-6200</b> 26094549 <b>\$119,900 - Novi</b> Sharp 2 BR ranch condo <b>248-348-6430/248-349-6200</b> 26051794 <b>\$115,000 - Novi</b> Carriage ranch w/garage <b>248-348-6430/248-349-6200</b> 26014263 <b>\$128,900 - Novi</b> Modern, bright, open 2 BR condo <b>248-348-6430/248-349-6200</b> 26039543	<b>\$195,900 - Linden</b> Spotless, bright & cheery colonial <b>248-349-6200/248-348-6430</b> 26033742 <b>\$229,900</b> First floor master suite. Finished lower level. <b>248-684-1065</b> 26122131 <b>\$172,289</b> 4 fenced lots w/pool! Fin bsmt. <b>248-684-1065</b> 26047298 <b>\$234,900</b> Leonard lakefront! Mstr BA w/jet tub/separate shower <b>248-684-1065</b> 26035413 <b>\$139,900</b> Wooded, corner lot of 3.13 acres Perk from 3/05 <b>248-684-1065</b> 26057596	<b>\$159,900</b> Lg. fenced backyard w/nice deck. Part. fin. bsmt. <b>248-684-1065</b> 26055905 <b>\$224,900</b> Highland Lake front! 1,000 sq. ft. w/2 BR & 2 BA <b>248-684-1065</b> 26116315 <b>\$299,900</b> 2 Acre brick ranch. 3 BR 1.2 BA w/finished W/O <b>248-684-1065</b> 26115533 <b>\$1,300</b> Kit w/new Formica counter. 3 season sun room. <b>248-684-1065</b> 26074037 <b>\$164,000</b> Fireplace in family room. Deck & fenced lot <b>248-684-1065</b> 26039900	<b>\$219,900</b> GR w/stone FP. Full bsmt. & 2 car garage <b>248-684-1065</b> 26102147 <b>\$339,900</b> Main floor master. Computer nook <b>248-684-1065</b> 2609429 <b>\$189,900</b> Spacious 4 BR, 2.5 BA colonial on 1/2 acre. <b>248-684-1065</b> 26094565 <b>\$250,000</b> First floor master & laundry. Treed lot <b>248-684-1065</b> 26054437 <b>\$264,000</b> First floor laundry. Fireplace in living room. <b>248-684-1065</b> 26054387
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ADDRESS	DESCRIPTION	PRICE	PHONE	WEB ADDRESS
<b>BRIGHTON</b>				
5366 Versailles	4BR/3.1BA/2car/bst	\$469,900	248-348-6430	realestateone.com/26033989
4608 Huntington	3BR/2.1BA/2car/condo	\$365,000	248-348-6430	realestateone.com/26067098
<b>BROWNSTOWN TWP</b>				
20727 Busenbark	3BR/2BA/2car/02btl	\$169,900	248-851-1900	realestateone.com/26030832
<b>CANTON</b>				
674 Brookmill	4BR/2BA/3car/ftrwfp	\$410,000	734-455-7000	realestateone.com/26091521
1710 Stonebridge Way	4BR/2.1BA/2car/hdwd	\$384,995	734-455-7000	realestateone.com/26069995
1516 Hereford	4BR/2.1BA/3car/col	\$379,900	734-455-7000	realestateone.com/26119790
2136 Stanton	4BR/2.1BA/2car/ftr/fp	\$370,000	734-455-7000	realestateone.com/26093914
47643 Ashford Dr. S	4BR/3.1BA/2car/ftr/fp	\$369,900	734-455-7000	realestateone.com/26061332
47441 Fox Run Dr.	4BR/2.1BA/2car/ftr/fp	\$359,900	734-455-7000	realestateone.com/26027778
2601 River Woods Dr.	4BR/2.5BA/2car/hdwd	\$345,450	734-455-7000	realestateone.com/26087391
2411 Woodgreen	4BR/2.1BA/2car/xtras	\$339,900	734-455-7000	realestateone.com/26030158
47175 Northgate	3BR/3.5BA/2car/deck	\$334,900	734-455-7000	realestateone.com/26028420
6820 Foxcreek Dr.	4BR/2.1BA/3car/ftr/fp	\$324,820	734-455-7000	realestateone.com/26041394
789 Pheasant Woods Dr.	4BR/2.1BA/2car/ftrwfp	\$320,000	734-455-7000	realestateone.com/26112452
47597 Vistas Circle	2BR/2BA/2car/condo	\$305,000	734-455-7000	realestateone.com/26033981
46425 Killamey	4BR/2.1BA/2car/condo	\$284,900	734-455-7000	realestateone.com/26115753
45752 Spinning Wheel Dr.	4BR/2.1BA/2car/pool	\$275,000	734-455-7000	realestateone.com/26106407
48271 Nottingham	4BR/2.1BA/2car/col	\$269,000	734-591-9200	realestateone.com/26057048
1098 Paddington	3BR/2.1BA/1car/updtd	\$259,900	734-455-7000	realestateone.com/26105541
464 Cherry Hill Pte.	2BR/3BA/2car/condo	\$246,464	734-455-7000	realestateone.com/26099027
6146 New England Lane	4BR/2.1BA/2car/w/ftr	\$235,900	734-455-7000	realestateone.com/25171867
2467 Amber	3BR/2.1BA/2car/col	\$234,900	734-591-9200	realestateone.com/26063678
43544 Fleetwood Ct.	3BR/2BA/2car/col	\$230,000	248-348-6430	realestateone.com/26069040
2277 Brookhaven	3BR/2.1BA/2car/col	\$229,000	734-455-7000	realestateone.com/26113947
1957 Century Ct.	4BR/2BA/2car/updtd	\$217,900	734-455-7000	realestateone.com/26027743
1541 Rustic Ridge	4BR/2BA/2car/updtd	\$214,900	734-455-7000	realestateone.com/26071535
646 Cherry Orchard	3BR/2.1BA/2car/ftr/fp	\$210,000	734-455-7000	realestateone.com/26023617
1900 Hawks Nest Ct.	3BR/2.1BA/2car/condo	\$206,900	734-455-7000	realestateone.com/26006604
6687 Devenish	3BR/1.1BA/2car/ftr/fp	\$204,900	734-455-7000	realestateone.com/26027438
44144 Ardmore	3BR/1.1BA/2car/patio	\$204,850	734-455-7000	realestateone.com/26065567
41535 Wayside	3BR/1.1BA/2car/col	\$194,900	734-591-9200	realestateone.com/26044255
286 Constitution	3BR/2BA/1car/condo	\$185,000	734-455-7000	realestateone.com/26036117
45117 Horseshoe Circle	2BR/2.1BA/2car/condo	\$184,900	734-455-7000	realestateone.com/26065746
4093 Hunters Circle E	2BR/1.1BA/1car/condo	\$149,900	734-455-7000	realestateone.com/26112482
41564 Bedford Dr.	3BR/1.1BA/1car/condo	\$144,900	248-348-6430	realestateone.com/25120222
2053 W. Franklin Dr.	3BR/1.1BA/1car/condo	\$139,900	248-348-6430	realestateone.com/25130248
4687 Hunters Circle	2BR/1.1BA/1car/condo	\$135,000	734-455-7000	realestateone.com/26030994
43479 Arbor Way W	2BR/1BA/1car/condo	\$125,000	734-455-7000	realestateone.com/26111039
42776 Lilley Pointe	2BR/2BA/1car/condo	\$105,000	734-455-7000	realestateone.com/26004723
6921 Harvard Lane	2BR/1.1BA/1car/condo	\$102,500	734-455-7000	realestateone.com/26069213
44437 Savory	2BR/1BA/1car/condo	\$100,000	734-455-7000	realestateone.com/26119469
<b>COMMERCIAL</b>				
8123 Farrant	5BR/4.2BA/3car/lkfrt	\$1,800,000	248-644-4700	realestateone.com/26105479
3988 Vanstone	4BR/3BA/2car/w/o	\$479,900	248-363-8300	realestateone.com/26036633
4659 Darlene	4BR/3.1BA/3car/ftr/fp	\$440,000	248-363-8300	realestateone.com/26034700
9600 Commerce	3BR/1BA/1car/condo	\$293,000	248-363-8300	realestateone.com/26116245
2061 Quail Run	3BR/2BA/2car/ranch	\$279,900	248-363-8300	realestateone.com/26113953
3160 Jennella	3BR/2BA/2car/ranch	\$214,900	248-363-8300	realestateone.com/26121313
320 Polvadera	3BR/2BA/2car/creek	\$179,900	248-363-8300	realestateone.com/26069122
2949 Woodbury	3BR/1BA/3car/ranch	\$159,900	248-363-8300	realestateone.com/26100185
<b>COMMERCIAL TWP</b>				
1441 Lee Wood Ridge	3BR/2.1BA/1car/lg DR	\$299,900	248-348-6430	realestateone.com/26049684
6205 Jasmine	3BR/2BA/2car/condo	\$219,000	248-348-6430	realestateone.com/26039900
3011 Roselawn St.	2BR/1BA/1car/ranch	\$149,900	248-348-6430	realestateone.com/26066605
2579 Kingstowne	2BR/1.1BA/1car/patio	\$116,900	248-644-4700	realestateone.com/26097184
<b>DEARBORN</b>				
2025 N. Franklin	4BR/2.1BA/1car/patio	\$199,900	248-348-6430	realestateone.com/26015646
3840 Polk	3BR/2.5BA/2car/bnglw	\$134,900	248-348-6430	realestateone.com/26116726
23119 Park	3BR/2BA/1car/ranch	\$129,000	734-591-9200	realestateone.com/25081091
<b>DEARBORN HEIGHTS</b>				
8328 Lenore	2BR/1BA/2car/ranch	\$109,900	248-851-1900	realestateone.com/26072484
24444 Powers Ave.	3BR/2BA/2car/bnglw	\$98,000	248-644-4700	realestateone.com/26052392
7028 Garinger	2BR/1BA/1car/condo	\$88,500	734-455-7000	realestateone.com/26016149
<b>DETROIT</b>				
17757 Redfern	4BR/1.1BA/2car/ranch	\$139,900	734-591-9200	realestateone.com/25089726
11110 Ferdinand	4BR/1.1BA/1car/col	\$110,000	734-591-9200	realestateone.com/26094609
2541 Carson	3BR/1BA/2car/3-stry	\$105,000	734-591-9200	realestateone.com/26120271
20521 Annchester	3BR/1.1BA/1car/	\$97,900	734-591-9200	realestateone.com/26107431
<b>FARMINGTON</b>				
3016 Oakland St.	5BR/3.1BA/3car/col	\$319,900	248-348-6430	realestateone.com/26040030
32338 Shissawsee	3BR/1.1BA/2car/col	\$234,900	248-348-6430	realestateone.com/26040030
22642 Power Rd.	3BR/2BA/3car/quad	\$215,000	248-348-6430	realestateone.com/26060491
31731 Sherwood	3BR/1.1BA/2car/patio	\$209,900	248-348-6430	realestateone.com/26109807
22695 Power Rd.	3BR/2BA/2car/hdwd	\$179,000	248-348-6430	realestateone.com/26040027
33103 S Orchard St	2BR/2BA/2car/condo	\$139,000	248-348-6430	realestateone.com/26040034
<b>FARMINGTON HILLS</b>				
35422 Valley Creek	3BR/2.1BA/2car/ranch	\$319,000	248-348-6430	realestateone.com/26040036
20378 Sunnydale	3BR/1.1BA/1car/hdwd	\$209,000	248-348-6430	realestateone.com/26119186
24399 Springbrook Dr.	3BR/2BA/2car/ranch	\$194,900	248-348-6430	realestateone.com/26085994
31170 Country Bluff	2BR/2.5BA/1car/condo	\$153,000	248-363-8300	realestateone.com/26113977

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GARDEN CITY				
31235 Hennepin	3BR/2.1BA/car/ranch	\$225,000	734-326-2000	realestateone.com/26067396
30083 Maplewood	3BR/1BA/2car/updtd	\$149,850	734-455-7000	realestateone.com/26058564
6746 Burnly	3BR/1.1BA/2car/ranch	\$144,900	734-326-2000	realestateone.com/26096476
28854 Hennepin	2BR/1BA/1car/bnglw	\$129,900	734-326-2000	realestateone.com/26001464
555 E. Rose	3BR/1BA/1car/brick	\$117,500	734-455-7000	realestateone.com/26047829
31472 Hennepin	2BR/1BA/2car/ranch	\$114,900	734-326-2000	realestateone.com/26079891
HOWELL				
650 Old English	2BR/2BA/2car/condo	\$159,900	248-348-6430	realestateone.com/26087417
HUNTINGTON WOODS				
26736 Wyoming Rd.	3BR/1.1BA/2car/col	\$345,000	248-348-6430	realestateone.com/26087848
INKSTER				
28623 Cherry Hill	4BR/1BA/2car/bnglw	\$122,000	734-326-2000	realestateone.com/26099193
605 Fairwood	3BR/1BA/1car/bnglw	\$117,000	734-326-2000	realestateone.com/26117617
30148 Glenwood	3BR/2BA/1car/ranch	\$72,500	734-326-2000	realestateone.com/26092317
LATHRUP VILLAGE				
27451 Bloomfield	4BR/1.1BA/2car/CpCod	\$169,000	734-591-9200	realestateone.com/26080360
LINCOLN PARK				
2166 Calvin	3BR/1BA/3car/	\$112,900	248-348-6430	realestateone.com/26088326
LIVONIA				
27862 Western Golf	4BR/3.1BA/2car/ftrpl	\$325,000	734-591-9200	realestateone.com/26109723
29985 Curtis	4BR/2.1BA/2car/NWCON	\$324,900	734-591-9200	realestateone.com/25061872
27653 Western Golf	4BR/2.1BA/2car/	\$320,000	734-591-9200	realestateone.com/26109648
34300 Fairfax Ct.	4BR/2.1BA/2car/comp	\$319,900	248-644-4700	realestateone.com/26091977
18052 Curtis	4BR/2.1BA/2car/NWCON	\$314,900	734-591-9200	realestateone.com/26056149
17568 McNamara	4BR/2.1BA/2car/col	\$279,900	734-591-9200	realestateone.com/25080889
19081 Brentwood	4BR/2.1BA/2car/2 stry	\$275,000	248-851-1900	realestateone.com/26054741
16319 Alpine Drive	4BR/2.1BA/2car/2 stry	\$259,900	248-851-1900	realestateone.com/26113440
33956 Sleepy Hollow	3BR/1.1BA/2car/pool	\$249,900	734-591-9200	realestateone.com/26111561
38671 Roycroft	3BR/2.1BA/2car/tri-level	\$249,900	734-591-9200	realestateone.com/26116604
10685 Laurel	3BR/2BA/2car/ranch	\$234,900	734-591-9200	realestateone.com/26051720
27430 Dover St.	3BR/2BA/2car/ranch	\$234,900	734-591-9200	realestateone.com/26106525
36607 Curtis	3BR/1.1BA/2car/ranch	\$226,500	734-591-9200	realestateone.com/26115117
35709 Grenada	4BR/2.5BA/1car/ranch	\$219,900	734-591-9200	realestateone.com/26108359
28683 Bayberry Park	3BR/3.1BA/2car/ftrplc	\$219,000	248-348-6430	realestateone.com/26113345
15724 Greenlane	3BR/2BA/2car/ranch	\$209,000	734-591-9200	realestateone.com/2542604539
18000 Hillcrest	3BR/2BA/2car/col	\$199,900	734-591-9200	realestateone.com/26055007
33541 Michele St.	3BR/2BA/2car/ranch	\$198,000	248-851-1900	realestateone.com/26116015
14627 Fairway	3BR/2BA/2car/ranch	\$193,000	248-348-6430	realestateone.com/26119185
13917 Berkwick	3BR/1.5BA/2car/deck	\$189,760	248-348-6430	realestateone.com/26064890
9544 Arcola	3BR/1BA/1car/bnglw	\$179,900	734-591-9200	realestateone.com/26035788
33910 Orangelawn	4BR/1.1BA/3car/ranch	\$179,330	734-455-7000	realestateone.com/26053862
11842 Farmington Road 60	2BR/2BA/1car/condo	\$174,900	734-326-2000	realestateone.com/26102038
20044 Sumbury	3BR/2BA/1car/ranch	\$169,900	734-591-9200	realestateone.com/26064231
13944 Cardwell St.	3BR/1.1BA/2car/ranch	\$169,900	248-348-6430	realestateone.com/26057976
27904 Bentley	3BR/1.1BA/1car/ranch	\$169,900	248-348-6430	realestateone.com/26057986
31802 Delaware	3BR/1BA/1car/ranch	\$162,000	734-591-9200	realestateone.com/26058226
10040 Cavell	3BR/1BA/1car/bnglw	\$159,900	734-591-9200	realestateone.com/25167701
28447 N. Clements Circle	3BR/1BA/2car/ranch	\$149,900	734-591-9200	realestateone.com/26033966
8874 Henry Ruff	3BR/1.1BA/1car/ranch	\$117,900	734-591-9200	realestateone.com/26010214
NORTHFIELD				
296 Delaware Rd.	3BR/1.1BA/2car/ranch	\$184,900	734-591-9200	realestateone.com/26080467
NORTHVILLE				
205 Baseline	4BR/3BA/3car/GR	\$1,050,000	248-348-6430	realestateone.com/26063972
18952 Bayberry Way	4BR/3.5BA/3car/col	\$800,000	248-348-6430	realestateone.com/26049980
18415 Clairmont Circle	4BR/2.1BA/3car/deck	\$674,900	248-348-6430	realestateone.com/26103957
455 Baseline	4BR/3.5BA/3car/LL	\$669,000	248-348-6430	realestateone.com/26111007
39479 Springwater	2BR/2.1BA/2car/condo	\$209,900	248-348-6430	realestateone.com/25183220
16789 Carriage Way	2BR/2BA/1car/condo	\$185,000	248-348-6430	realestateone.com/26094881
16743 Carriage Way	2BR/2BA/1car/condo	\$159,900	248-348-6430	realestateone.com/26067350
HOVI				
26461 Fieldstone	3BR/3.1BA/2car/condo	\$449,900	248-348-6430	realestateone.com/26065895
41465 Travin Pl.	3BR/3.1BA/3car/WIC	\$438,900	248-348-6430	realestateone.com/26069920
24465 Glenda St.	3BR/2.1BA/2car/comp	\$325,000	248-644-4700	realestateone.com/26064408
41447 Glyme	4BR/2.1BA/2car/col	\$305,000	248-348-6430	realestateone.com/26117177
45103 Yorkshire Drive	3BR/2.1BA/2car/col	\$249,900	248-348-6430	realestateone.com/26094695
22548 Winfield	4BR/2.1BA/2car/col	\$239,900	248-348-6430	realestateone.com/26019338
23629 N. Rockledge	2BR/1BA/1car/condo	\$128,900	248-348-6430	realestateone.com/26059543
23540 N. Rockledge	2BR/1BA/1car/condo	\$119,000	248-348-6430	realestateone.com/26061794
23568 Rockledge	2BR/1BA/1car/ranch	\$115,000	248-348-6430	realestateone.com/26014263
OAK PARK				
12780 Sterling	3BR/1.1BA/1car/ranch	\$129,900	734-326-2000	realestateone.com/26088942
ORION TWP				
4122 Rohr Rd.	3BR/3.1BA/2car/lake	\$477,900	248-348-6430	realestateone.com/26045765
PLEASANT RIDGE				
1 Devonshire	3BR/1.1BA/3car/bnglw	\$304,900	248-644-4700	realestateone.com/26049480
PLYMOUTH				
11715 Hunters Creek Dr.	4BR/5BA/3car/3fps	\$459,900	734-455-7000	realestateone.com/26118618
13959 Tall Timbers Ct.	4BR/2.1BA/3car/xtras	\$434,850	734-455-7000	realestateone.com/26092393
13347 Northview	3BR/2.1BA/2car/condo	\$349,900	734-455-7000	realestateone.com/26119591
12075 Amherst E.	3BR/2BA/2car/ranch	\$349,000	248-348-6430	realestateone.com/26088944
12215 Appletree	3BR/2.1BA/2car/ranch	\$339,900	734-455-7000	realestateone.com/26000503